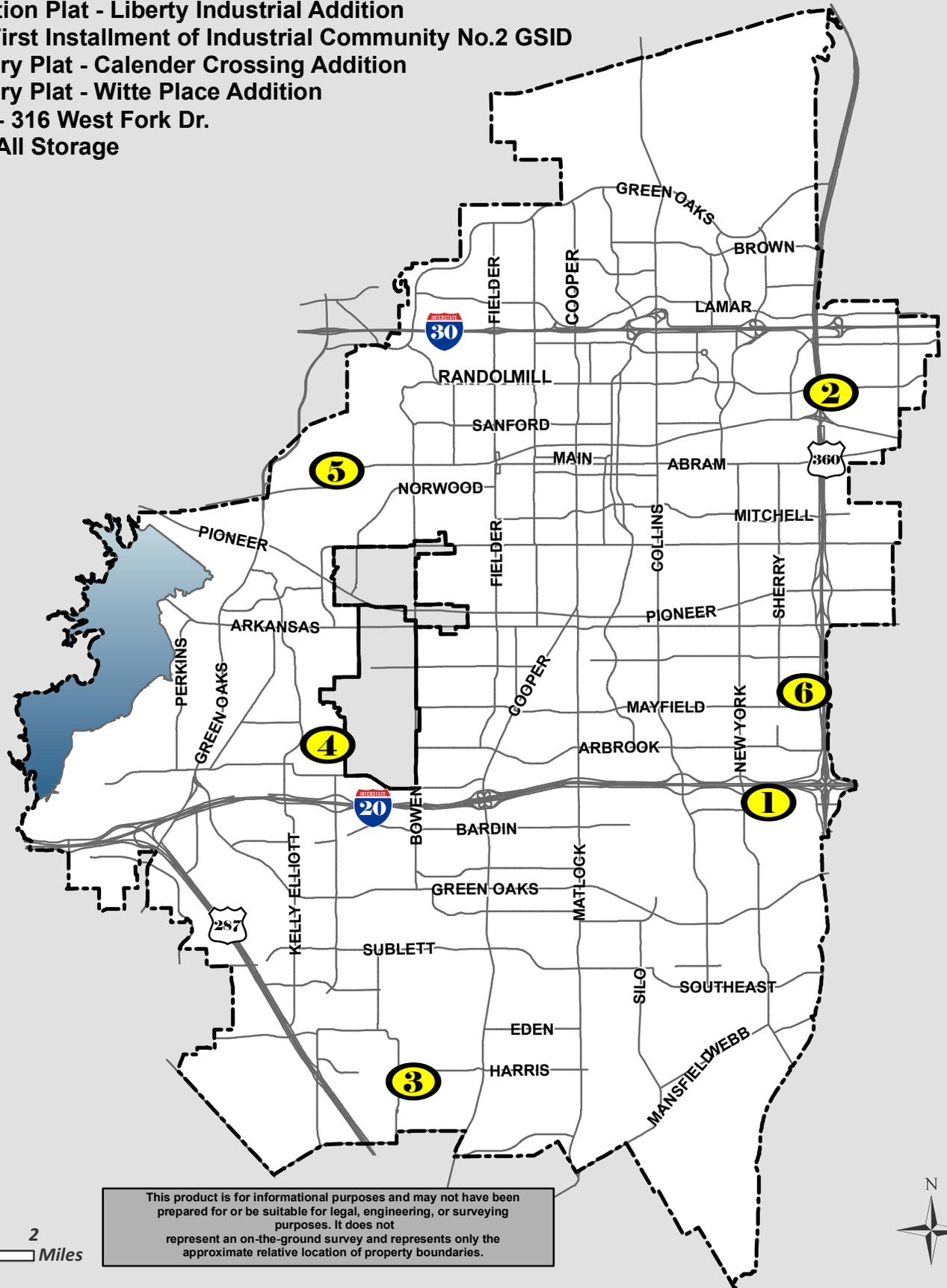


PLANNING & ZONING

July 16, 2014



1. Combination Plat - Liberty Industrial Addition
2. Replat - First Installment of Industrial Community No.2 GSID
3. Preliminary Plat - Calender Crossing Addition
4. Preliminary Plat - Witte Place Addition
5. SUP14-3 - 316 West Fork Dr.
6. DP13-8 - All Storage



0 1 2 Miles

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





AGENDA

**Planning and Zoning Commission
Work Session**

**Council Chamber
101 West Abram Street**

**July 16, 2014
4:30 P.M.**

I. CALL TO ORDER

II. DISCUSSION OF REGULAR SESSION AGENDA ITEMS

III. DIRECTOR UPDATE ON PREVIOUS COUNCIL ACTION

- (1) Zoning Case ZA14-2
(310 E Randol Mill – 310 East Randol Mill Road)

Application to change the zoning on approximately 0.45 acres from Entertainment District-Residential (ED-R) to Entertainment District-Office (ED-O); generally located south of East Randol Mill Road and east of North Mesquite Street.

CC Approved 7-0-0 on 6/24/14 on final reading

- (2) Westador Neighborhood Plan

Consider amending the West Sector Plan component of the Comprehensive Plan to include the Westador Neighborhood Plan.

CC Approved 7-0-0 on 6/24/14 on final reading

- (3) Zoning Case PD14-3
(iMix Rx Pharmacy - 1102 Orchard Drive, Suite B)

Application to change the zoning on approximately 0.55 acres from Office (O) Planned Development (PD) for all Office (O) uses, plus a Pharmacy use, limited to 341 square feet, with a Concept Brief; generally located north of West Randol Mill Road and west of Orchard Drive.

CC Approved 7-0-0 on 6/24/14 on first and final emergency reading

NOTE: City Hall is wheelchair accessible. For other accommodations or sign interpretive services, please call the Strategic Planning Division at 817-459-6652 not later than 24 hours in advance.

IV. DISCUSSION OF FUTURE MEETING DATES AND TIMES

- (a) Planning and Zoning Commission Two-Hour Bus Tour – August 1, 2014
- (b) Planning and Zoning Commission Meeting on August 6, 2014

V. ADJOURN



AGENDA

**Planning and Zoning Commission
Regular Session**

**Council Chamber
101 West Abram Street**

**July 16, 2014
5:30 P.M.**

Meeting order is subject to change per the Commission's Discretion

I. CALL TO ORDER

II. PLEDGE

III. APPROVAL OF MINUTES

- A. Minutes of June 18, 2014 P&Z Meeting

IV. PLAT CONSENT AGENDA AND PUBLIC HEARING FOR PLATS

- A. Combination Plat – Liberty Industrial Addition, Lot 1, Block 1 (Zoned Industrial Manufacturing [IM]); generally located south of Interstate Highway 20 East and east of New York Avenue with the approximate address being 4551 New York Avenue.
- B. Replat – First Installment of Industrial Community No. 2 Great Southwest Industrial District, Lot 111-C (Zoned Entertainment District Overlay-Industrial Manufacturing [EDO-IM]); generally located south of East Randol Mill Road and east of North Watson Road with the approximate address being 520 North Watson Road.
- C. Preliminary Plat – Calender Crossing Addition, Lots 1 through 5, Lot 1X, Block 1; Lots 1 through 11, Lot 2X, Block 2; Lots 1 through 17, Block 3; Lots 1 through 20, Block 4; Lots 1 through 15, Lot 3X, Block 5; and Lot 5X, Block 6; of the Calender Crossing Addition, being a version of the John Russell Survey, Abstract No. 1278 Tarrant County, Texas; (Zoned Planned Development for Residential Single-Family 15 [PD-RS-15]); generally located south of West Harris Road and east of Calender

NOTE: City Hall is wheelchair accessible. For other accommodations or sign interpretive services, please call the Strategic Planning Division at 817-459-6652 not later than 24 hours in advance.

Road with the approximate address being 2504 West Harris Road.

- D. **CONTINUED (from 6-18-14)** Preliminary Plat – Witte Place Addition, Lots 1 through 24, Block 1 and Lots 25X and 26X, Block 1 (Zoned Residential Single-Family 7.2 [RS-7.2]); generally located south of Curt Drive and west of Kelly Perkins Road with approximate addresses being 3800, 3808, and 3810 Curt Drive.

V. PUBLIC HEARING FOR ZONING CASES

- A. Specific Use Permit SUP14-3
(316 West Fork Dr. – 316 West Fork Drive)

Application for approval of a Specific Use Permit for an Auto Repair Garage, Minor on approximately 0.422 acres zoned Light Industrial (LI); generally located north of West Division Street and west of West Fork Drive.

- B. **CONTINUED (from 6-18-14)** Development Plan DP13-8
(All Storage - 2500 Overbrook Drive and 3000, 3050, 3100, and 3200 South Watson Road)

Application for approval of a development plan on approximately 8.454 acres zoned Planned Development (PD) for Commercial (CC) uses plus a mini-warehouse; generally located south of Overbrook Drive and west of South Watson Road.

VI. MISCELLANEOUS

- A. Reports from Boards/Commissions Liaisons
- B. Reports from Staff and Announcements
- C. Discussion of Future Meeting Dates and Times

VII. ADJOURN



AGENDA

Planning and Zoning Commission

Monthly Bus Tour

**August 1, 2014
8:00 A.M.**

8:00 a.m. Planning and Zoning Commission Two-Hour Bus Tour of various metroplex developments.

A quorum of the Commission may be present. No formal action will be taken.



Staff Report

Combination Plat (Liberty Industrial)

Planning and Zoning Meeting Date: 7-16-14

Document Being Considered: Plat

RECOMMENDATION

Following the public hearing, consider a Combination Plat.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

The applicant, Pacheco Koch, LLC, represented by Clayton J. Stolle, P.E., proposes to plat the property as Lot 1, Block 1, Liberty Industrial Addition. The site is proposed to be developed as a warehouse use.

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the Subdivision Regulations in the Unified Development Code.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Property Location: Generally located south of Interstate Highway 20 East and east of New York Avenue with the approximate address of 4551 New York Avenue.

Sector: East

Council District: 5

Current Zoning: Industrial Manufacturing (IM)

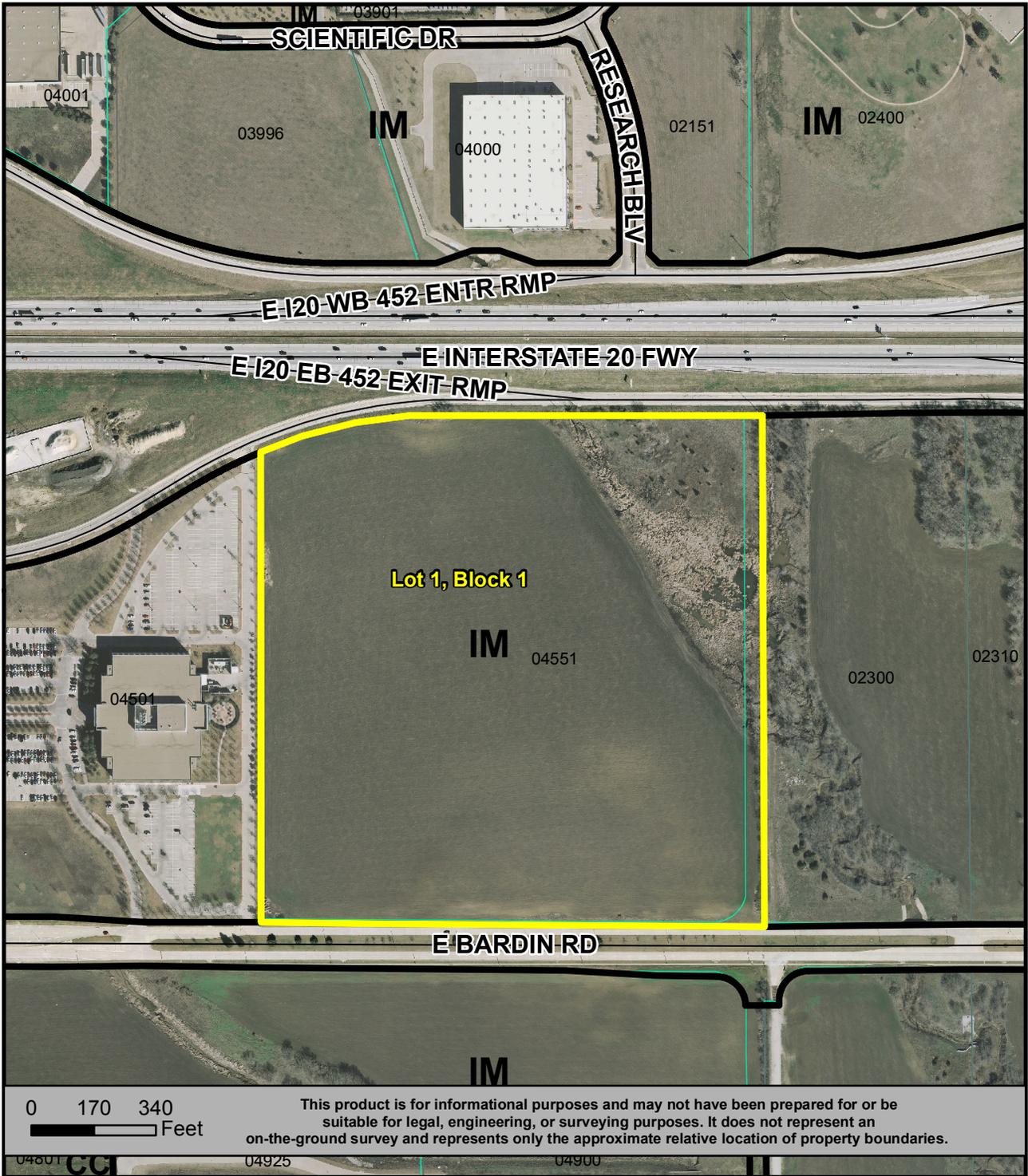
ATTACHED

- i. Location Map
- ii. 11 x 17 Plat

STAFF CONTACT(S)

Gincy Thoppil, AICP
Development Planning Manager
Community Development and Planning
817-459-6662
Gincy.Thoppil@arlingtontx.gov

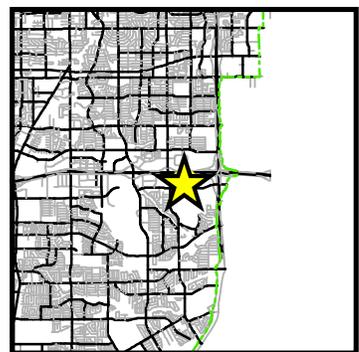
Jennifer Pruitt, AICP, LEED AP
Principal Planner
Community Development and Planning
817-459-6138
Jennifer.Pruitt@arlingtontx.gov



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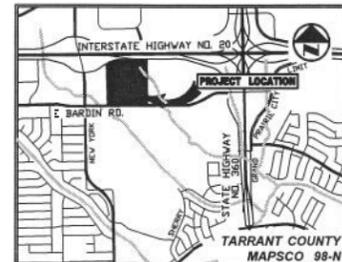
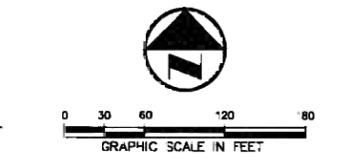
LOCATION MAP

**LIBERTY INDUSTRIAL ADDITION
COMBINATION PLAT**



INTERSTATE HIGHWAY NO. 20 EAST

(VARIABLE WIDTH R.O.W.)



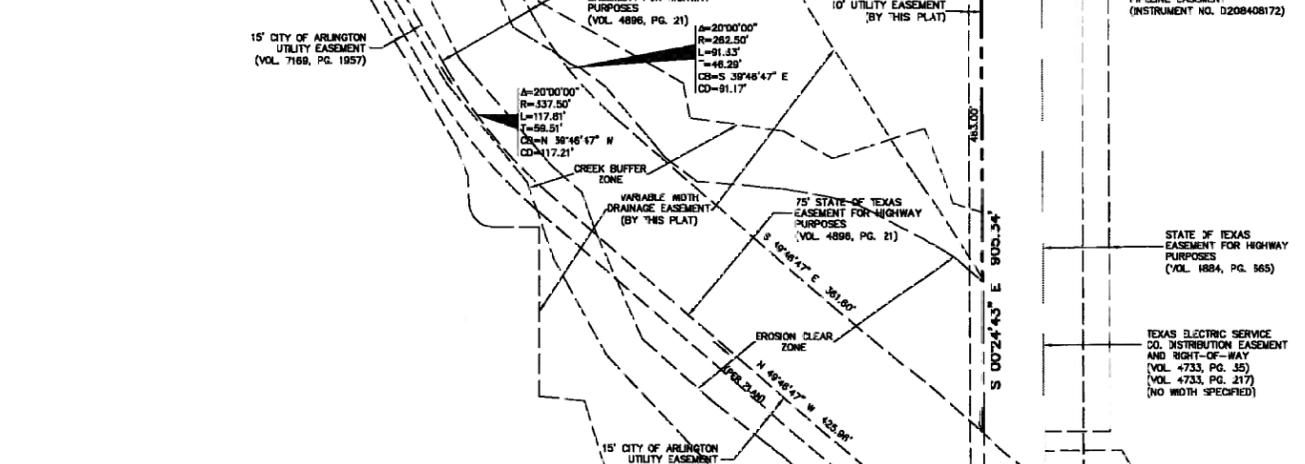
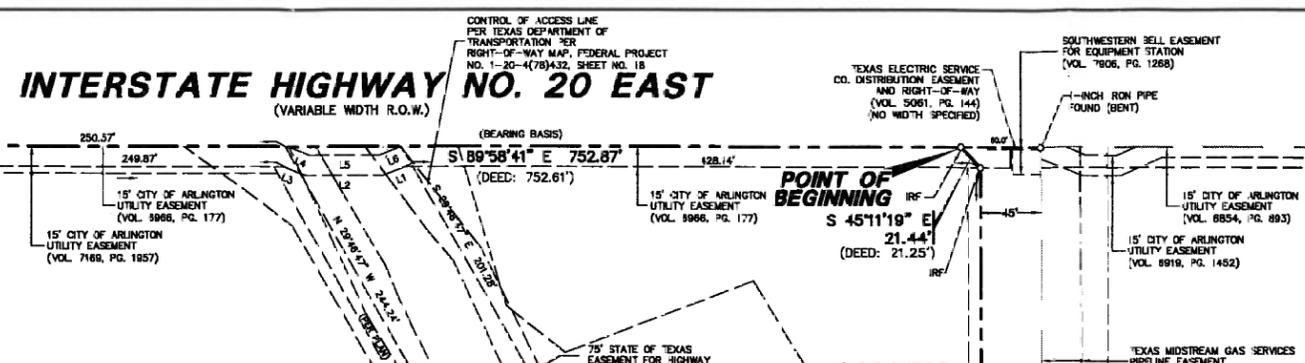
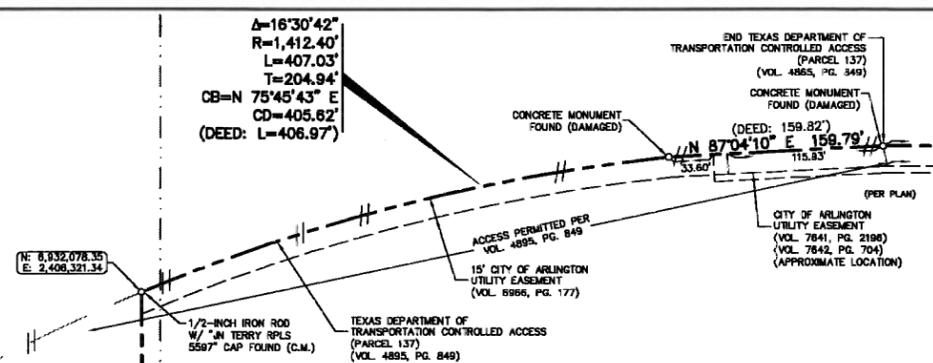
VICINITY MAP
(NOT TO SCALE)

LEGEND

- IRF 1/2-INCH IRON ROD W/ "PACHECO KOCH" CAP FOUND (C.M.) CONTROLLING MONUMENT
- ABSTRACT LINE
- PROPERTY LINE
- EASEMENT LINE
- CONTROLLED ACCESS LINE PER VOL. 4895, PG. 849
- CONTROLLED ACCESS LINE PER TEXAS DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP FEDERAL PROJECT NO. 1-20-4(78)432, SHEET NO. 18

LINE TABLE

LINE	BEARING	LENGTH
L1	S 67° 31' 19" W	16.39'
L2	N 89° 58' 41" W	57.38'
L3	N 67° 28' 41" W	16.39'
L4	S 57° 28' 41" E	16.39'
L5	S 89° 58' 41" E	52.02'
L6	N 67° 31' 19" E	16.39'
L7	N 30° 02' 51" E	36.05'
L8	S 59° 57' 09" E	15.00'
L9	S 30° 02' 51" W	27.39'



14 JUN -4 PM 12:40

LOT 1, BLOCK 1
UZZIEL ADDITION
(CAB. A, SLIDE 5292)
CRZ ARLINGTON I LP
(INST. NO. D207357430)

LOT 1, BLOCK 1
2250 E. BARDIN ROAD
41.818 ACRES
(1,821,572 SF)
G & R STX INVESTMENTS, LLC.
(INST. NO. D209330941)
MINIMUM FINISHED FLOOR ELEVATION = 589.80'

N 00°04'50" W 1,286.31'

SOCCORRO FARMING CO. SURVEY - ABSTRACT NO. 11847
M.E.P. & P. RR. CO. SURVEY - ABSTRACT NO. 1186

SHEET 1 OF 2
FINAL PLAT
**LOT 1, BLOCK 1
LIBERTY INDUSTRIAL
ADDITION**
BEING A 41.818 ACRE TRACT OF
UNPLATTED LAND OUT OF THE
M.E.P. & P. RR. CO. SURVEY, ABSTRACT NO. 1125,
J. O'DANIEL SURVEY, ABSTRACT NO. 1186, AND THE
SOCCORRO FARMING CO. SURVEY, ABSTRACT 1843,
CITY OF ARLINGTON, TARRANT COUNTY, TEXAS
1 LOT, 41.818 ACRES

MATCH LINE (SEE SHEET 2)

THIS PLAT IS RECORDED IN:
CABINET _____ SLIDE _____
DATE: _____

ENGINEER/SURVEYOR:
PACHECO KOCH CONSULTING ENGINEERS, INC.
8350 N. CENTRAL EXPWY., SUITE 1000
DALLAS, TEXAS 75206
PH: 972-235-3631
CONTACT: KYLE C. HARRIS

OWNER/DEVELOPER:
LIBERTY PROPERTY TRUST
1717 MCKINNEY AVENUE
SUITE 700
DALLAS, TX 75202
PH: 469-513-7701
CONTACT: H. MICHAEL HEISE

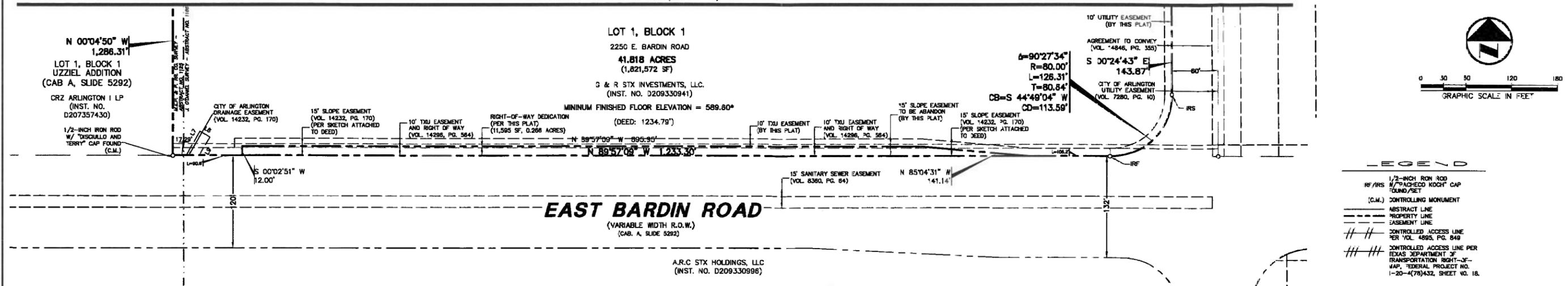
Pacheco Koch

8350 N. CENTRAL EXPWY., SUITE 1000
DALLAS, TX 75206 972.235.3031
TX REG. ENGINEERING FIRM F-14439
TX REG. SURVEYING FIRM LS-101938-05

DRAWN BY: JRM CHECKED BY: KCH SCALE: 1"=80' DATE: MARCH 2014 JOB NUMBER: 3024-13.385

14-579938

MATCH LINE (SEE SHEET 1)



OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF TARRANT §
WHEREAS, G & R STX Investments, LLC, is the sole owner of a 41.818 acre tract of land situated in the M.E.P. & P. RR. Co. Survey, Abstract 1125, the J. O'Daniel Survey, Abstract 1186, and the Socorro Farming Co. Survey, Abstract 1843, City of Arlington, Tarrant County, Texas; said tract being part of that tract of land described in Special Warranty Deed to G & R STX Investments, LLC, recorded in Instrument No. D209330941, of the Official Public Records of Tarrant County, Texas, said 41.818 acre tract being more particularly described as follows:
BEGINNING, at a 1/2-inch iron rod with "PACHECO KOCH" cap found for corner at the north end of a right-of-way corner clip at the intersection of the south right-of-way line of Interstate Highway No. 20 (a variable width right-of-way) and the west right-of-way line of Sherry Street (a variable width right-of-way, 90 feet wide at this point);
THENCE, South 45 degrees, 11 minutes, 19 seconds East, along said corner clip a distance of 21.44 feet to a 1/2-inch iron rod with "PACHECO KOCH" cap found for corner in said west line of Sherry Street (45 feet wide at this point);
THENCE, in a southerly direction, along the said west line of Sherry Street, the following Four (4) calls:
South 00 degrees, 24 minutes, 43 seconds East, a distance of 805.34 feet to a 1/2-inch iron rod with "PACHECO KOCH" cap found for angle point;
South 03 degrees, 01 minutes, 18 seconds West, a distance of 250.45 feet to a 1/2-inch iron rod with "PACHECO KOCH" cap found for angle point;
South 00 degrees, 24 minutes, 43 seconds East, a distance of 143.87 feet to a 1/2-inch iron rod with "PACHECO KOCH" cap set at the beginning of a tangent curve to the right;
in a southeasterly direction, along said tangent curve to the right, having a central angle of 90 degrees, 27 minutes, 34 seconds, a radius of 80.00 feet, a chord bearing and distance of South 44 degrees, 49 minutes, 04 seconds West, 113.59 feet, an arc distance of 128.31 feet to a 1/2-inch iron rod with "PACHECO KOCH" cap found at the end of said curve; said point being in the north right-of-way line of Bardin Road (a variable width right-of-way, 132 feet wide at this point);
THENCE, North 89 degrees, 57 minutes, 09 seconds West, departing the said west line of Sherry Street and along the said north line of Bardin Road, a distance of 1233.30 feet to a 1/2-inch iron rod with "Diakillo and Terry" cap found for corner; said point being the southeast corner of Lot 1, Block 1, Uzziel Addition as addition to the City of Arlington, Texas according to the plat recorded in Cabinet A, Slide 5292 of the Official Public Records of Tarrant County;
THENCE, North 00 degrees, 04 minutes, 50 seconds West, departing the said north line of Bardin Road and along the east line of said Lot 1, a distance of 1288.31 feet to a 1/2-inch iron rod with "Diakillo and Terry" cap found for corner in the south line of said Interstate Highway No. 20; said point being the northeast corner of said Lot 1; said point also being in a non-tangent curve to the right;
THENCE, in a northeasterly direction, departing said east line of Lot 1 and along said south line of Interstate Highway No. 20, and along said curve to the right, having a central angle of 16 degrees, 39 minutes, 42 seconds, a chord bearing and distance of North 75 degrees, 45 minutes, 43 seconds East, 405.62 feet, an arc distance of 407.03 feet to a concrete monument (damaged) found at the end of said curve;
THENCE, in an easterly direction, along the said south line of Interstate Highway No. 20, the following Two (2) calls:
North 87 degrees, 04 minutes, 10 seconds East, a distance of 158.79 feet to a concrete monument (damaged) found for angle point;
South 89 degrees, 58 minutes, 41 seconds East, a distance of 752.87 feet to the POINT OF BEGINNING;
CONTAINING, 1,821,572 square feet or 41.818 acres of land, more or less.

SURVEYOR'S CERTIFICATE

THIS is to certify that I, Kyle Coleman Harris, a Registered Professional Land Surveyor of the State of Texas, have plotted the above subdivision from an actual survey on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

PRELIMINARY
RELEASED 6/4/14 FOR REVIEW PURPOSES ONLY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.



Kyle Coleman Harris
Registered Professional Land Surveyor
No. 8268
STATE OF TEXAS §
COUNTY OF DALLAS §
BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Kyle Coleman Harris, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.
GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the _____ day of _____, 2014.
Notary Public in and for the State of Texas
My Commission Expires _____

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
THAT, LIBERTY PROPERTY TRUST, acting by and through the undersigned, their duly authorized agents, do hereby adopt this plat designating the hereinabove described real property as LOT 1, BLOCK 1, LIBERTY INDUSTRIAL ADDITION, an addition to the City of Arlington, Tarrant County, Texas, and do hereby dedicate to the public's use the streets, easements, and parks shown thereon except the private easements shown thereon.
This plat does not alter or remove existing deed restrictions or covenants, if any, on this property.
Pursuant to Section 12.002 of the Texas Property Code, as amended, we have obtained original tax certificates from each taxing unit with jurisdiction over each parcel of real property in said subdivision indicating that no delinquent ad valorem taxes are owed on the real property which is the subject of the plat or plat I have submitted to the City of Arlington, Tarrant County, Texas for filing and recording with the Tarrant County Clerk's office.
H. Michael Heise
Vice President
STATE OF TEXAS §
COUNTY OF DALLAS §
BEFORE ME, the undersigned authority, on this day personally appeared H. Michael Heise, of Liberty Property Trust, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed, in the capacity therein stated, and on the act and deed of said Liberty Property Trust.
GIVEN UNDER MY HAND AND SEAL OF OFFICE on the _____ day of _____, 2014.
Notary Public in and for the State of Texas
My commission expires: _____

GENERAL NOTES

- Bearing system for this survey is based on a bearing of South 89 degrees, 58 minutes, 41 seconds East for the south line of Interstate Highway No. 20, based on the North American Datum of 1983, Texas State Plane Coordinate System, North Central Texas, Zone 4202, State Plane Surface Bearings, based on Reference Frame: NAD83 (GCRS96), EPOCH: 2002.00.
- Subject property is shown on the National Flood Insurance Program Flood Insurance Rate Map for Tarrant County, Texas, Map No. 48439C0365 K, Community-Panel No. 485454 0365 K, Effective Date: August 23, 2000. All of the subject property is shown to be located in Zone "X" on said map. Relevant zones are defined on said map as follows:
Zone "X" - Other Areas: Areas determined to be outside 500-year floodplain.
- Visibility Triangles shall be provided at the intersections of all public and private streets in accordance with City Ordinances. All landscaping within the visibility triangles shall comply with the visibility triangle ordinance.
- This property may be subject to charges related to impact fees and the applicant should contact the City regarding any applicable fees due.
- This plat does not alter or remove deed restrictions, if any, on this property.
- Selling a portion of a platted lot by metes and bounds is a violation of State Law.
- The asterisk placed next to a finished floor elevation indicates that a Federal Emergency Management Agency (FEMA) Elevation Certificate will not be required for this lot.

CITY APPROVAL STATEMENT

Approved by the City of Arlington Planning and Zoning Commission on: _____
Chairman - Planning and Zoning Commission _____
Secretary - Planning and Zoning Commission _____

THIS PLAT IS RECORDED IN:
CABINET _____ SLIDE _____
DATE: _____

ENGINEER/SURVEYOR:
PACHECO KOCH CONSULTING ENGINEERS, INC.
8350 N. CENTRAL EXPWY, SUITE 1000
DALLAS, TEXAS 75206
PH: 972-235-3031
CONTACT: KYLE C. HARRIS

OWNER/DEVELOPER:
LIBERTY PROPERTY TRUST
1717 MCKINNEY AVENUE
SUITE 700
DALLAS, TX 75202
PH: 469-513-7701
CONTACT: H. MICHAEL HEISE

MAINTENANCE STATEMENT

THE CITY OF ARLINGTON IS NOT RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, OR USE OF THE FOLLOWING:
• PRIVATE STORM DRAIN SYSTEMS, PRE-CAST CONCRETE BLOCKS, NATIVE STONE, VEGETATED, OR BIO-ENGINEERED CHANNEL (EARTHEN CHANNEL)/WATER STORAGE FACILITY (DETENTION POND) AND ASSOCIATED (PRIVATE/RAINAGE) EASEMENTS
• PRIVATE ACCESS EASEMENTS AND ASSOCIATED IMPROVEMENTS
• EXISTING PRIVATE STORM DRAIN SYSTEMS LOCATED ON LOTS 1 AND 2 AND THEIR ASSOCIATED PRIVATE DRAINAGE EASEMENTS,
• ANY STORM WATER TREATMENT FACILITY (IDENTIFIED AS A BEST MANAGEMENT PRACTICE(S) [BMP] FOR STORM WATER QUALITY IN THE ACCEPTED STORM WATER MANAGEMENT SITE PLAN FOR THIS DEVELOPMENT) AND ITS ASSOCIATED DRAINAGE EASEMENTS,
• HEREINAFTER COLLECTIVELY REFERRED TO AS "IMPROVEMENTS", DEVELOPED AND CONSTRUCTED BY DEVELOPER OR HIS PREDECESSORS, OR TO BE DEVELOPED AND CONSTRUCTED BY DEVELOPER OR HIS SUCCESSORS. DEVELOPER WILL INDEMNIFY, DEFEND AND HOLD HARMLESS THE CITY OF ARLINGTON, ITS OFFICERS, EMPLOYEES, AND AGENTS FROM ANY DIRECT OR INDIRECT LOSS, DAMAGE, LIABILITY OR EXPENSE AND ATTORNEY'S FEES FOR ANY NEGLIGENCE ARISING OUT OF THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, CONDITION OR USE OF THE IMPROVEMENTS, INCLUDING ANY NON-PERFORMANCE OF THE FOREGOING. DEVELOPER WILL REQUIRE ANY SUCCESSOR IN INTEREST OF ALL OR PART OF THE PROPERTY, INCLUDING ANY PROPERTY OWNERS ASSOCIATION TO ACCEPT FULL RESPONSIBILITY AND LIABILITY FOR THE IMPROVEMENTS. ALL OF THE ABOVE SHALL BE COVENANTS RUNNING WITH THE LAND. DEVELOPER SHALL IMPOSE THESE COVENANTS UPON LOTS 1 AND 2, ABUTTING, ADJACENT OR SERVED BY THE IMPROVEMENTS. THE COVENANTS SHALL INCLUDE THE FULL OBLIGATION AND RESPONSIBILITY OF MAINTAINING AND OPERATING SAID IMPROVEMENTS. ACCESS TO THE IMPROVEMENTS IS GRANTED TO THE CITY FOR ANY PURPOSE RELATED TO THE EXERCISE OF GOVERNMENTAL SERVICES OR FUNCTIONS, INCLUDING BUT NOT LIMITED TO, FIRE AND POLICE PROTECTION, INSPECTION AND CODE ENFORCEMENT.
THE CITY OF ARLINGTON WILL NOT BE RESPONSIBLE FOR, OR MAINTAIN ANY NON-DRAINAGE RELATED IMPROVEMENTS WITHIN THE DRAINAGE EASEMENT, INCLUDING BUT NOT LIMITED TO PAVING AND FENCES. DEVELOPER, OR HIS SUCCESSOR, WILL IDENTIFY AND SEVERALLY OPERATE AND MAINTAIN THE IMPROVEMENTS. THIS RESPONSIBILITY WILL INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:
1. FREQUENT MOWING IN ACCORDANCE WITH THE FIRE PREVENTION AND NUISANCE CHAPTERS OF THE CITY CODE, AS AMENDED, AND ROUTINE MAINTENANCE OF THE IMPROVEMENTS AND DRAINAGE EASEMENTS.
2. PERIODIC REMOVAL OF DEBRIS FROM THE IMPROVEMENTS AND DRAINAGE AREAS.
3. THE IMPROVEMENTS AND DRAINAGE AREA CROSS SECTIONS WILL BE MAINTAINED TO THE APPROVED DESIGNED SLOPE, GRADE, CONTOUR, AND VOLUME, INCLUDING ANY CONCRETE STRUCTURES.
4. AREAS OF EROSION WILL BE REPAIRED. SOIL MATERIALS USED IN REPAIRS WILL BE OF CONSISTENT AND COMPATIBLE CHARACTERISTICS WITH THE SURROUNDING MATERIALS AND SHALL BE COMPACTED TO A DENSITY EQUALING THAT OF THE UNDISTURBED SURROUNDING MATERIAL.
5. NO ADDITIONAL IMPROVEMENTS WILL BE ALLOWED WITHIN DRAINAGE EASEMENTS WITHOUT THE ADVANCE WRITTEN PERMISSION OF THE DIRECTOR OF PUBLIC WORKS OF THE CITY OF ARLINGTON.
6. IRON REQUEST FROM THE CITY, PROVIDING ANNUALLY, ON OR BEFORE JANUARY 31 OF EACH YEAR TO THE DIRECTOR OF PUBLIC WORKS OF THE CITY OF ARLINGTON, A WRITTEN REPORT SPECIFICALLY DESCRIBING THE OPERATION AND MAINTENANCE OF THE IMPROVEMENTS FOR THE PRECEDING YEAR INCLUDING PROCEDURES USED, THE NAMES OF PERSONS RESPONSIBLE FOR EACH PROCEDURE AND THE DATE OF EACH PROCEDURE, RESPECTIVELY.
7. DEVELOPER, OR HIS SUCCESSOR, WILL CORRECT THE CONDITION OF THE IMPROVEMENTS OR ANY MAINTENANCE DEFICIENCIES REGARDING THE IMPROVEMENTS THAT THE CITY REASONABLY BELIEVES NECESSARY FOR THE PROTECTION OF THE PUBLIC HEALTH AND SAFETY WITHIN THIRTY (30) DAYS FROM DATE OF WRITTEN NOTICE FROM THE CITY.
THE CITY OF ARLINGTON IS NOT RESPONSIBLE FOR THE NATURE OR CONDITION, INCLUDING EROSION OF THE NATURAL CHANNEL AND ASSOCIATED DRAINAGE EASEMENTS, HEREIN REFERRED TO AS "DRAINAGE FEATURES". DEVELOPER WILL INDEMNIFY, DEFEND AND HOLD HARMLESS THE CITY OF ARLINGTON, ITS OFFICERS, EMPLOYEES, AND AGENTS FROM ANY DIRECT OR INDIRECT LOSS, DAMAGE, LIABILITY OR EXPENSE AND ATTORNEY'S FEES FOR ANY NEGLIGENCE ARISING OUT OF THE NATURE, CONDITION OR USE OF THE DRAINAGE FEATURES, INCLUDING ANY NON-PERFORMANCE OF THE FOREGOING. DEVELOPER WILL REQUIRE ANY SUCCESSOR IN INTEREST OF ALL OR PART OF THE PROPERTY, INCLUDING ANY PROPERTY OWNERS ASSOCIATION TO ACCEPT FULL RESPONSIBILITY AND LIABILITY FOR THE DRAINAGE FEATURES. ALL OF THE ABOVE SHALL BE COVENANTS RUNNING WITH THE LAND. DEVELOPER SHALL IMPOSE THESE COVENANTS UPON LOTS 1 AND 2, ABUTTING, ADJACENT OR SERVED BY THE DRAINAGE FEATURES. THE COVENANTS SHALL INCLUDE THE FULL OBLIGATION AND RESPONSIBILITY OF MAINTAINING AND OPERATING SAID DRAINAGE FEATURES, INCLUDING PERIODIC REMOVAL OF DEBRIS FROM THE DRAINAGE FEATURES AND DRAINAGE AREA. ACCESS TO THE DRAINAGE FEATURES IS GRANTED TO THE CITY FOR ANY PURPOSE RELATED TO THE EXERCISE OF GOVERNMENTAL SERVICES OR FUNCTIONS, INCLUDING BUT NOT LIMITED TO, FIRE AND POLICE PROTECTION, INSPECTION AND CODE ENFORCEMENT.

Developer's/Owner's signature _____

SHEET 2 OF 2
FINAL PLAT
**LOT 1, BLOCK 1
LIBERTY INDUSTRIAL
ADDITION**
BEING A 41.818 ACRE TRACT OF UNPLATTED LAND OUT OF THE M.E.P. & P. RR. CO. SURVEY, ABSTRACT NO. 1125, J. O'DANIEL SURVEY, ABSTRACT NO. 1186, AND THE SOCCORRO FARMING CO. SURVEY, ABSTRACT 1843, CITY OF ARLINGTON, TARRANT COUNTY, TEXAS
1 LOT, 41.818 ACRES

Pacheco Koch
8350 N. CENTRAL EXPWY, SUITE 1000
DALLAS, TX 75206 972.235.3031
TX REG. ENGINEERING FIRM F-14-39
TX REG. SURVEYING FIRM LS-101938-05
DRAWN BY: JRM CHECKED BY: KCH SCALE: 1"=60' DATE: MARCH 2014 JOB NUMBER: 3024-13.385
DWG FILE: 3024-13.385FP.DWG

ACADIMUNEZ 06/04/2014 8:44AM
M: DWG-30_3024-13.385(DWG) SURVEY CSD 2013_3024-13.385FP.DWG

Staff Report



Replat (First Installment of Industrial Community No. 2 Great Southwest Industrial District Addition, Lot 111C)	
--	--

Planning and Zoning Meeting Date: 7-16-14	Document Being Considered: Plat
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RECOMMENDATION

Consider replat on the consent agenda.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

The applicant, Moak Surveyors, Inc., proposes to revise Lots 111-A and 111-B of the First Installment of Industrial Community No. 2 Great Southwest Industrial District, to create one lot, 111-C, totaling 0.801 acres. An existing building on Lot 111-B was recently demolished and the building on Lot 111-A is proposed to be a bar.

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the subdivision regulations of the Unified Development Code.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

<u>Property Location:</u>	Generally located south of East Randol Mill Road and east of North Watson Road with the approximate address of 520 North Watson Road
<u>Sector:</u>	East
<u>Council District:</u>	1
<u>Current Zoning:</u>	Entertainment District Overlay - Industrial Manufacturing (EDO-IM)

ATTACHED

- i. Location Map
- ii. 11 x 17 Plat

STAFF CONTACT(S)

Gincy Thoppil, AICP
Development Planning Manager
Community Development and Planning
817-459-6662
Gincy.Thoppil@arlingtontx.gov

Shon Brooks
Senior Planner
Community Development and Planning
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Shon.Brooks@arlingtontx.gov

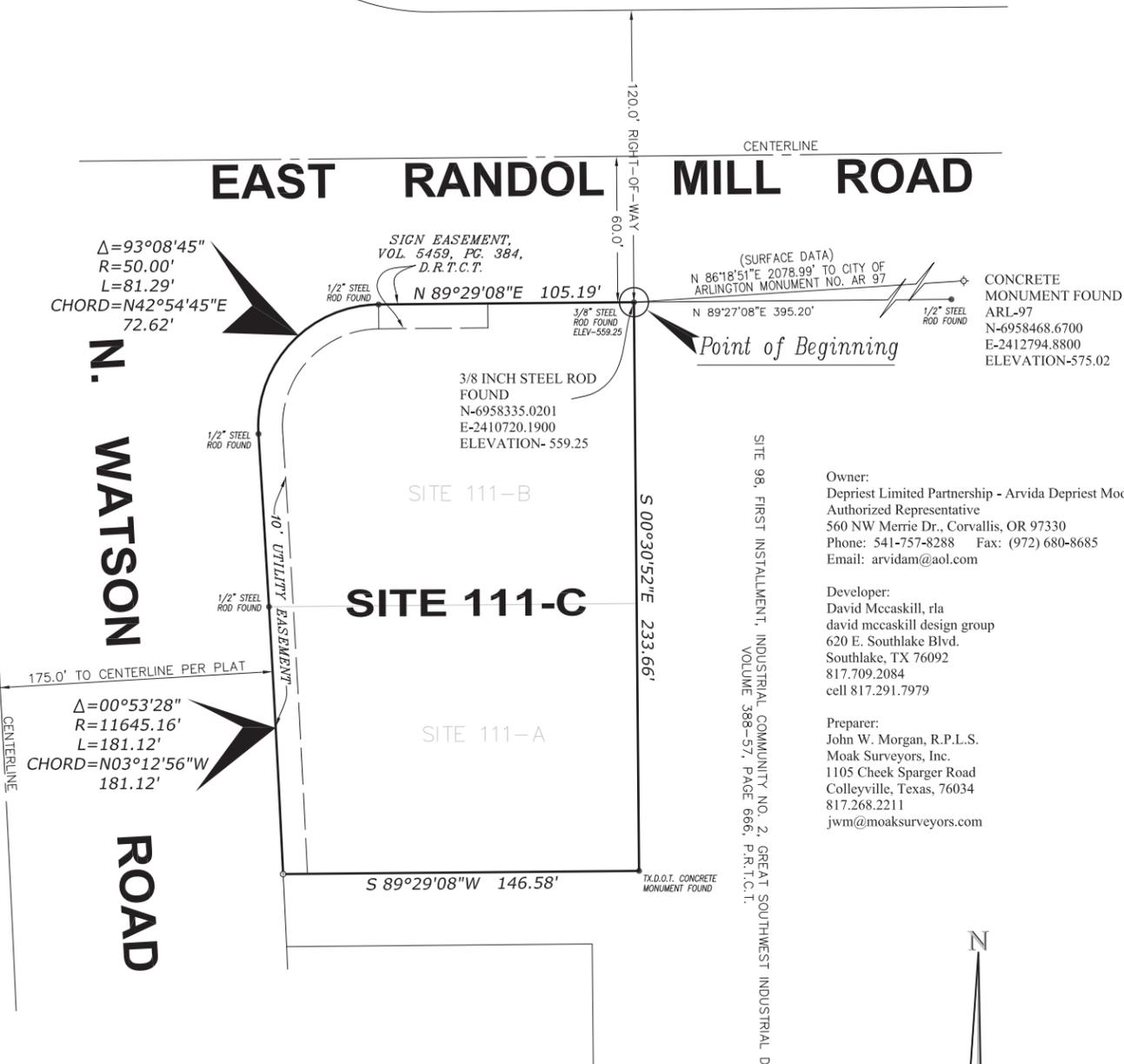


LOCATION MAP

**FIRST INSTALLMENT OF INDUSTRIAL
COMMUNITY NO. 2 GREAT SOUTHWEST
INDUSTRIAL DISTRICT
REPLAT**



SITE 3, FIRST INSTALLMENT, INDUSTRIAL COMMUNITY NO. 2,
GREAT SOUTHWEST INDUSTRIAL DISTRICT, VOLUME 388-16,
PAGE 95, P.R.T.C.T.

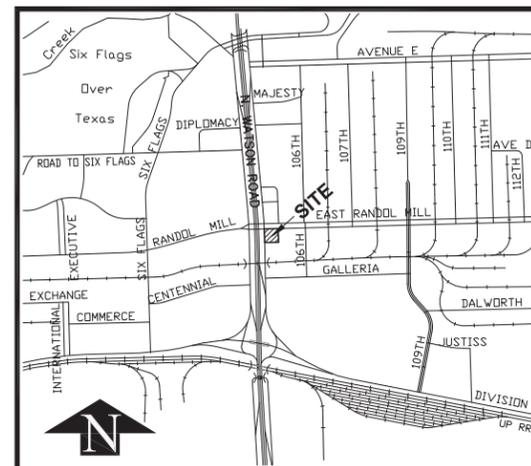


Owner:
Depriest Limited Partnership - Arvida Depriest Moore,
Authorized Representative
560 NW Merrie Dr., Corvallis, OR 97330
Phone: 541-757-8288 Fax: (972) 680-8685
Email: arvidam@aol.com

Developer:
David Mccaskill, rla
david.mccaskill.design.group
620 E. Southlake Blvd.
Southlake, TX 76092
817.709.2084
cell 817.291.7979

Preparer:
John W. Morgan, R.P.L.S.
Moak Surveyors, Inc.
1105 Cheek Sparger Road
Colleyville, Texas, 76034
817.268.2211
jwm@moaksurveyors.com

SITE 98, FIRST INSTALLMENT, INDUSTRIAL COMMUNITY NO. 2, GREAT SOUTHWEST INDUSTRIAL DISTRICT,
VOLUME 388-57, PAGE 666, P.R.T.C.T.



Approved by the City of Arlington Planning
and Zoning Commission on _____
Chairman - Planning and Zoning Commission
Secretary - Planning and Zoning Commission

NOTES

- 1) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR ABSTRACT OF THE PROPERTY.
- 2) ALL BUILDING LINES AND EASEMENTS SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.

OWNER'S CERTIFICATE

STATE OF TEXAS }
COUNTY OF TARRANT }

WHEREAS, We, Depriest Limited Partnership, acting by and through the undersigned, its duly authorized agents, are the sole owners of the following tract of land.

FIELD NOTE DESCRIPTION

ALL of that certain tract or parcel of land situated in the J. M. ROSS SURVEY, ABSTRACT NO. 1349, Tarrant County, Texas and being all of Sites 111-A and 111-B, First Installment of Industrial Community No. 2, GREAT SOUTHWEST INDUSTRIAL DISTRICT, an Addition to the City of Arlington, Tarrant County, Texas as recorded in Volume 388-109, Page 41, Plat Records, Tarrant County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a 3/8 inch steel rod found for the northeast corner of Site Lot 111-B, being in the southerly right-of-way line of East Randol Mill Road (a 120 foot wide right-of-way);

THENCE South 00 degrees 30 minutes 52 seconds East with the easterly boundary line of said Site 111-B and Site 111-A, 233.66 feet to a pk nail set for the southeast corner of said Site 111-A;

THENCE South 89 degrees 29 minutes 08 seconds West with the southerly boundary line of said Site 111-A, 146.58 feet to a pk nail set for the southwest corner of said Site 111-A, being the easterly right-of-way line of N. Watson Road (a 350' wide right-of-way), also being the beginning of a curve to the left, from which the center bears South 87 degrees 13 minutes 48 seconds West, at 11645.16 feet;

THENCE northwesterly with said curve to the left and said right-of-way line having an arc length of 181.12 feet, a central angle of 00 degrees 53 minutes 28 seconds and a chord bearing of North 03 degrees 12 minutes 56 seconds West, at 181.12 feet to a pk nail set, also being the beginning of a curve to the right, from which the center bears North 86 degrees 20 minutes 23 seconds East, at 50.00 feet;

THENCE northeasterly with said curve to the right and the right-of-way line of said East Randol Mill Road, having an arc length of 81.29 feet, a central angle of 93 degrees 08 minutes 45 seconds and a chord bearing of North 42 degrees 54 minutes 45 seconds East, at 72.62 feet to a pk nail set;

THENCE North 89 degrees 29 minutes 08 seconds East with the northerly boundary line of said Site 111-B and said right-of-way line, 105.19 feet to the place of beginning and containing 0.801 acres of land, more or less.

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT Depriest Limited Partnership, acting by and through the undersigned, its duly authorized agent, does hereby adopt this plat designating the hereinabove described real property as SITE 111-C, FIRST INSTALLMENT OF INDUSTRIAL COMMUNITY NO. 2, GREAT SOUTHWEST INDUSTRIAL DISTRICT, an addition to the City of Arlington, Tarrant County, Texas, and do hereby dedicate to the public's use the streets and easements shown thereon except the private easements shown thereon. Pursuant to Section 12.002 of the Texas Property Code, as amended, I have obtained original tax certificates from each taxing unit with jurisdiction over each parcel of real property in said subdivision indicating that no delinquent ad valorem taxes owed on the real property which is the subject of the plat or replat I have submitted to the City of Arlington, Tarrant County, Texas for filing and recording with the Tarrant County Clerk's office.

I hereby certify that no deed restrictions exist upon the property included within this plat that is in a platted subdivision at the present time wherein a lot thereof is limited by deed restrictions authorizing residential use by restricting same to not more than two residential units per lot. I further certify that this property does not alter or remove existing deed restrictions or covenants, if any, on this property.

WITNESS UNDER MY HAND THIS THE _____ day of _____, 2014.

By: Depriest Limited Partnership, a Texas limited partnership

By: Depriest Partnership Management, LLC, a Texas limited liability company, its general partner

Arvida Depriest Moore, Authorized Representative

STATE OF TEXAS }
COUNTY OF TARRANT }

BEFORE ME, the undersigned authority, on this day personally appeared Arvida Depriest Moore, known to me to be the person whose name is subscribed to the above and foregoing consideration expressed, in the capacity therein stated, and as the act and deed of said partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the _____ day of _____, 2014.

Notary Public in and for the STATE OF TEXAS

Print name

GENERAL NOTES

This plat subject to airport height restriction zones (contours 710-780)
The City of Arlington reserves the right to require minimum finish floor elevations on any lots within this addition.

Visibility Triangles shall be provided at all public or private street or driveway intersections in accordance with current City Ordinance. All landscaping (nothing over 2 feet in height as measured from the top of the curb) within the visibility triangles shall comply with the Visibility Ordinance.

This property may be subject to charges related to impact fees and the applicant should contact the City regarding any applicable fees due.

The City of Arlington is not responsible for the design, construction, operation, maintenance, or use of the following:

- private access easement and associated improvements
- any storm water treatment facility (identified as a best management practice(s) (bmps) for storm water quality in the accepted storm water management site plan for this development) and its associated drainage easement.

Hereinafter collectively referred to as "improvements", developed and constructed by developer or his predecessors, or to be developed and constructed by developer or his successors. Developer will indemnify, defend and hold harmless the City of Arlington, its officers, employees, and agents from any direct or indirect loss, damage, liability or expense and attorneys' fees for any negligence arising out of the design, construction, operation, maintenance, condition or use of the improvements, including any non-performance of the foregoing. Developer will require any successor in interest of all or part of the property, including any property owners association to accept full responsibility and liability for the improvements. All of the above shall be covenants running with the land. Developer shall impose these covenants upon Site 111-C, abutting, adjacent or served by the improvements. The covenants shall include the full obligation and responsibility of maintaining and operating said improvements. Access to the improvements is granted to the city for any purpose related to the exercise of governmental services or functions, including but not limited to, fire and police protection, inspection and code enforcement.

THIS PLAT IS RECORDED IN DOCUMENT NO. _____, DATE _____

The City of Arlington will not be responsible for, or maintain any non-drainage related improvements within the drainage easement, including but not limited to paving and fences. Developer, or his successor, will jointly and severally operate and maintain the improvements. This responsibility will include, but is not limited to, the following:

- a. Frequent mowing in accordance with the fire prevention and nuisance chapters of the city code, as amended, and routine maintenance of the improvements and drainage easements.
- b. Periodic removal of debris from the improvements and drainage areas.
- c. The improvements and drainage area cross sections will be maintained to the approved, designed slope, grade, contour, and volume, including any concrete structures.
- d. Areas of erosion will be repaired. Soil materials used in repairs will be of consistent and compatible characteristics with the surrounding materials and shall be compacted to a density equaling that of the undisturbed surrounding material.
- e. No additional improvements will be allowed within drainage easements without the advance written permission of the Director of Public Works of the City of Arlington.
- f. Upon request from the City, providing annually, on or before January 31st of each year to the Director of Public Works of the City of Arlington, a written report specifically describing the operation and maintenance of the improvements for the preceding year including procedures used, the names of persons responsible for each procedure and the date of each procedure, respectively.

By: Depriest Limited Partnership, a Texas limited partnership

By: Depriest Partnership Management, LLC, a Texas limited liability company, its general partner

Arvida Depriest Moore, Authorized Representative

STATE OF TEXAS }
COUNTY OF TARRANT }

BEFORE ME, the undersigned authority, on this day personally appeared Arvida Depriest Moore, known to me to be the person whose name is subscribed to the above and foregoing consideration expressed, in the capacity therein stated, and as the act and deed of said partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the _____ day of _____, 2014.

Notary Public in and for the STATE OF TEXAS

Print name

REPLAT SHOWING
SITE 111-C,
FIRST INSTALLMENT OF
INDUSTRIAL COMMUNITY NO. 2
**GREAT SOUTHWEST
INDUSTRIAL DISTRICT**
AN ADDITION TO THE CITY OF ARLINGTON,
TARRANT COUNTY, TEXAS.

BEING A REVISION OF SITES 111-A AND 111-B, FIRST
INSTALLMENT OF INDUSTRIAL COMMUNITY NO. 2, GREAT
SOUTHWEST INDUSTRIAL DISTRICT, AN ADDITION TO THE CITY
OF ARLINGTON, TARRANT COUNTY, TEXAS AS RECORDED IN
VOLUME 388-109, PAGE 41, PLAT RECORDS, TARRANT COUNTY,
TEXAS.

ONE LOT - 0.801 ACRES

This is to certify that I, John W. Morgan, a Registered Professional Land Surveyor in the State of Texas, have platted the above subdivision from an actual survey made on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE
AND SHALL NOT BE USED OR VIEWED AS A FINAL SURVEY DOCUMENT.

Scale 1" = 30' John W. Morgan, R.P.L.S. No. 5488

REVISED 6-12-2014

- FOUND STEEL ROD
- SET CAPPED STEEL ROD
- + CROSS CUT IN CONCRETE
- ◇ FOUND STEEL PIPE
- FOUND BOIS D'ARC STAKE

Moak Surveyors, Inc.
LICENSED STATE AND REGISTERED
PROFESSIONAL LAND SURVEYORS
Texas - New Mexico - Arizona - Nevada
License No. 1009920
1105 Cheek Sparger Road, Colleyville, Texas 76034
Metro 817-268-2211 Fax 817-282-0401
www.moaksurveyors.com
Date 02-07-2014 Job # 14-007

COORDINATE FILE: 14-007

Staff Report



Preliminary Plat (Calender Crossing)

Planning and Zoning Meeting Date: 7-16-14	Document Being Considered: Plat
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RECOMMENDATION

Following the public hearing, consider a preliminary plat.

PRIOR BOARD OR COUNCIL ACTION

On January 22, 2014, the Planning and Zoning Commission recommended approval of Zoning Case PD13-18, in order to change the zoning of the site from Agriculture (A) to PD for all Estate (E), uses with a concept brief by a vote of 9-0-0.

On March 4, 2014, the City Council approved Zoning Case PD13-18, by a vote of 8-0-0.

ANALYSIS

The applicant, WMSA Partners, LTD., represented by William M. Smith, proposes to plat 68 residential lots and four open space lots from 26.03 acres of the John Russell Survey, Abstract No. 1278. Lots 1X, 2X, 3X, 4X, and 5X are designated open space lots to be maintained by a Homeowners Association. The perimeter fencing and landscaping along West Harris Road and Calender Road will also be held in common ownership and maintained by the Homeowners Association.

The site is undeveloped and was zoned Planned Development (PD) for Estate (E) uses. The PD stipulates a minimum lot area of 10,000 square feet with a minimum lot width of 80 feet, and lot depth of 130 feet. The development proposes two points of access; one from West Harris Road and the other from Calender Road. This plat meets the zoning district requirements.

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the Subdivision Regulations.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

<u>Property Location:</u>	Generally located south of West Harris Road and east of Calender Road with the approximate address being 2504 West Harris Road
<u>Sector:</u>	Southwest
<u>Council District:</u>	2
<u>Current Zoning:</u>	Planned Development for Residential Single-Family 15 (PD-RS-15), per the Unified Development Code, effective July 10, 2014. (Prior zoning was PD-E)

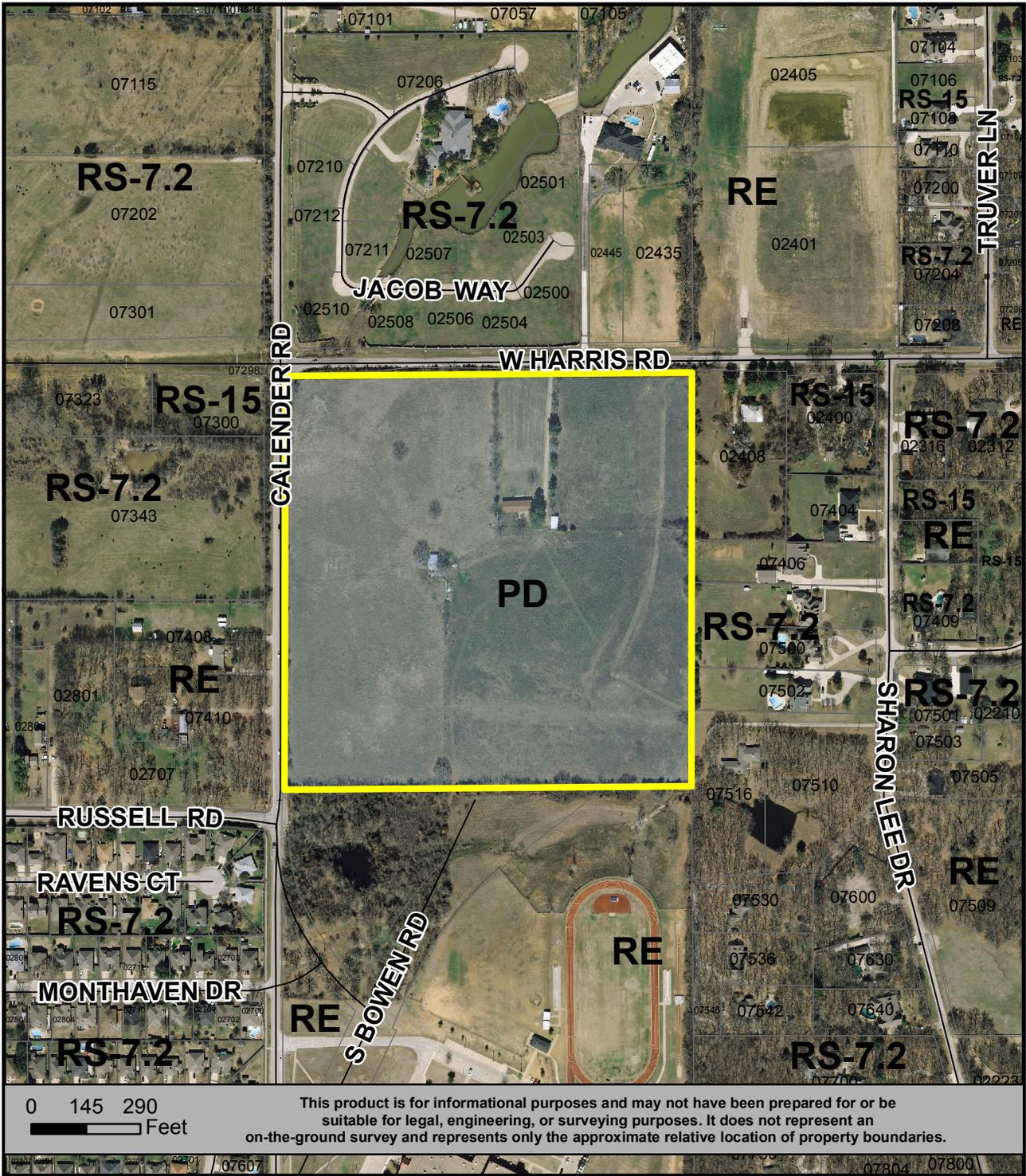
ATTACHED

- i. Location Map
- ii. 11 x 17 Plat

STAFF CONTACT(S)

Gincy Thoppil, AICP
Development Planning Manager
Community Development and Planning
817-459-6662
Gincy.Thoppil@arlingtontx.gov

Kevin Charles
Senior Planner
Community Development and Planning
817-459-6515
Kevin.Charles@arlingtontx.gov

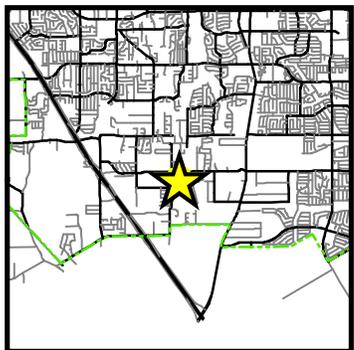


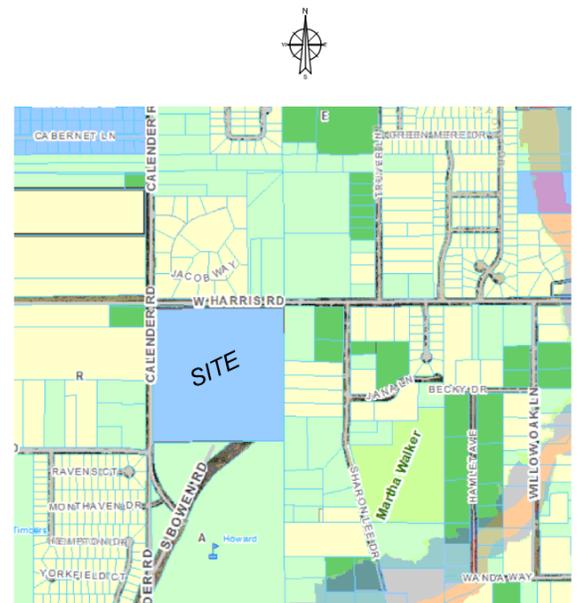
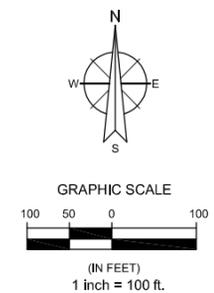
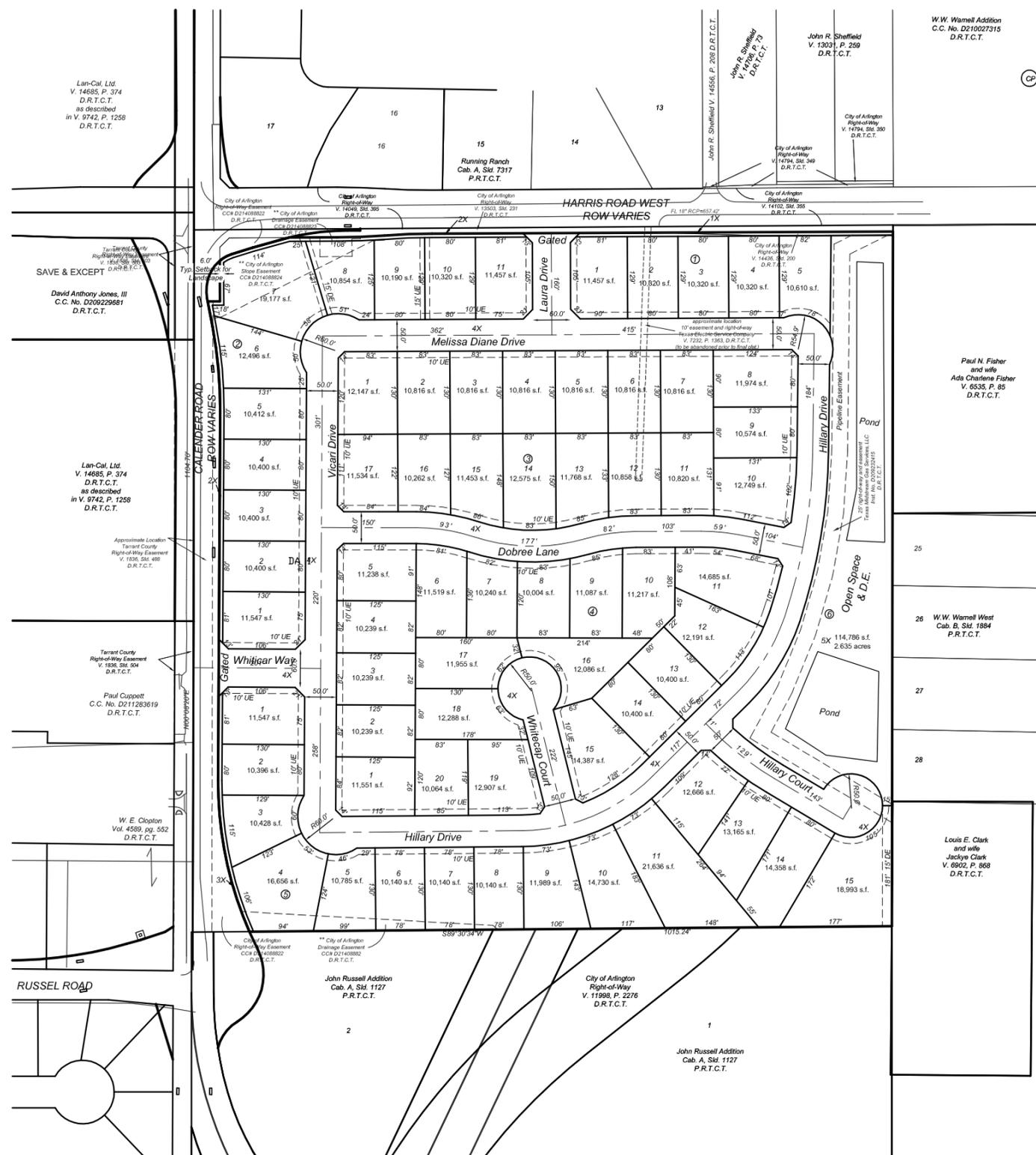
LOCATION MAP



**CALENDER CROSSING
PRELIMINARY PLAT**







LOCATION MAP
nts

Land Use:
Zoning - PD-RS15
26.603 acres - 1,158,823 sf
68 Single Family Lots - 813,015 sf
4 Open Space Lots - 113,275 sf
1 Private Street Lot - 232,533 sf
Density = 2.18 lots/acre

Perimeter Fencing along Calender Road and Harris Road shall be six foot (6') tall consisting of a combination of iron and masonry, with seven to nine feet tall masonry columns.

The addition shall have decorative pavement and decorative street lights.

The Developer will build the site improvements and the Property Owners Association shall be responsible for the maintenance of perimeter fencing and landscaping of the perimeter as well as landscaping of lots 1X, 2X, 3X, 4X and 5X, which will be held in common ownership.

Easements with ** are to be abandoned with the filing of the final plat. Easements to replace these will be added as necessary with the final plat and construction plans.

Existing house and out buildings to be removed.

Internal sidewalks shall be provided per the approved PD.

Preliminary Plat

Calender Crossing

Approved by the City of Arlington Planning and Zoning Commission on

_____ (Date)

Chairman - Planning and Zoning Commission

Secretary - Planning and Zoning Commission

Lots 1 - 5, & 1X, Block 1, Lots 1 -11 & 2X Block 2
Lots 1 - 17, Block 3, Lots 1 - 20, Block 4
Lots 1 - 15, & Lot 3X, Block 5, Lot 5X, Block 6

Being 26.603 Acres Located in the
John Russell Survey, A-1278,
Arlington, Tarrant County, Texas

3 rd Rev. July 2014
68 SF Lots & 5 HOA Lots

REGISTERED PROFESSIONAL SURVEYORS
HERBERT S. BEASLEY
LAND SURVEYORS L.P.
• LAND • TOPOGRAPHIC
• CONSTRUCTION SURVEYING
• FIRM REG. NO. 10094900
P. O. BOX 8873 METRO 817-429-0194
FORT WORTH, TEXAS 76124 FAX 817-446-5488

WMSA Partners, Ltd.
Engineers - Surveyors - Planners
Firm Reg. No. F-9681

PH 817-903-182 P.O. Box 699
bud@wmsaonline.com Arlington, Texas 76004

Developer:
BALAO, LLC
P.O. Box 170155
Arlington, Texas 76003
817-980-0127

Owner:
Dan C. Woods, Successor Trustee,
A. Jay and Dena W. Woods
Revocable Living Trust
3705 Mission Court
Granbury, Texas 76049-5391



Staff Report

Preliminary Plat (Witte Place Addition)	
Planning and Zoning Meeting Date: 7-16-14	Document Being Considered: Plat

RECOMMENDATION

Following the public hearing, consider a preliminary plat.

PRIOR BOARD OR COUNCIL ACTION

On May 21, 2014, the Planning and Zoning Commission continued the Preliminary Plat, at the request of the applicant, to the meeting on June 18, 2014.

On June 18, 2014, the Planning and Zoning Commission continued the Preliminary Plat, at the request of the applicant, to the meeting on July 16, 2014.

ANALYSIS

The applicant, Evolving Texas, represented by Bret Blankenship P.E., proposes to plat 22 residential lots and four open space lots from 6.487 acres of the T. H. Watson Survey, Abstract 1689. Lots 5X, 19X, 25X and 26X, Block 1, are designated open space lots to be maintained by the home owners association. The perimeter fencing and landscaping along Curt Drive will also be held in common ownership and maintained by a Homeowners Association.

The site currently includes three lots, of which one lot is undeveloped and the other two lots were developed with single family residences. However, one of those homes was demolished recently in February 2014. The other existing home is 4,200 square feet in size and will continue to remain.

The subject area is zoned Residential Single-Family (RS-7.2), which requires a minimum lot area of 7,200 square feet and a minimum lot width of 60 feet.

The existing development pattern along Curt Drive in the block between Kelly Perkins Road and Indian Summer Lane is as follows:

- Lot sizes range between 0.41 acres and 3.7 acres (with an average lot size of 1.82 acres).
- Lot width ranges between 37 feet and 215 feet, along Curt Drive (with an average lot width of 155 feet).
- The front building line of the existing houses is setback at least 41 feet from the front property line.

It is strongly suggested that the applicant consider making adjustments related to the rural frontage established along Curt Drive, to ensure that the proposed development will be comparable to the predominant pattern established by the existing lots on the same block.

On May 14, 2014, staff received ten letters of opposition related to the proposed subdivision development, noting numerous items of concern. See attached opposition letters submitted. On July 9, 2014, staff received two additional opposition letters, see attached.

Previously, the project proposed to construct a box culvert to convey the storm water from east to west across the site (replacing an existing creek). This work required drainage easements both upstream and downstream. The developer did not secure these easements from the adjacent properties, resulting in a redesign of the stormwater plan and changes to the proposed subdivision.

The applicant submitted the latest revision of the Witte Place flood study on July 9, 2014. Staff is in the process of reviewing the revised study and no determination has yet been made.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

<u>Property Location:</u>	Generally located south of Curt Drive and west of Kelly Perkins Road with approximate addresses being 3800, 3808, and 3810 Curt Drive.
<u>Sector:</u>	West
<u>Council District:</u>	4
<u>Current Zoning:</u>	Residential Single-Family (RS-7.2)

ATTACHED

- i. Location Map
- ii. 11X17 Plat
- iii. Opposition letters

STAFF CONTACT(S)

Gincy Thoppil, AICP
Development Planning Manager
Community Development & Planning
817-459-6662
Gincy.Thoppil@arlingtontx.gov

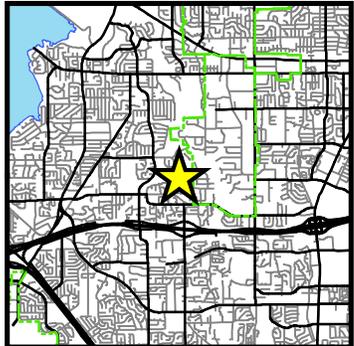
Jennifer Pruitt, AICP, LEED AP
Principal Planner
Community Development & Planning
817-459-6138
Jennifer.Pruitt@arlingtontx.gov

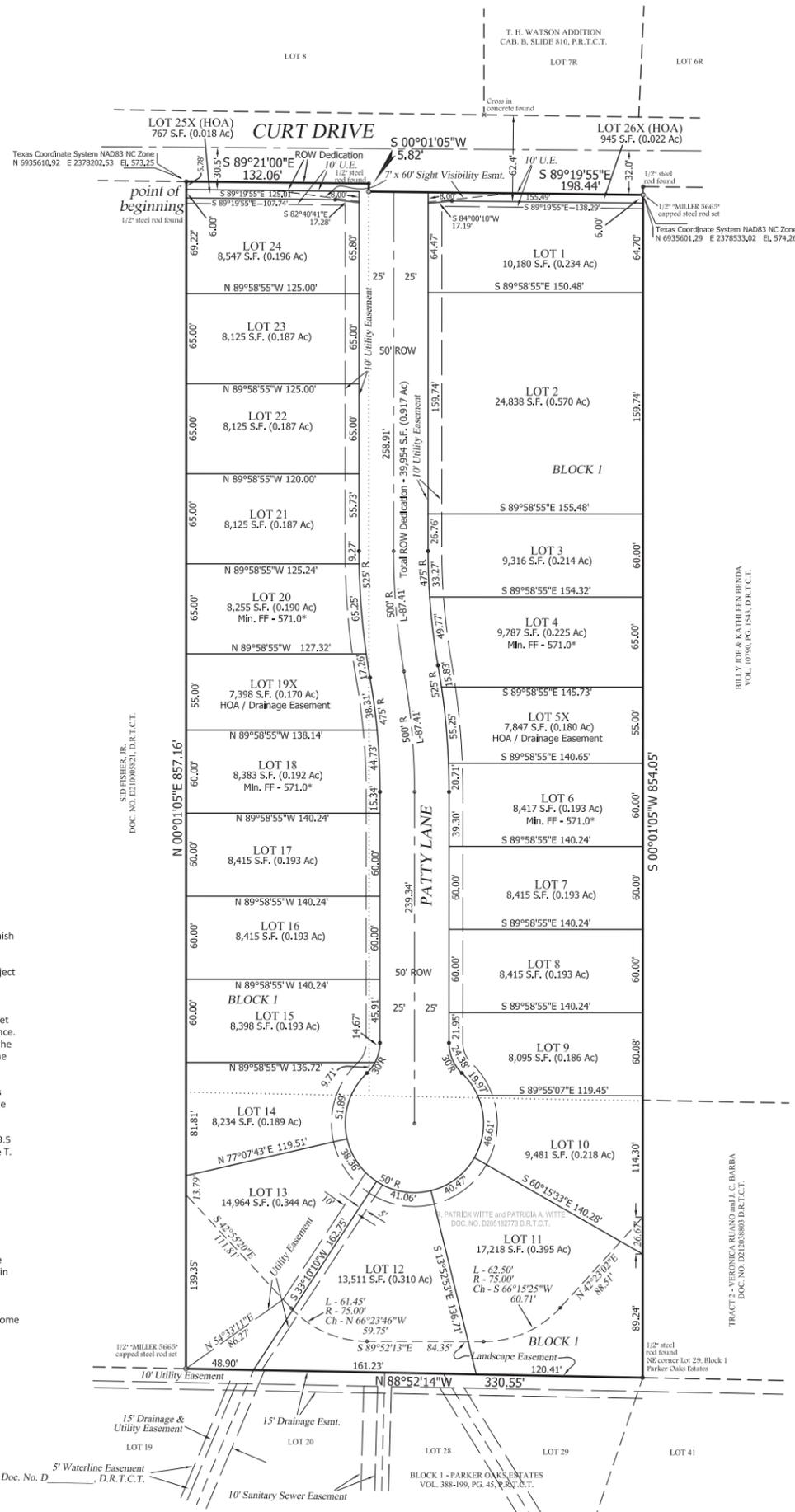
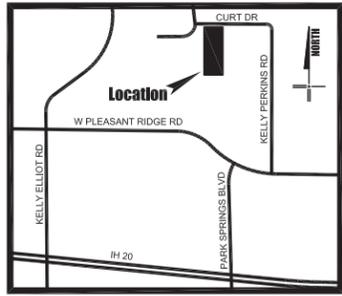


LOCATION MAP

WITTE PLACE

PRELIMINARY PLAT





- NOTES:
- 1) The fencing along Curt Drive shall be maintained by the mandatory HOA.
 - 2) Lot data: 22 Residential Lots & 4 HOA Lots totaling 5.49 acres; ROW Dedication totaling 0.917 acre.
 - 3) The City of Arlington reserves the right to require minimum finish floor elevations on any lot contained within this addition. The minimum elevations shown are based on the most current information available at the time the plat is filed and may be subject to change. Additional lots, other than those shown, may also be subject to minimum finish floor criteria.
 - 4) Visibility triangles shall be provided at all public or private street or driveway intersections in accordance with current City ordinance. All landscaping (nothing over 2 feet in height as measured from the top of the curb) within the visibility triangles shall comply with the Visibility Ordinance.
 - 5) This property may be subject to charges related to impact fees and the applicant should contact the City regarding any applicable fees due.
 - 6) The beginning point shown hereon is by deed call NORTH 1589.5 feet and N 89°02'W 1187.4 feet from the southeast corner of the T. H. Watson Survey. Said beginning point is N 49°18'44"W 2878.26 feet (surface) from City of Arlington Monument AR99.
 - 7) * - Federal Emergency Management Agency (FEMA) Elevation Certificate will not be required for these lots.
 - 8) The purpose of the Landscape Easements for Lots 10-13 is to assure tree preservation, specifically for Lots 10-13. The homeowners of Lots 10-13 will be individually responsible for the maintenance of the landscape easements. No grading is allowed in the Landscape easements.
 - 9) The maintenance of the Lots 5X, 19X, 25X and 26X and the maintenance of the entry wall shall be the responsibility of the Home Owners Association.

THIS is to certify that I, Jason B. Rawlings, a Registered Professional Land Surveyor of the State of Texas, have platted the above subdivision from an actual survey on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

Jason B. Rawlings
Texas RPLS No. 5665



We hereby determine that this plat conforms to the preliminary plat approved by the Planning and Zoning Commission on _____.

Approved: _____ Attest: _____

Chairman - Planning and Zoning Commission Secretary - Planning and Zoning Commission

STATE OF TEXAS
COUNTY OF TARRANT

WHEREAS, BAYLEY YANDELL, LTD., acting by and through the undersigned, its duly authorized agent, is the sole owner of a tract of land out of the T. H. Watson Survey, Abstract No. 1689 and situated in the City of Arlington Tarrant County, Texas, said tract including the following tracts of land: the tract described in the deed to R. Patrick Witte and Patricia A. Witte recorded as Document No. D208025456 in the Deed Records of Tarrant County, Texas; the tract described in the deed to Robert P. Witte and Patricia A. Witte recorded in Volume 11242, Page 1475 in said deed records; and the tract described in the deed to R. Patrick. Witte and Patricia A. Witte recorded as Document No. D205182773 in said deed records and being more particularly described by metes and bounds as follows:

Beginning at a 1/2 inch steel rod found for the northwest corner of said Witte tract (D208025456), said rod being in the southerly right-of-way line of Curt Drive;

Thence South 89 degrees 21 minutes 00 seconds East with the northerly boundary line of said Witte tract (D208025456) and with said right-of-way line a distance of 132.06 feet to a 1/2 inch steel rod found for the northeast corner of said Witte tract (D208025456);

Thence South 00 degrees 01 minutes 05 seconds West with the easterly boundary line of said Witte tract (D208025456) a distance of 5.82 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the northwest corner of said Witte tract (11242/1475);

Thence South 89 degrees 19 minutes 55 seconds East with the northerly boundary line of said Witte tract (11242/1475) and with said right-of-way line a distance of 198.44 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the northeast corner of said Witte tract (11242/1475);

Thence South 00 degrees 01 minutes 05 seconds West with the easterly boundary line of said Witte tract (11242/1475), passing at 653.73 feet a 1/2 inch steel rod found for the southeast corner thereof and the northeast corner of said Witte tract (D205182773) and continuing a total distance of 854.05 feet to a 1/2 inch steel rod found for the southeast corner of said Witte tract, said rod being in the northerly boundary line of Parker Oaks Estates, an addition to the City of Arlington, Texas according to the plat thereof recorded in Volume 388-199, Page 45 of the Plat Records of Tarrant County, Texas;

Thence North 89 degrees 52 minutes 14 seconds West with the southerly boundary line of said Witte tract (D205182773) and with the northerly boundary line of said addition a distance of 330.55 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the southwest corner of said Witte tract (D205182773);

Thence North 00 degrees 01 minutes 05 seconds East with the westerly boundary line of said Witte tract (D205182773), passing at 199.53 feet a 1/2 inch steel rod found for the northwest corner thereof and the southwest corner of said Witte tract (D208025456) and continuing with the westerly boundary line thereof a total distance of 857.16 feet to the point of beginning and containing 6.4871 acres of land as surveyed by Miller Surveying, Inc. in May 2013.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, BAYLEY YANDELL, LTD., acting by and through the undersigned, its duly authorized agent, does hereby adopt this plat designating the hereinabove described real property as Lots 1 thru 24 and HOA Lots 25X and 26X, Block 1, Witte Place, an addition to the City of Arlington, Tarrant County, Texas, and does hereby dedicate to the public's use the streets, easements, and parks shown thereon except the private easements shown thereon.

Owner's Agent
Title

Pursuant to Section 12.002 of the Texas Property Code, as amended, I have obtained original tax certificates from each taxing unit with jurisdiction over each parcel of real property in said subdivision indicating that no delinquent ad valorem taxes are owed on the real property which is the subject of the plat or replat I have submitted to the City of Arlington, Tarrant County, Texas for filing and recording with the Tarrant County Clerk's office.

STATE OF TEXAS
COUNTY OF TARRANT

BEFORE ME, the undersigned authority, on this day personally appeared _____, of Bayley Yandell, Ltd, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed, in the capacity therein stated, and as the act and deed of said [partnership -or- individual, as applicable.]

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the _____ day of _____, 20____.

Notary Public in and for The State of Texas
My Commission expires: _____

Preliminary Plat of
Lots 1 thru 4, Lots 6 thru 18, Lots 20 thru 24
and HOA Lots 5X, 19X, 25X and 26X, Block 1,
WITTE PLACE
Consisting of 26 lots and being 6.4871 acres of land out of the
T. WATSON SURVEY, ABSTRACT NO. 1689
Situated in the City of Arlington, Tarrant County, Texas

OWNER / APPLICANT / DEVELOPER
BAYLEY YANDELL, LTD.
1203 SOUTH WHITE CHAPEL RD.
SUITE 250
214-626-8590



Residential • Commercial • Municipal
430 Mki Cities Blvd.
Hurst, Texas 76054
817.577.1052 Fax 817.577.0972
www.MillerSurveying-Inc.com

Dear City Council members and City Planning Commissioners,

I, Sid Fisher, (Residence: 3812 Curt Drive, Arlington, TX), am filing a formal **PROTEST** against the acceptance of this Preliminary Plat of the Witte Place Addition. My property adjoins the proposed Witte Place addition to the West. I am protesting this preliminary plat for the following reasons:

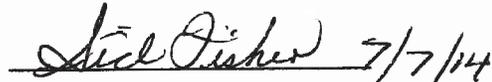
- I do not agree with the placement of the drainage easement. The "Developer" has not been in contact with me since March 2014 to discuss what measures are being taken that addresses erosion control protection; water surface elevations, runoff velocities; and, off-site drainage criteria under section 5.01(I) of the city's Drainage Ordinance Subdivision Regulations.

In addition, based on previously submitted plat/grading documents, the "Developer" appears to be discharging developed stormwater runoff flows (sheet flow) onto my property as indicated by "drainage arrows". This "sheet flow" runoff promotes soil erosion which endangers the natural wildlife habitat as designated by the National Wildlife Federation. My property has been registered with the National Wildlife Federation as a Wildlife habitat for more than 15 years. Bottom line, I have not been afforded the opportunity to have my hydrologist review the results of the hydraulic calculations and plans to insure no damage will be done to my property.

- Secondly, the residential lot size, as presented in the Preliminary Plat, is not within the "character of the neighborhood". A large number of the existing residential lots in the "neighborhood" have an area that averages 3 acres in size, which allows for a larger residence to be built that more closely represents the current "character of the neighborhood". The Witte Place Addition reflects an average lot area of 0.2 acres, which is inconsistent with the "character of this neighborhood".
- Third, the increase in residential dwellings will significantly increase traffic leading out of the Witte Place Addition. We believe that an increase in traffic will create safety concerns within Curt Drive and adjoining streets. The streets going to and from the planned Witte Place addition are simple paved two lane roads with no curbs, sidewalks, or drainage systems. We believe the Developer should address traffic capacities to and from the addition.

I believe that the Mayor and Council and P&Z Commissioners **must not** accept the Preliminary Plat until the Developer of the Witte Place Addition addresses: drainage concerns; maintains the "character of the neighborhood; and traffic concerns.

Sincerely,


Sid Fisher

Dear City Council members and City Planning Commissioners,

We, Billy Joe and Kathleen Benda, (Residence: 3708 Curt Drive, Arlington, TX), are filing a formal **PROTEST** against the acceptance of this Preliminary Plat of the Witte Place Addition. Our property adjoins the proposed Witte Place addition to the East. We are protesting this preliminary plat for the following reasons:

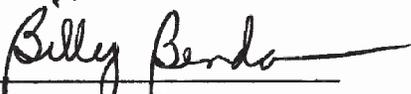
- We do not agree with the design of the drainage easement. The 'Developer' has not been in contact with us since April 2014 to discuss the method of how they plan to convey the stormwater flow from our property through the Witte Place addition. Their original concept of installing an 8'x 4' underground box culvert (presented to us in January 2014) **would have flooded our property by raising the elevation of the creek 36 inches**. They had stated to the City of Arlington that the creek elevation would rise only **3 inches**. **Had we not hired an independent hydrologist to perform the hydraulic calculations, we would have suffered severe damage to our personal property, buildings and land.**

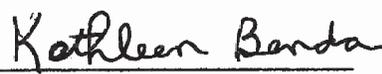
Bottom line, we have not been afforded the opportunity to have our hydrologist review the results of the hydraulic calculations and the construction plans to insure no damage will be done to our property.

- Secondly, **the residential lot size**, as presented in the Preliminary Plat, **is not within the "character of the neighborhood"**. The **average lot size of the neighborhood is 1.82 acres** which allows for larger houses to be built with **vast green space** between houses. **The Witte Place Addition reflects an average lot size of 0.2 acres**. **This does not conform** to the **predominant pattern** established by the existing lots located along Curt Drive and **has no due regard to the character of the area**.
- Third, the setback of the existing houses along Curt Drive **are at least 41 feet** from the front of the property line. The **Witte Place Addition** has two lots adjacent to Curt Drive where the houses would be constructed **at 21 feet** from Curt Drive. This is substantially different than the existing houses along Curt Drive and **has no due regard to the character of the area**.
- Lastly, the increase in residential dwellings will significantly increase traffic leading out of the Witte Place Addition. We believe that an increase in traffic will create safety concerns within Curt Drive and adjoining streets. The streets going to and from the planned Witte Place addition are simple paved two lane roads with no curbs, sidewalks, or drainage systems. We believe the Developer should address traffic capacities to and from the addition.

We believe that the Mayor and Council and P&Z Commissioners **must not** accept the Preliminary Plat until the Developer of the Witte Place Addition addresses: drainage concerns; maintains the "character of the neighborhood; and traffic concerns.

Sincerely,


Billy Benda


Kathleen Benda

RECEIVED - D1

14 MAY 14 PM 4:49

5/14/15

14 MAY 14 PM 4:49

To Whom It May Concern,

My name is DENNIS SHANNON. I live at 3701 Curt Dr.

In regards to the proposed rezoning and development of any more property on this street, I have great concerns for pedestrians who already walk here, as there are no sidewalks and too much traffic.

It is only a matter of time before someone will be run over.

Thank you,
Dennis Shannon

RECEIVED - M
14 MAY 14 PM 4:48

May 13, 2014

City of Arlington
City Council & Planning Commissioners

**Re: Preliminary Plat Review
Witte Place Addition**

Dear City Council Members and Planning Commissioners,

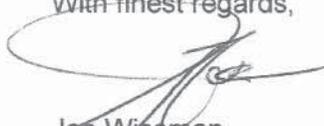
I currently reside with my family at 3614 Curt Drive, Arlington, Texas.

Please allow this letter to serve as a formal **PROTEST** against the approval of the above referenced Preliminary Plat of the Witte Place Addition. My property is just east of and in close proximity to the proposed Witte Place addition. I am protesting this preliminary plat for the following reasons:

- First, the residential lot size, as presented in the Preliminary Plat, is not within the current standards and "character" of our neighborhood. The majority of the existing residential lots in our neighborhood are properties that have an average footprint of three (3) acres in size. This has always allowed for larger residences to be built that more closely represent the current "character" of our neighborhood. The proposed Witte Place Addition reflects an average lot size of 0.2 acres, which is inconsistent with the established "character" of this neighborhood.
- Second, the dramatic increase in residential dwellings will significantly increase traffic flowing to and from the proposed Witte Place Addition. It is my belief that an increase in traffic will create safety concerns along Curt Drive and adjoining streets. The streets going to and from the planned Witte Place addition are simple two lane paved roads with no curbs, sidewalks, or drainage systems. I am of the opinion that the Developer should address all neighborhood concerns regarding traffic capacities and supporting infrastructure.

I am formally requesting that that our Mayor, City Council and P&Z Commissioners **NOT APPROVE** the Preliminary Plat until the Developer of the Witte Place Addition addresses concerns that include but are not limited to; drainage, "character" of our neighborhood and increased traffic flow management.

With finest regards,



Joe Wiseman



To:

The City of Arlington
Community Development and Planning
Planning and Zoning Commission

RECEIVED - B1

14 MAY 14 PM 4:40

Re: Preliminary plat hearing

As a long time resident of the City of Arlington (ca. 1975) and homeowner of 3615 Curt Dr. I feel compelled to voice my concerns regarding the proposed development nearby my property. I have been made aware by my neighbors of the proposed preliminary platting for Lots 1 through Lot 24 of the Witte Place Addition. This development is of my utmost concern for various reasons that if not addressed by the City of Arlington will adversely and negatively impact the neighborhood and its residing citizens.

As a registered Professional Engineer in the State of Texas I am familiar with the process the City has to proceed for applicants for new housing developments to promote growth and modernization. In this particular case we as a group of homeowners are forming a partnership to contest and to halt the rush through of the plating of this new addition.

Currently the setting of our neighborhood is multi-acre lots, which provide space between properties and offer the feel of living in the country within the City. This setting is a primary reason I purchased this property less than two years ago. I believe this will devalue my investment, cause crowding hazards on an already heavily-traveled road, and not be zoned correctly when I have a neighbor two doors down from me with seven acres and a very large square foot home and then potentially on the other side two doors down are homes that are as small as legally possible.

I believe it would be a grave mistake to re-zone this area of the City of Arlington and it would alter its character permanently. Arlington has many great attractions and areas and there are plenty of locations conducive to small lot-size housing.

As Founder and President of Systems Integration, Inc., an Arlington-based engineering and construction company since 1992, I have contributed to the growth of this City and witnessed great progress and decision-making in City developments. It is with this understanding that I appeal to the City Council to carefully investigate and analyze the impact that this proposed development can have on the harmony and unity of this section of the City, i.e., community safety, traffic, noise pollution, water-supply demand, sewer overload, over-crowding, drainage, crime, and many other tangible and intangible costs to the surrounding property owners and to the long-term tax valuation decline for the City.

As a group of neighbors and partners we are hereby requesting to the City of Arlington that all proposed variances and decisions become written and properly presented and exposed to all affected homeowners for review prior to any approval made by the City Council.

If I can be of further assistance please call me at (817) 468-1494 or (817) 822-8964.

Respectfully,

B. Fritz

Bernhard Fritz, P.E.

Systems Integration Inc.

P.O. Box 150287
Arlington, Texas 76015

7316 Business Place
Arlington, Texas 76001

Voice 817 468.1494
Fax 817 468.7975

May 13,2014

RECEIVED - M
14 MAY 14 PM 4:48

With regard to the review and approval of the "WittePlace" on Curt Drive, Arlington,Tx.....

As a long-standing homeowner in this quaint rural neighborhood, we appreciate the opportunity to voice our opinion. It is important to evaluate all major impacts to any residential changes to this neighborhood's characteristics.

Points of concern from a family that consists of 3 homes and 5 grandchildren are below:

- Will the character of the neighborhood drastically change.....
- Will the new construction comply with setback lines of this neighborhood.....
- Is there an erosion control plan in place.....
- Why is an "E Zoned" area now being considered for an "R" zoned accepted area.....
- Has a "FEMA" Certification been approved....
- Has a traffic survey been conducted.....

The neighborhood characteristics are rural in enjoyment with controlled traffic patterns dictated by a two lane street with no sidewalk or curbs. This is a road that is conducive to children at play, pet security and animal husbandry enjoyment with limited daily traffic.

Without **extreme** improvements to the road system, an inordinate influx of residential home sites will jeopardize the safety and comfort of existing lifestyles - not to mention the increase in traffic noise and uncertainty of destination.

We look forward to these concerns being adequately addressed and governed by City Ordinance and State Law.

Thank You,


Doug and Paula Jones

3700 Curt Dr.

Arlington, Tx. 76016

To Whom it Concerns,

RECEIVED - [initials]
14 MAY 14 PM 4:48

In regards to the proposed "Witte Plat" on and around the address of 3650 Curt Drive – my family and I have some concerns about this development and what it would do to this existing neighborhood.

- Access for neighborhood – the existing development is not on a main through street and would not be able to handle the increased amount of traffic without some serious modifications. Also, the increase in traffic on a daily basis from the new residential neighborhood could impact our children and put them at risk while playing in the existing area.
- The Creek – although I do not live back by the creek I do notice when substantial rains happen an increase of flooding in the area and realize that this concern would cause the developer to destroy one of our local stream which would affect the wildlife and greenery in the area. This is part of our community now and would like to keep it that way.
- Peaceful Neighborhood – My family and I moved to this location for many reasons but one of the most outstanding reasons was its proximity to the city and its quaint surroundings with plenty of land and space. Now we are talking about going from having 12 houses on our street to around 40 in the near future. Even our children who are only 7 and 11 years old understand the benefit we currently have with option to run around in a non-crowded neighborhood like most of their friends are growing up in. These children want to come to our house because they know they have plenty of room to run around and they do not have to worry about crazy traffic on the surrounding streets.

Sincerely,



The Jones Family – David, Kimmie, Jackson and Audrey

3650 Curt Drive

May 13, 2014

RECEIVED - 01

14 MAY 14 PM 4:48

Dear City Council members and City Planning Commissioners,

I Marian Buehler, (Residence: 3611 Curt Drive, Arlington, TX), am filing a formal **PROTEST** against the acceptance of the Preliminary Plat of the Witte Place Addition being of the T.H. Watson Survey Abstract number 1689 Tarrant County Texas. Our property is across the street to the proposed Witte Place addition to the East. I am protesting this preliminary plat for the following reasons:

- First, the residential .2 acre Lot size, as presented in the Preliminary Plat, is not within the "character of the neighborhood". The majority of the existing residential lots in the "neighborhood" have an area that averages 3 acres in size, which allows for a larger residence to be built that more closely represents the current "character of the neighborhood". The Witte Place Addition reflects an average lot area of .2 acres, which is inconsistent with the "character and capacity of this neighborhood."
- I do not agree on the alignment of the placement of the drainage easement. The church of Jesus Christ of Latter Day Saints is directly across from this property and there has already been a huge drainage problem resulting from the runoff and placement of the church's large parking lot. The Preliminary Plat does not include any resolution to the drainage issues. Is the City going to come in and invest the money to meet the needs of the drainage including adequate storm drains? Therefore, **I am not in favor of this Preliminary Plat.**
- Third, and foremost the increase in residential dwellings will significantly increase traffic leading out of the Witte Place Addition. The Witte Place Addition is directly across from the church which will create an irremediable traffic jam. I believe that an increase in traffic will create safety concerns within Curt Drive and inadequate adjoining streets. The streets going to and from the planned Witte Place addition are simple narrow paved two lane roads with no curbs, sidewalks, or drainage systems. Curt Dr. is an older rural road and not built for nor will it handle the increased traffic caused by a cramped sub-division proposed by the developer. We have lived in this neighborhood for over 30 years and the traffic created by the ingress and egress of an additional 24 houses, along with the church traffic would cause irreparable hardship and safety hazard for current residents.
- We believe that the Mayor and Council and P&Z Commissioners **must not** accept the Preliminary Plat until the Developer of the Witte Place Addition addresses: drainage concerns; maintains the "character" of the neighborhood; and traffic concerns.
- Lastly, we feel that the proposed redevelopment of this property in an established neighborhood will significantly decrease the property value of our current plats. We will NOT be able to maintain our property value in close proximity to 24 houses on .2 acre lots.

Sincerely,



Marian Buehler
Retired Six Flags Over Texas V.P. and former Chamber of Commerce member

HUJEFA Y. VORA, M.D.

Diplomate, American Board of Internal Medicine

3150 Matlock Road
Suite 403
Arlington, TX 76015

RECEIVED - DI
14 MAY 14 4:47 PM
Metro 817-4784-0052
Fax: 817-375-5800
bimapa52@yahoo.com

Planning and Zoning Commission

101 W. Abram St

Arlington, TX

May 15, 2014

Dear Sirs/Madam:

The Planning and Zoning Commission of the City of Arlington will hold a public hearing on May 21, 2014, to consider a preliminary plat of the Witte Place Addition. As you are aware, this is located south of Curt Drive and west of Kelly Perkins Rd, with the approximate addresses of 3800, 3808, and 3810 Curt Drive.

My family and I currently own and reside at 3600 Curt Drive, Arlington, Texas, 76016. We bought our property in 2009 because we loved the character of this small neighborhood. It is a quiet street with the feel of a farming community. Everyone around us has horses and chickens. There are large areas of green space between the homes, encouraging outdoor living. Curt Drive is a small street with one lane in each direction. The intent of this neighborhood has been to provide a rural community in the middle of the urbanization of southern Arlington.

I am writing in strong opposition to the Witte Place Addition plan. My family and I, along with many of our neighbors, are formally protesting the destruction of our neighborhood with this addition of more than 20 homes in the heart of Curt Drive. This planned addition will turn our quiet neighborhood into a busy thoroughfare. The addition of so many new homes in such a small area will make our small street very crowded. Curt Drive will become unsafe, as it is too narrow to accommodate the increased traffic that will no doubt result. Our children will lose the beautiful green spaces that add so much character to our homes and farms. I know that should the City Planners decide to move forward with this housing development, then the next step will be to widen Curt Drive and develop the street further so that it cuts into our properties, eating away at our front lawns. My neighbors and I will vigorously oppose this as well. Any bloated expansion of the street or of the neighborhood itself will further result in a decline in property values ultimately.

We humbly ask the Planning and Zoning Commission of the City of Arlington to take these issues into consideration when discussing the Witte Place Addition. We urge the commission to consider that adding a crowded development like this to a small rural community in the heart of Arlington will in effect destroy the character, the peace and quiet, finally the very fabric of Curt Drive. We urge the commission to vote against the willful destruction of our rural community on Curt Drive.

Sincerely,



Hujefa Y. Vora, MD



BIMA

Bharmal Internal Medicine Associates, PA

In regards to the preliminary plat for "Witte Place" on Curt Drive on Arlington, Tx.....

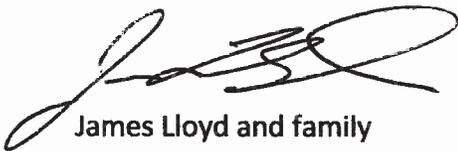
RECEIVED - M
14 MAY 14 PM 4: 48

As a homeowner residing at 3704 Curt Drive, I have several concerns that I feel need addressing before any ground is broken to develop the land currently at 3800-3810 Curt Dr. I have outlined these below and am available to discuss in further detail if that is deemed necessary.

- Drainage – The creek that winds across this property needs to be taken into serious consideration before anything is done. In the past, during heavy rains, this creek has crested and come almost all the way to my garage. If this construction proceeds in the way it is currently outlined, I see this becoming an even larger problem for us in the future.
- Safety – Curt Drive is a road that was built to give access to the people who reside on this road. It is not a major thoroughfare. There are currently 12 homes that front this road. We are talking about tripling the homes on this road with this development. There are no sidewalks, curbs, etc.. and as the father of 3 children, this is a huge concern.
- Lifestyle – One of the reasons my family bought property and decided to raise our family in this city was the nature of the lifestyle we could keep with the ability to have some land for the kids to enjoy. This neighborhood is currently quiet, safe and a wonderful place to live. If we triple the occupancy with this development, all of that changes. We lose our privacy, our quietness and everything that makes this part of Arlington so wonderful and brought us here in the first place. With increased people comes increased traffic, increased noise, increased crime, etc...

In closing, I feel that allowing this plan to proceed as currently outlined does a disservice to the families that are currently here and have made a wonderful home for themselves. If this plan is revised and the number of properties are reduced and the above concerns are addressed then this may work. However, how it is currently laid out is unacceptable.

Please feel free to contact me with any questions.



James Lloyd and family

Melisa, Brianna, Morgan & Caleb

214-356-5992

Staff Report



Specific Use Permit SUP14-3 (316 West Fork Dr.)

Planning and Zoning Meeting Date: 7-16-14

Document Being Considered: Ordinance

RECOMMENDATION

Following the public hearing, consider Specific Use Permit SUP14-3.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

Request - The applicant requests approval of a Specific Use Permit (SUP) for Auto Service Center, in Light Industrial (LI) zoning district. This request is in response to the Zoning Ordinance amendment effective January 27, 2014, requiring new minor auto repair uses to obtain a SUP if located within 200 feet from the right-of-way line of a street. The proposed business is located within the 200 feet from the right-of-way line.

The existing structure is of an aggregate finish exterior with a garage bay set back from the front elevation of the west side of the building. The building is currently vacant, with its most recent use as Office/Warehouse. The applicant is not proposing any changes to the structure or site.

Surrounding Land Uses - Immediate surrounding properties to the east, north, and south are also zoned LI; however, the property directly behind the property is zoned Business (B) with an SUP for gas well drilling, and the land to the northwest is a PD (PD Z84-170/P-188) zoned mostly for single-family, zero-lot line, townhouse, and multi-family residential uses but is, to date, undeveloped.

Unified Development Code - The SUP requirement for an Auto Service Center use in LI zoning district and located within 200 feet from the right-of-way line remains in the UDC, effective July 10, 2014. Additionally, the UDC requires that service bays do not face a public street.

Sector Plan Conformity - The West Sector Plan designates this area as "Industrial," which provides for the development of research, light industrial processing, warehousing, heavy industrial and manufacturing uses as well as supporting business and office uses. The Industrial designation does not directly address auto repair facilities and whether they are an appropriate use in this designation.

The requested SUP is in general conformance with the Comprehensive Plan.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:

- i. Case Information
- ii. Itemized Allowable Uses
- iii. Location Map
- iv. Photos
- v. Site Plan

Under separate cover:

Available in the City Secretary's office:

None

CITY COUNCIL DATE

August 5, 2014

STAFF CONTACTS

Gincy Thoppil, AICP
Development Planning Manager
Community Development and Planning
817-459-6662
Gincy.Thoppil@arlingtontx.gov

Shon Brooks
Senior Planner
Community Development and Planning
817-459-6514
Shon.brooks@arlingtontx.gov

Case Information



Applicant: Fred Levingston

Property Owner: Texas Star, Inc. represented by Matthew Hines

Sector Plan: West

Council District: 4

Allowable Uses: All uses as itemized in attachment ii.

Development History: The subject site is currently platted as Lot 4R, Block 1, Arlington West Industrial Park Addition. No previous zoning cases have occurred in the general vicinity within the past five years.

Transportation: The proposed development has one point of access from West Fork Drive.

Thoroughfare	Existing	Proposed
West Fork Drive	60-foot, 2-lane undivided local	60-foot, 2-lane undivided local

Traffic Impact: The proposed SUP will generate similar traffic patterns as the existing LI zoning and will not significantly impact the adjacent street system.

Water & Sewer: Water and sanitary Sewer are available along West Fork Drive.

Drainage: The site is located within the Rush Creek drainage basin and is not located within the FEMA floodplain. No significant drainage impacts are expected to result from development of this site as long as all relevant city ordinances are complied with.

Fire: Fire Station Number 14, located at 5501 Ron McAndrew Drive, provides protection to this site. The estimated fire response time is less than five minutes, which is in keeping with recommended standards.

School District: The proposed specific use permit request is located in the Arlington Independent School District and has no impact on the schools serving this site.

Case Information



Notices Sent:

Neighborhood
Associations:

ACTION North
Arlington Alliance for Responsible Government
Arlington Chamber of Commerce
Arlington Neighborhood Council
East Arlington Renewal
East Arlington Review
Far South Arlington Neighborhood Assn
Forest Hills HOA
Northern Arlington Ambience
WeCan (West Citizen Action Network)
Shady Valley West HOA
Woodland West

Property Owners: 12
Letters of Support: 0
Letter of Opposition: 0

Itemized Allowable Uses



Allowable Uses:

Light Industrial (LI)

Permitted – Art gallery or museum, Domestic Violence Shelter, Emergency shelter, Government administration and civic buildings, Mortuary|crematory|funeral chapel, Philanthropic institution (other than listed), Religious assembly, Business school, Trade school, University|college|seminary, Hospital, Medical or dentist office or clinic, Cemetery, Community garden, Public park or playground, Crop production, Kennel, commercial, Veterinary Clinic, Car wash, Gasoline sales, Motor vehicle rental, Motor vehicle sale, new, Catering service, Restaurant, Restaurant, take-out and delivery only, Office, business or professional, Telemarketing call center, Bail bond service, General personal services (other than listed), Massage therapy clinic, Tattoo parlor or piercing studio, Gun range (indoor), Private club|lodge|fraternal organization, Country club, Golf course, Recreation, general outdoor (other than listed), Boat and accessory sales, rental and service, Building and landscaping materials and lumber sales, General retail store (other than listed), Firearm sales, Nursery, garden shop or plant sales, Pawn shop, Second-hand goods store, Swimming pool, spa and accessory sales and service, Cleaners, commercial, Food processing, Heavy machinery rental, sales, and service, Medical or scientific research laboratory, Microbrewery|microdistillery|winery, Wrecker service, Custom and craft work, Manufacturing, light, Salvage yard (indoor), Transit passenger terminal, Electric utility substation, Radio or TV station or studio, Utility lines, towers or metering station, Utility installation other than listed, Cold storage plant, Contractors plant, shop and/or storage yards, Distribution Center |warehouse, Wholesale supply business

Specific Use Permit – Halfway House, Public or private school, Auto service center, Auto repair garage, major, Motor vehicle sales, used, Hotel, limited service, Residence hotel, Day care center, Gun club, skeet, or target range (outdoor), Marina, Specialty paraphernalia sales, Gas well, Airport of landing field, Electric generating plant, Telecommunications Facilities Towers >75ft, Stealth towers>100ft

Conditions – Stables, commercial, Financial service, Bar, Restaurant with drive-through, Hotel, full service, Trailer camp|RV park, Nightclub, Open-air vending, Package liquor store, Sexually oriented business, Building maintenance sales and service, Telecommunications Facilities Building-mounted antennae and towers, Telecommunication Facilities Towers ≤75ft Stealth towers ≤100ft, Self-storage facility, Outside storage



**LOCATION MAP
SUP14-3**

 **SPECIFIC USE PERMIT FOR
AUTO SERVICE CENTER
0.422 ACRES**





SUP14-3

West of West Fork Drive and north of West Division Street



View west of subject site.



View south from subject site.



View east across West Fork Drive from subject site.



View north of notification sign adjacent to West Fork Drive.



1
Parking Spaces

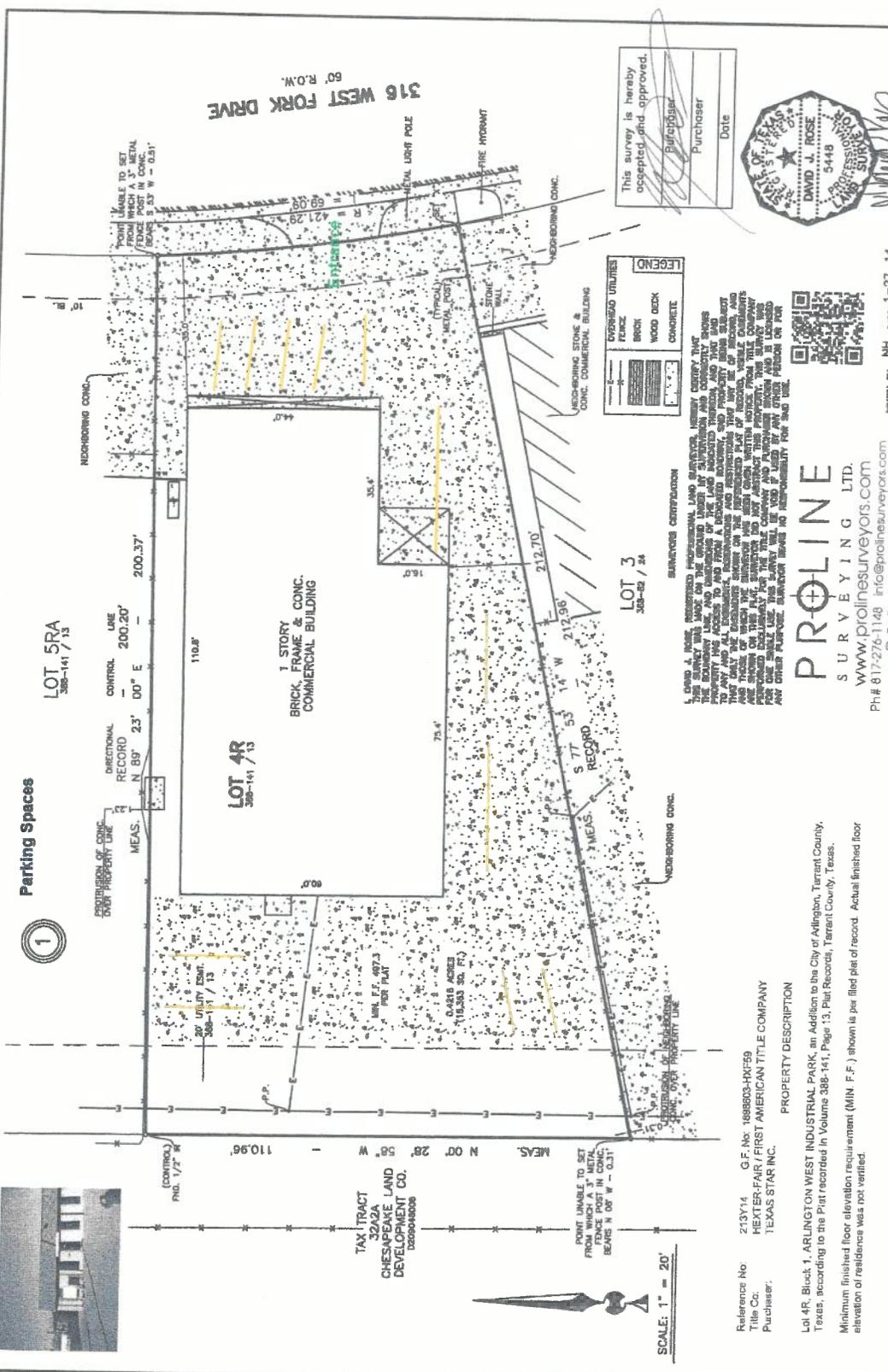
LOT 5RA
385-141 / 13

LOT 4R
385-141 / 13

**1 STORY
BRICK FRAME & CONC.
COMMERCIAL BUILDING**

LOT 3
385-82 / 24

316 WEST FORK DRIVE
60' R.O.W.



POINT UNABLE TO SET FROM WHICH A 3" METAL REFERENCE POST IN CONC. BEARS 1.08' W - 0.31'

POINT UNABLE TO SET FROM WHICH A 3" METAL REFERENCE POST IN CONC. BEARS 1.08' W - 0.31'

TAX TRACT 32A2A
CHESAPEAKE LAND DEVELOPMENT CO.
12059448006

SCALE: 1" = 20'

LEGEND

[Symbol]	ENHANCED UTILITIES
[Symbol]	BRICK
[Symbol]	WOOD DECK
[Symbol]	CONCRETE

DAVID J. ROSE, REGISTERED PROFESSIONAL LAND SURVEYOR, TARRANT COUNTY, TEXAS
THIS SURVEY WAS MADE ON THE GROUND LINES BY SURVEYING AND MEASURING AND TO BE BOUND BY THE LAND ADJACENT THEREON AND THAT THE PROPERTY LINE ACCESS TO THE LAND ADJACENT THEREON IS SUBJECT TO ANY AND ALL EASEMENTS, ENCUMBRANCES AND RESTRICTIONS THAT MAY BE SUBJECT TO ANY AND ALL RECORDS. THE SURVEYOR HAS REVIEWED THE RECORDS AND HAS THEREOF WHICH THE BURDEN ON THE INTERESTED PARTY OF RECORD, VERIFIABLE COMPANY ARE SHOWN ON THIS PLAN. SURVEYOR DOES NOT WARRANT THAT THE COMPANY HAS BEEN ADVISED OF ANY OTHER EASEMENTS, ENCUMBRANCES AND RESTRICTIONS THAT MAY BE SUBJECT TO ANY AND ALL RECORDS. SURVEYOR MAKES NO REPRESENTATION FOR THE USE OF THIS SURVEY FOR ANY OTHER PURPOSE. SURVEYOR MAKES NO REPRESENTATION FOR THE USE OF THIS SURVEY FOR ANY OTHER PURPOSE.

Reference No: 2133Y14 G.F. No: 1698003-HX759
Title Co: HEXTERFAIR/FIRST AMERICAN TITLE COMPANY
Purchaser: TEXAS STAR INC.

PROPERTY DESCRIPTION
Lot 4R, Block 1, ARLINGTON WEST INDUSTRIAL PARK, an Addition to the City of Arlington, Tarrant County, Texas, according to the Plat recorded in Volume 385-141, Page 13, Plat Record, Tarrant County, Texas.

Minimum finished floor elevation requirement (MIN. F.F.) shown is per filled plat of record. Actual finished floor elevation of residence was not verified.

This survey is hereby accepted and approved,
Purchaser: _____
Date: _____



DRAWN BY: _____ NH DATE: 1-27-14
SURVEY ONLY VALID WITH ORIGINAL SIGNATURE

PROLINE SURVEYING LTD.
www.prolinesurveyors.com
Ph # 817-276-1148 info@prolinesurveyors.com
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SURVEY CAN BE UPDATED FOR RECORDED PRICE

Staff Report



Development Plan DP13-8 (All Storage)

Planning and Zoning Meeting Date: 7-16-14

Document Being Considered: Ordinance

RECOMMENDATION

Following the public hearing, consider Development Plan DP13-8.

PRIOR BOARD OR COUNCIL ACTION

On September 1, 2004, the Planning and Zoning Commission recommended approval, by a vote of 9-0-0, of zoning amendment Z03-36/P03-36, a Planned Development for Community Service (PD-CS) uses plus warehouse and mini-warehouses with an accessory caretaker's quarters more than 800 square feet, and excluding the following uses: building and landscape materials, lumber sales, teen club, greenhouse, nursery, garden shop or plant sales, swimming pool, spa and accessory services, restaurant with a drive-thru, hospital, full service hotel, motel, residence hotel/motel, theatre, boat and accessory sales, convenience store with gasoline sales, large scale retail, recycling collection center, wholesale supply business, cemetery, mortuary, funeral chapel, outside storage of any kind, crop production, church, public or private school, day care facility, country club with golf course, public park, playground, transit passenger shelters, and utility lines, with a Development Plan.

On September 28, 2004, the City Council approved Z03-36/P03-36 on first reading by a vote of 9-0-0.

On October 12, 2004, the City Council tabled Z03-36/P03-36 until October 26, 2004, by a vote of 9-0-0. On October 26, 2004, Z03-36/P03-36 remained tabled by City Council. On November 9, 2004, the City Council tabled Z03-36/P03-36 indefinitely by a vote of 8-0-0.

On February 22, 2005, the City Council removed Z03-36/P03-36 from the table by a vote of 9-0-0 and approved on second and final reading by a vote of 8-1-0.

On April 16, 2014, the Planning and Zoning Commission continued the case until June 18, 2014, at the request of the applicant to allow them to address access issues from TxDOT right-of-way (South Watson Road) to their site.

On June 18, 2014, the Planning and Zoning Commission continued the case until July 16, 2014, at the request of the applicant to allow them to address access issues from TxDOT right-of-way (South Watson Road) to their site.

ANALYSIS

Request - The applicant requests approval of a new development plan for a mini-warehouse use on approximately 8.454 acres zoned Planned Development (PD) for limited Community Commercial (CC) uses plus warehouse and mini-warehouse; addressed at 2500 Overbrook and 3000, 3050, 3100, and 3200 South Watson Road, and generally located south of Overbrook Drive and west of South Watson Road. The original development plan that was approved as a part of the PD in 2005 expired since the site was not developed within five years.

The subject site is still undeveloped with no trees, and has frontage on Overbrook Drive and South Watson Road, the frontage road for Highway 360. Currently, the approximate 8.5-acre site is platted as five lots. However, a replat for the site is being reviewed

concurrently, which will combine four lots and reduce the total number of platted lots on the site to two. The new configuration will create one 6.79-acre lot and one 1.66-acre lot.

Adjacent Land Uses

The properties to the north and west of the subject site are zoned Residential (R) and developed with single family residences. The property to the south is zoned Planned Development (PD) for Multi-family (MF) uses and developed with a multi-family residential complex at 26.26 dwelling units per acre. The subject site is adjacent to Highway 360 on the east.

Development Plan

There will be two access points to the site, one on Overbrook Drive and the other on South Watson Road. The applicant is proposing to develop the subject property with a mini-warehouse use on the two lots. The mini-warehouse facility will consist of 12 total buildings. There will be one three-story building approximately 49 feet tall and 11 one-story red-brick buildings.

The three-story building will be a climate-controlled facility with a 1,500-square-foot office and 594 storage units accessible via internal corridors and elevators. The building will have a controlled access door for security. There will be six parking spaces located on the first floor of the building for closer proximity to the elevators.

The exterior building materials of the three-story building will consist of concrete tilt wall and textured concrete on all four elevations of the structure. At the northeast corner of the building, the applicant proposes the use of glass on all three levels to give the appearance of a contemporary office building. Faux windows are also utilized on the third floor of all four elevations as well as a metal canopy on the north and south ends of the building as accent features. The primary colors for the building are beige and gray with red accents on the northeast and southeast corners of the building and on the center of the east façade. Other design features utilized to enhance the structure include varied roof heights and articulated cornice lines that encircle the building.

The single-story buildings will range in size from 4,000 square feet to 9,275 square feet and provide a total of 367 storage units in the 11 buildings. Each of those buildings will have red brick exteriors with standing seam metal roofs. All roll-up doors for the storage units will be screened by walls, landscaping, or other buildings. Three access gates will be provided on site to secure these buildings.

Residential Adjacency and Transitional Buffers

The previous Zoning Ordinance required a height/setback ratio of 3:1 for non-residential structures when adjacent to residential properties, with special provisions that would allow for a reduction to 2:1 if met. The Unified Development Code (UDC) limits the maximum height of all structures in a non-residential district within 40 feet of the residential property line to 40 feet. Structures that are more than 40 feet from the residential property line do not have a maximum height limit. The only structure being proposed that is greater than 40 feet tall is over 100 feet away from any residential property line.

The UDC requires a screening device of six to eight-feet in height constructed of masonry products, ornamental metal rail, composite fencing, or wood. The applicant proposes to use a six-foot tall, masonry wall along the property line that is adjacent to the single family residential properties. An existing six-foot tall wood fence will remain to screen the property

from the multi-family residential property. The UDC requires a transitional buffer of 15 feet for commercial-zoned property with structures one to three-stories tall. The buffer area must contain one tree, three-inch caliper and 10 feet tall, for every 450 square feet of area. The applicant proposes to provide a 30-foot transitional buffer all property lines where the site is adjacent to residential properties. Within the transitional buffers, there will be four-inch caliper trees at the rate of one per 300 square feet. The applicant is proposing to use Lacebark Elm, Cedar Elm, and Deodar Cedar as their primary species in the transitional buffer area.

Other Landscaping

In addition to the landscaping in the transitional buffer, the applicant has provided the requisite landscape setback of 20 feet along South Watson Road (Highway 360 frontage road). The required number of canopy trees in the setback (one per 35 linear feet) has been provided as well as the curvilinear planting with shrubs to screen the on-site parking areas. Four-inch caliper Live Oak trees will be placed at the terminus of each parking row and four-foot screening shrubs surround the walls for each dumpster enclosure. In addition, the applicant proposes to enhance the entries to the site with ground covering and bulb flowers.

Staff Considerations

Because of the great visibility of this site as well as its proximity to established single family residential communities, staff recommends the following enhancements:

Incorporate more articulations and/or design features along the elevation fronting State Highway 360 of the three-story building. The central red archway may be replaced with a natural stone to give it a more distinctive appearance. Also, providing faux glass on the first floor level may make the building fit better into the retail/commercial corridor. Additionally, use a more subdued brick color, such as earth tones, for the one story buildings on the property that would be more conducive to an office environment.

Sector Plan Review

The site is located within Arlington’s East Planning Sector. The *East Sector Plan* Land Use Policy Map identifies the property as “MF” (Multi-Family Residential), which is described as attached multi-family residential units with an average density of 14-22 units per acre. These are typically uses which can act as a transition between two land uses of significantly different intensities. The appropriate zoning is “MF14”, “MF18”, or “MF22”.

While the proposed Development Plan for mini-warehouses is not consistent with the East Sector Plan, it is in compliance with the previously approved zoning.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:	i. Case Information
	ii. Location Map
	iii. Photos
	iv. Development Plan (13 pages)
Under separate cover:	None
Available in the City Secretary’s office:	None

CITY COUNCIL DATE

August 5, 2014

STAFF CONTACTS

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Community Development and Planning
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Gincy.Thoppil@arlingtontx.gov

Nathaniel Barnett, AICP
Senior Planner
Community Development and Planning
817-459-6670
Nathaniel.Barnett@arlingtontx.gov

Case Information



- Applicant:** Quine & Associates represented by Coy Quine
- Property Owner:** Plains Capital Bank
- Sector Plan:** East
- Council District:** 5
- Development History:** The subject site is currently platted as Lots 1B, 1C, 1D, 1E, and 1F, Block 35 of the Springridge Addition.
- No previous zoning cases have occurred in the general vicinity within the past five years.
- Transportation:** The proposed development has 2 points of access. One point of access is from Overbrook Drive and the other is from South Watson Road (State Highway 360 frontage road).
- | Thoroughfare | Existing | Proposed |
|-------------------|--------------------------------------|--------------------------------------|
| State Highway 360 | 500-foot, 2-lane frontage road | 500-foot, 2-lane frontage road |
| Overbrook Drive | 60-foot, 2-lane undivided local road | 60-foot, 2-lane undivided local road |
- Traffic Impact:** Since no change to the zoning is proposed, the development should generate similar traffic patterns as previously anticipated.
- Water & Sewer:** Water and Sanitary Sewer are available in Overbrook Drive and State Highway 360.
- Drainage:** The site is located in the North Fish Creek drainage basin.
- The site has no portion within the FEMA floodplain.
- No significant drainage impacts are expected to result from development of this site as long as all relevant city ordinances are complied with.
- Fire:** Fire Station Number 2, located at 1727 Sherry Street, provides protection to this site. The estimated fire response time is less than five minutes, which is in keeping with recommended standards.
- School District:** Arlington Independent School District

Case Information



Notices Sent:

Neighborhood

Associations:

ACTION North
Arlington Chamber of Commerce
Arlington Neighborhood Council
Central Arlington Property Owners, Inc.
East Arlington Renewal
East Arlington Review
Far South Arlington Neighborhood Assn
Forest Hills HOA
Northern Arlington Ambience
WeCan (West Citizen Action Network)

Property Owners: 48

Letters of Support: 0

Letter of Opposition: 0

PLANNING AND ZONING COMMISSION SUMMARY:

Public Hearing: April 16, 2014

Development Plan DP13-8 (All Storage - 2500 Overbrook Drive and 3000, 3050, 3100, and 3200 South Watson Road)

Application for approval of a development plan on approximately 8.454 acres zoned Planned Development (PD) for Community Service (CS) uses plus a mini-warehouse; generally located south of Overbrook Drive and west of South Watson Road.

Per the applicant's request, this case was continued to the June 18, 2014, meeting.

CONTINUED

PLANNING AND ZONING COMMISSION SUMMARY:

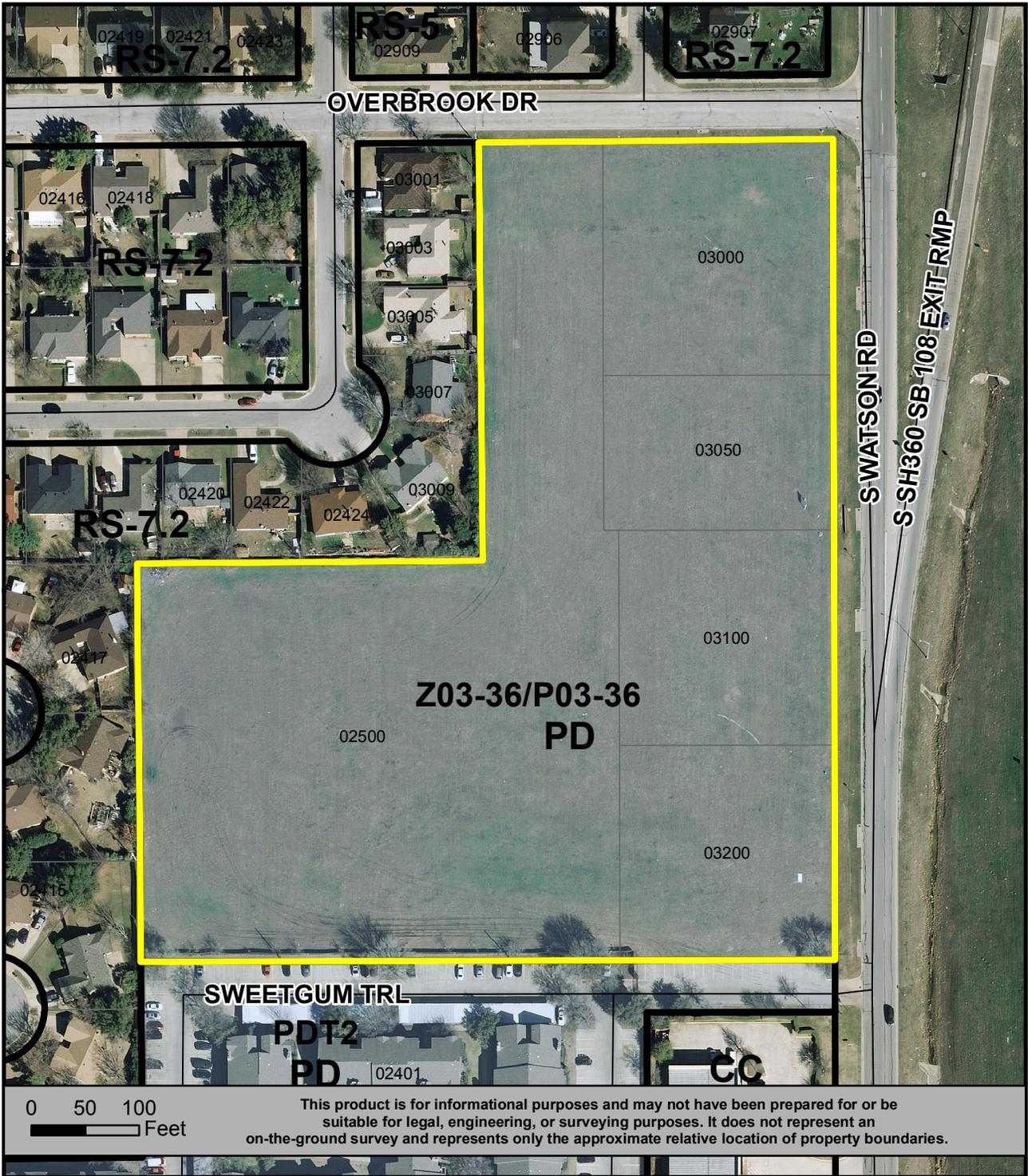
Public Hearing: June 18, 2014

CONTINUED (from 4-16-14) Development Plan DP13-8 (All Storage - 2500 Overbrook Drive and 3000, 3050, 3100, and 3200 South Watson Road)

Application for approval of a development plan on approximately 8.454 acres zoned Planned Development (PD) for Community Service (CS) uses plus a mini-warehouse; generally located south of Overbrook Drive and west of South Watson Road.

Per the applicant's request, this case was continued to the July 16, 2014 meeting.

CONTINUED



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

LOCATION MAP

DP13-8

**DEVELOPMENT PLAN FOR
A MINI-WAREHOUSE**
8.454 ACRES

DP13-8

South of Overbrook Drive and west of South Watson Road



Subject property. View south.



View west of subject property.



View north of subject property.



View east of subject property.

LANDSCAPE TABLE - LOT 2BR	
1. Street trees required	15 trees
1 tree / 35 LF (minus drive)	
Street trees provided	15 trees
2. Parking spaces required	
1 space / 20 stalls (warehouse units)	2 spaces
Parking spaces provided	2 spaces
3. Parking island trees required	
1 tree per 10 spaces	1 tree
Parking island trees provided	1 tree
4. Transitional buffer trees required	
1 tree/ 600 SF	11 trees
Transitional buffer trees provided	20 trees
5. Non paved area	0.62 AC / 37%

LANDSCAPE TABLE - LOT 1BR	
1. Street trees required	15 trees
1 tree / 35 LF (minus drive)	
Street trees provided	15 trees
2. Parking spaces required	
1 space / 20 stalls (warehouse units)	48 spaces
3 spaces / per 1500 SF (office)	5 spaces
Parking spaces provided	53 spaces
3. No excess parking tree required	
4. Parking island trees required	5 trees
1 tree per 10 spaces	
Parking island trees provided	5 trees
5. Transitional buffer trees required	72 trees
1 tree/ 600 SF	
Transitional buffer trees provided	86 trees
6. Non paved area	1.94 AC/41%

SPRINGRIDGE OFFICE/WAREHOUSE/STORAGE UNITS - LOT 1BR				
Storage Bldg.	Units	Size	SF	Total SF
Bldg. A *	82	5x5	25	2,050
	212	10x10	100	21,200
	264	15x10	150	39,600
	18	25x10	250	4,500
	18	30x10	300	5,400
Bldg. B	6	5x5	25	150
	26	10x10	100	2,600
Bldg. C	7	5x5	25	175
	26	20x10	200	2,600
Bldg. D	6	5x5	25	150
	52	15x10	150	7,800
Bldg. E	7	5x5	25	175
	26	15x10	150	3,900
	26	20x10	200	5,200
Bldg. F	6	5x5	25	150
	26	10x10	100	2,600
	26	10x20	200	5,200
Bldg. G	30	10x20	200	6,000
Bldg. H	13	12.5x35	437.5	5,688
Bldg. I	12	12.5x40	500	6,000
Bldg. J	20	25x10	250	5,000
Total	961			132,838

Self Storage Buildings			
Bldg.	Size	Pad SF	Rentable SF
Bldg. A	140x240	102,306	72,750
Bldg. B	30x265	7950	7950
Bldg. C	35x265	9275	9275
Bldg. D	30x265	7950	7950
Bldg. E	35x265	9,275	9,275
Bldg. F	30x265	7950	7950
Bldg. G	10x20	6000	6000
Bldg. H	35x162.5	5688	5688
Bldg. I	40x150	6000	6000
Bldg. J	50x100	5000	5000
Total Bldg. SF			167,394
Total Rentable SF			132,838
Total Non-Rentable SF			34,556
Climate Control SF			72,750

SPRINGRIDGE OFFICE/WAREHOUSE/STORAGE UNITS - LOT 1BR				
Storage Bldg.	Units	Size	SF	Total SF
Bldg. K	12	12.5x40	500	6,000
Bldg. L	16	12.5x30	375	6,000
Bldg. M	8	12.5x40	500	4,000
Total	36			16,000

Self Storage Buildings			
Bldg.	Size	Pad SF	Rentable SF
Bldg. K	40x150	6,000	6,000
Bldg. L	60x100	6,000	6,000
Bldg. M	40x100	4,000	4,000
Total Bldg. SF			16,000

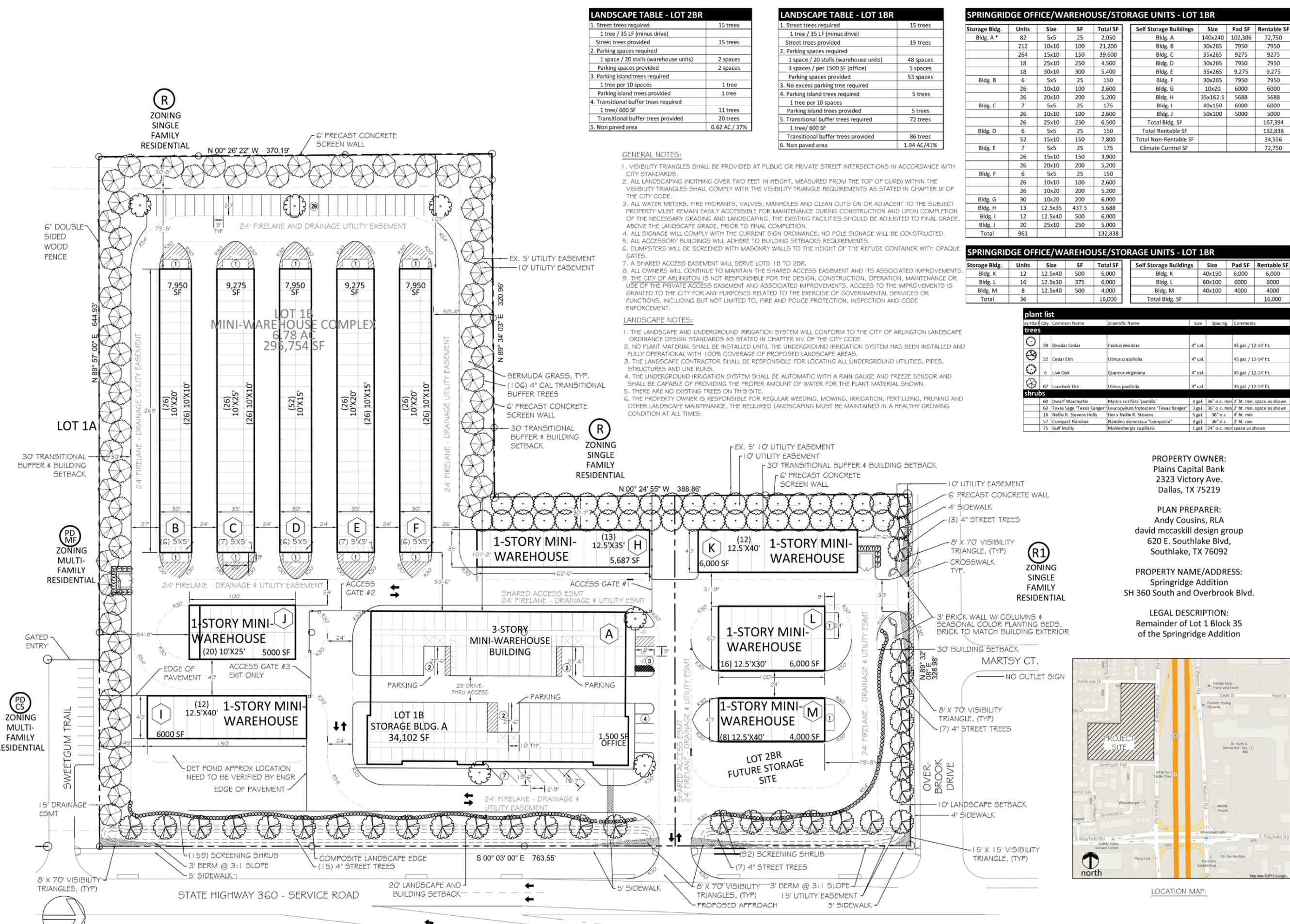
plant list						
Symbol	Qty.	Common Name	Scientific Name	Size	Spacing	Comments
trees						
39		Deodar Cedar	Cedrus deodara	4" cal.	45 gal. / 12-14' ht.	
32		Cedar Elm	Ulmus crassifolia	4" cal.	45 gal. / 12-14' ht.	
6		Live Oak	Quercus virginiana	4" cal.	45 gal. / 12-14' ht.	
67		Lacebark Elm	Ulmus pavifolia	4" cal.	45 gal. / 12-14' ht.	
shrubs						
60		Dwarf Waxmyrtle	Myrica cerifera 'pumila'	3 gal.	36" o.c. min 2' ht. min. space as shown	
60		Texas Sage "Texas Ranger"	Leucopyllum frutescens "Texas Ranger"	3 gal.	36" o.c. min 2' ht. min. space as shown	
18		Nellie R. Stevens Holly	Hol x Nellie R. Stevens	5 gal.	36" o.c. 4' ht. min	
57		Compact Nandina	Nandina domestica "compacta"	3 gal.	36" o.c. 2' ht. min	
75		Gulf Muhly	Muhlenbergia capillaris	1 gal.	24" o.c. min space as shown	

GENERAL NOTES:

- VISIBILITY TRIANGLES SHALL BE PROVIDED AT PUBLIC OR PRIVATE STREET INTERSECTIONS IN ACCORDANCE WITH CITY STANDARDS.
- ALL LANDSCAPING (NOTHING OVER TWO FEET IN HEIGHT, MEASURED FROM THE TOP OF CURB) WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS STATED IN CHAPTER IX OF THE CITY CODE.
- ALL WATER METERS, FIRE HYDRANTS, VALVES, MANHOLES AND CLEAN OUTS ON OR ADJACENT TO THE SUBJECT PROPERTY MUST REMAIN EASILY ACCESSIBLE FOR MAINTENANCE DURING CONSTRUCTION AND UPON COMPLETION OF THE NECESSARY GRADING AND LANDSCAPING. THE EXISTING FACILITIES SHOULD BE ADJUSTED TO FINAL GRADE, ABOVE THE LANDSCAPE GRADE, PRIOR TO FINAL COMPLETION.
- ALL SIGNAGE WILL COMPLY WITH THE CURRENT SIGN ORDINANCE; NO POLE SIGNAGE WILL BE CONSTRUCTED.
- ALL ACCESSORY BUILDINGS WILL ADHERE TO BUILDING SETBACKS REQUIREMENTS.
- DUMPSTERS WILL BE SCREENED WITH MASONRY WALLS TO THE HEIGHT OF THE REFUSE CONTAINER WITH OPAQUE GATES.
- A SHARED ACCESS EASEMENT WILL SERVE LOTS 1B TO 2BR.
- ALL OWNERS WILL CONTINUE TO MAINTAIN THE SHARED ACCESS EASEMENT AND ITS ASSOCIATED IMPROVEMENTS.
- THE CITY OF ARLINGTON IS NOT RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE OR USE OF THE PRIVATE ACCESS EASEMENT AND ASSOCIATED IMPROVEMENTS. ACCESS TO THE IMPROVEMENTS IS GRANTED TO THE CITY FOR ANY PURPOSES RELATED TO THE EXERCISE OF GOVERNMENTAL SERVICES OR FUNCTIONS, INCLUDING BUT NOT LIMITED TO, FIRE AND POLICE PROTECTION, INSPECTION AND CODE ENFORCEMENT.

LANDSCAPE NOTES:

- THE LANDSCAPE AND UNDERGROUND IRRIGATION SYSTEM WILL CONFORM TO THE CITY OF ARLINGTON LANDSCAPE ORDINANCE DESIGN STANDARDS AS STATED IN CHAPTER XIV OF THE CITY CODE.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL THE UNDERGROUND IRRIGATION SYSTEM HAS BEEN INSTALLED AND FULLY OPERATIONAL WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREAS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES AND LINE RUNS.
- THE UNDERGROUND IRRIGATION SYSTEM SHALL BE AUTOMATIC WITH A RAIN GAUGE AND FREEZE SENSOR AND SHALL BE CAPABLE OF PROVIDING THE PROPER AMOUNT OF WATER FOR THE PLANT MATERIAL SHOWN.
- THERE ARE NO EXISTING TREES ON THIS SITE.
- THE PROPERTY OWNER IS RESPONSIBLE FOR REGULAR WEEDING, MOWING, IRRIGATION, FERTILIZING, PRUNING AND OTHER LANDSCAPE MAINTENANCE. THE REQUIRED LANDSCAPING MUST BE MAINTAINED IN A HEALTHY GROWING CONDITION AT ALL TIMES.



SPRINGRIDGE
ARLINGTON, TEXAS

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no.	date	revision

date: 7.07.2014

drawn by: AC

project no: 50-13

PROPERTY OWNER:
Plains Capital Bank
2323 Victory Ave.
Dallas, TX 75219

PLAN PREPARER:
Andy Cousins, RLA
dauid mccaskill design group
620 E. Southlake Blvd,
Southlake, TX 76092

PROPERTY NAME/ADDRESS:
Springridge Addition
SH 360 South and Overbrook Blvd.

LEGAL DESCRIPTION:
Remainder of Lot 1 Block 35
of the Springridge Addition



dauid mccaskill design group
landscape architecture / park, trail and recreation planning
dauid@mccaskilldesign.com
620 E southlake blvd - southlake, tx 76092 / 817.709.2084

sheet

LA.1

CONCEPT DEVELOPMENT PLAN

NORTH

SCALE 1" = 40'

REVISIONS:

△

△

△

△

RELIABLE
COMMERCIAL CONSTRUCTION, INC.

General Contractor:
Reliable Commercial Construction, Inc.
1903 N. Peyco Drive
Arlington, Texas 76001
Tel: (817) 467-0779 Fax: (817) 467-9148

Developer:
Quine and Associates
301 S. Sherman, Suite 100 Richardson, Texas 75081
Tel: (972) 669-8440

Project:
ALL STORAGE ARLINGTON, TX
2500 OVERBROOK DR. ARLINGTON, TEXAS 76014

DRAWN BY:
O.V.

SCALE:
1" = 40'

DATE:
07/07/2014

FILE NUMBER:
SITE.DWG

SHEET:

A1.0

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Reliable Commercial Construction
ALL RIGHTS RESERVED

SITE PLAN NOTES:

- REQUIREMENTS ARE BEING MET FOR A VARIANCE ON THE BUILDING HEIGHT SETBACK REQUIREMENT FROM 136' TO 91' AND IN ACCORDANCE TO SEC. 11-1000 OF THE CITY OF ARLINGTON ZONING ORDINANCE. Section 3 variance requirements:
3a: Place a 6' masonry wall when adjacent to residential
3b: All trees in the transitional buffer be 4" caliper, planted at 1 tree per every 300 sf, and 50% of these trees be evergreen trees and the other 50% be deciduous. REFER TO LANDSCAPE/DEVELOPMENT PLAN
- LOT 2BR IS NOT BEING DEVELOPED AT THIS TIME.
- BUILDING DESIGN FOR LOT 2BR WILL BE UNIFORM WITH THE BUILDING DESIGN OF THE LOT 1BR ONE-STORY STRUCTURES.

PARKING REQUIREMENTS:

LOT:	BUILDING SF	REQUIRED SPACES	PROVIDED SPACES
LOT 1BR	1 SPACE PER 20 STALLS (WAREHOUSE UNITS)	53	53
LOT 1BR	ACCESSIBLE SPACES	3	3
LOT 2BR	1 SPACE PER 20 STALLS (WAREHOUSE UNITS)	2	2

DUMPSTER ENCLOSURE MATERIALS:

DUMPSTER ENCLOSURE WALLS SHALL BE 8 FT. WALLS WILL BE CONSTRUCTED OF CMU BLOCK WITH BRICK VENEER TO MATCH BUILDINGS WITH AN APPROVED METAL (OPAQUE) GATE.

LOT 1BR AND 2BR BUILDING HEIGHTS

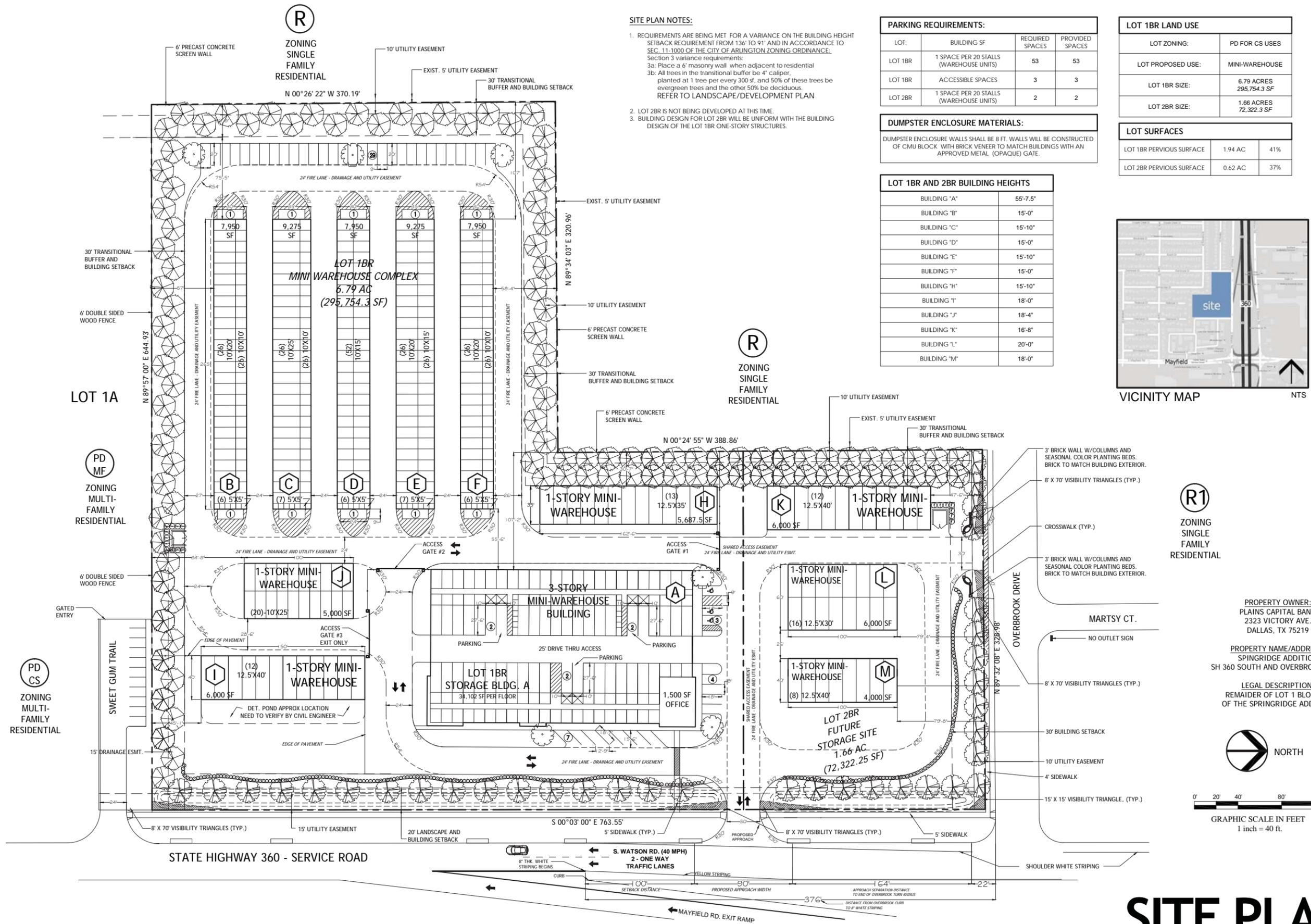
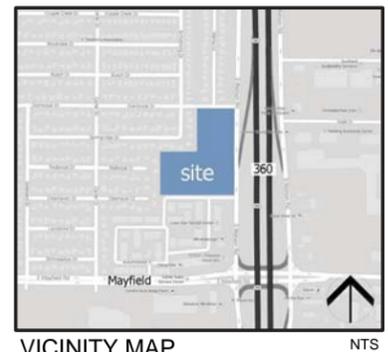
BUILDING 'A'	55'-7.5"
BUILDING 'B'	15'-0"
BUILDING 'C'	15'-10"
BUILDING 'D'	15'-0"
BUILDING 'E'	15'-10"
BUILDING 'F'	15'-0"
BUILDING 'H'	15'-10"
BUILDING 'I'	18'-0"
BUILDING 'J'	18'-4"
BUILDING 'K'	16'-8"
BUILDING 'L'	20'-0"
BUILDING 'M'	18'-0"

LOT 1BR LAND USE

LOT ZONING:	PD FOR CS USES
LOT PROPOSED USE:	MINI-WAREHOUSE
LOT 1BR SIZE:	6.79 ACRES 295,754.3 SF
LOT 2BR SIZE:	1.66 ACRES 72,322.3 SF

LOT SURFACES

LOT 1BR PAVEMENT SURFACE	1.94 AC	41%
LOT 2BR PAVEMENT SURFACE	0.62 AC	37%

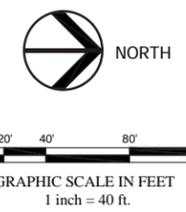


R1
ZONING
SINGLE
FAMILY
RESIDENTIAL

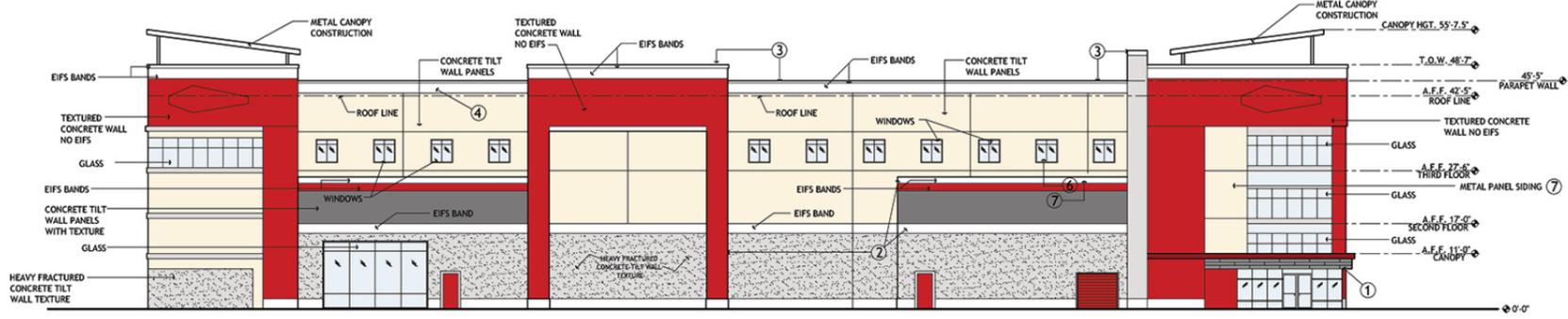
PROPERTY OWNER:
PLAINS CAPITAL BANK
2323 VICTORY AVE.
DALLAS, TX 75219

PROPERTY NAME/ADDRESS:
SPINGRIDGE ADDITION
SH 360 SOUTH AND OVERBROOK BLVD.

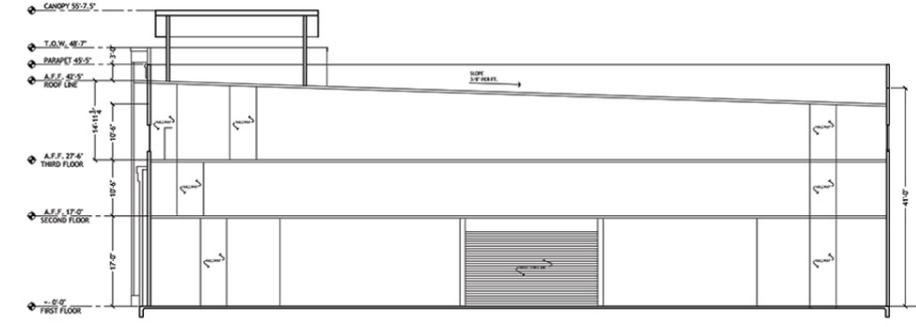
LEGAL DESCRIPTION:
REMAINDER OF LOT 1 BLOCK 35
OF THE SPRINGRIDGE ADDITION



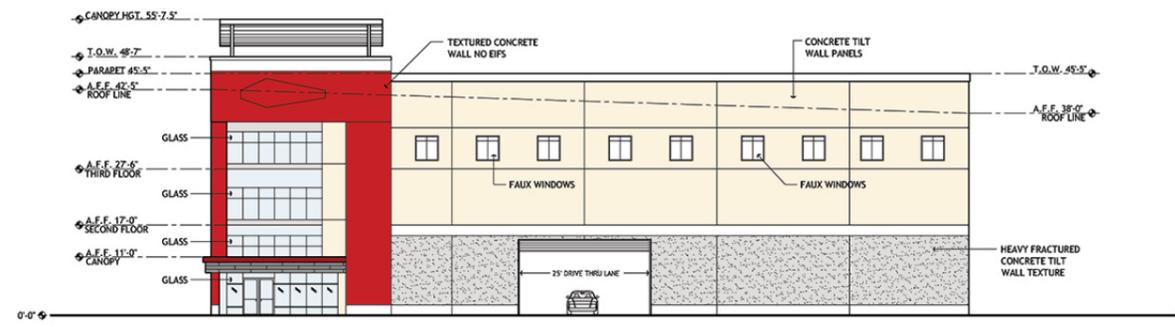
SITE PLAN



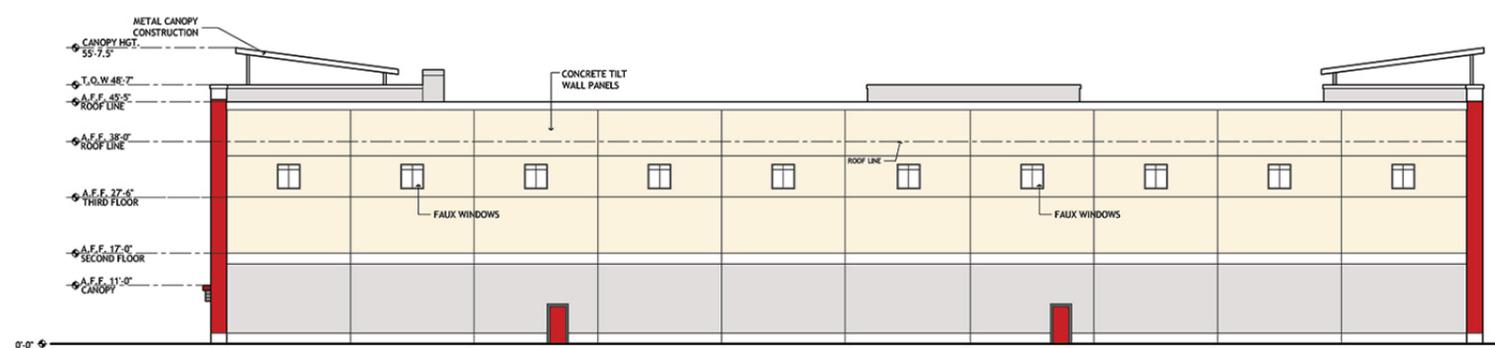
① PRELIMINARY EAST ELEVATION (FRONT)
SCALE: 1/16" = 1'-0"



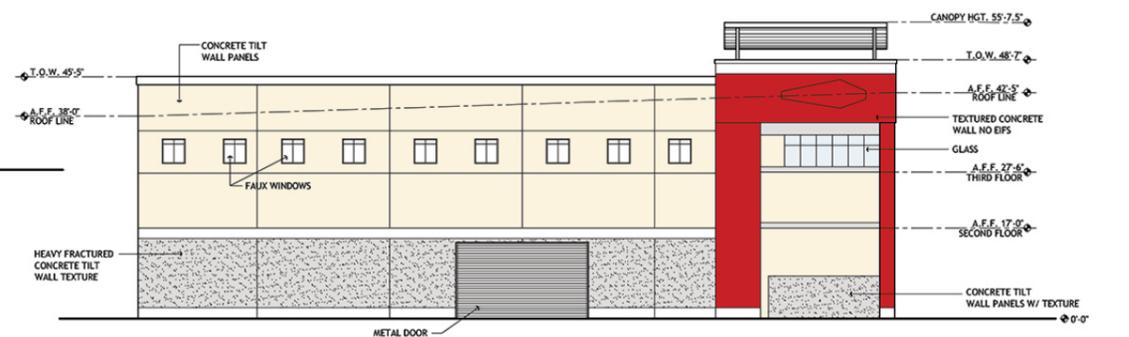
Ⓐ PRELIM. BUILDING SECTION
SCALE: 1/16" = 1'-0"



② PRELIMINARY NORTH ELEVATION (RIGHT)
SCALE: 1/16" = 1'-0"



③ PRELIMINARY WEST ELEVATION (REAR)
SCALE: 1/16" = 1'-0"



④ PRELIMINARY SOUTH ELEVATION (LEFT)
SCALE: 1/16" = 1'-0"

GENERAL NOTES:

- HEIGHT OF WALL, ROOF, AND PARAPET SHOWN ON ELEV. ARE APPROX. TAKEN FROM THE BUILDING FINISH FLOOR EXACT DIM. TO BE DETERMINED PER MANUFACTURER'S REQ. AND STANDARD DETAILS FOR METAL ROOFING SYSTEM.
- ALL NOTES, DIM., DETAIL REFERENCES AND INFO. SHOWN ON THIS SHIT. ARE REPEATING AND TYP. FOR ALL FLOOR PLANS AND ELEVATIONS.
- DIMENSIONS ARE TO FACE OF C.M.U. AND/OR METAL STUD OR WOOD.
- ALL HALLWAYS ARE TO BE 5'-0" CLEAR FROM FINISHED WALL TO FINISHED WALL.
- VERIFY GRADES @ BUILDING LINE W/ CIVIL ENGINEERING DRAWINGS.

COMPLIANCE	CITY OF ARLINGTON DESIGN ELEMENTS
● ①	1. CANOPIES, AWNINGS, ARCADES, COVERED WALKWAYS OR PORTICOS
● ②	2. RECESSES, PROJECTIONS, COLUMNS, PILASTERS PROJECTING FROM THE PLANES, OFFSETS, REVEALS, OR PROJECTING RIBS USED TO EXPRESS ARCHITECTURAL OR STRUCTURAL BAYS
● ③	3. VARIED ROOF HEIGHTS FOR PITCHED, PEAKED, SLOPED OR FLAT ROOF STYLES
● ④	4. ARTICULATED CORNICE LINE
○ ⑤	5. ARCHES
● ⑥	6. DISPLAY WINDOWS, FAUX WINDOWS, OR DECORATIVE WINDOWS
● ⑦	7. ARCHITECTURAL DETAILS (SUCH AS TILE WORK AND MOLDING) OR ACCENT MATERIALS INTEGRATED INTO THE BUILDING FACADE
○ ⑧	8. INTEGRATED PLANTERS OR WING WALLS THAT INCORPORATE LANDSCAPING AND SITTING AREAS OR OUTDOOR PATIOS
○ ⑨	9. INTEGRATED WATER FEATURES
○ ⑩	10. OTHER ARCHITECTURAL FEATURES APPROVED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT AND PLANNING

BUILDING ELEVATIONS

General Contractor:
Reliable Commercial Construction, Inc.
1903 N. Peycoo Dr. Arlington, Texas 76001
Tel. (817) 467-0779 Fax (817) 467-9148

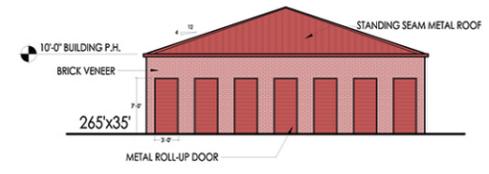
Developer:
Quine and Associates
301 S. Sherman, Suite 100 Richardson, Texas 75081
Tel. (972) 669-8440

Project:
ALL STORAGE ARLINGTON, TX
2500 OVERBROOK DR. ARLINGTON, TEXAS 76014

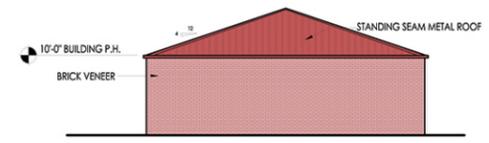
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O.V.
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DATE
05/30/14
FILE NUMER
ELEV.DWG
SHEET:

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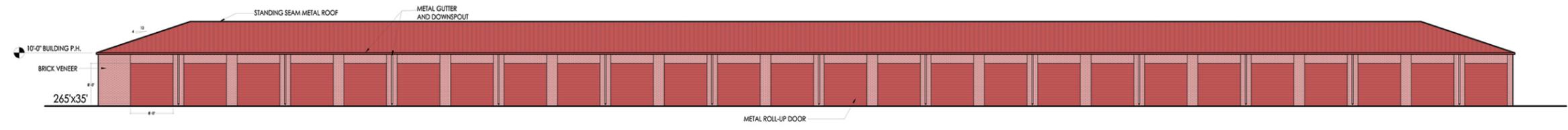
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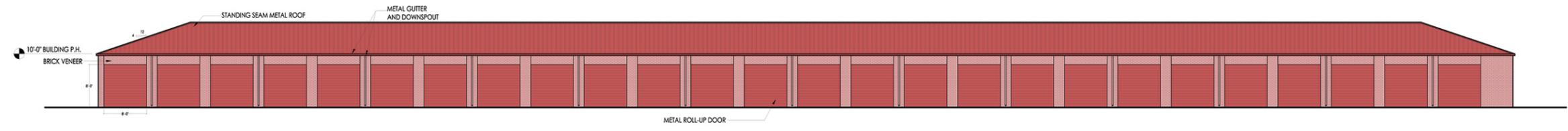
1 BUILDING "C & E" EAST ELEVATION
SCALE: 3/32" = 1'-0"



2 BUILDING "C & E" WEST ELEVATION
SCALE: 3/32" = 1'-0"



3 BUILDING "C & E" NORTH ELEVATION
SCALE: 3/32" = 1'-0"



4 BUILDING "C & E" SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

General Contractor:
Reliable Commercial Construction, Inc.
1903 N. Peycoo Dr., Arlington, Texas 76001
Tel. (817) 467-0779 Fax: (817) 467-9148

Developer:
Quine and Associates
301 S. Sherman, Suite 100 Richardson, Texas 75081
Tel. (972) 669-8440

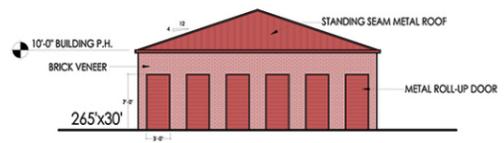
Project:
ALL STORAGE ARLINGTON, TX
2500 OVERBROOK DR., ARLINGTON, TEXAS 76014

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3/32" = 1'-0"
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03/27/2014
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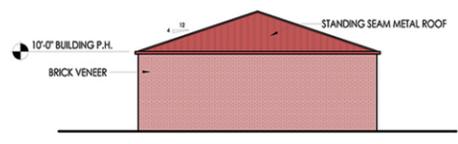
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BUILDING ELEVATIONS

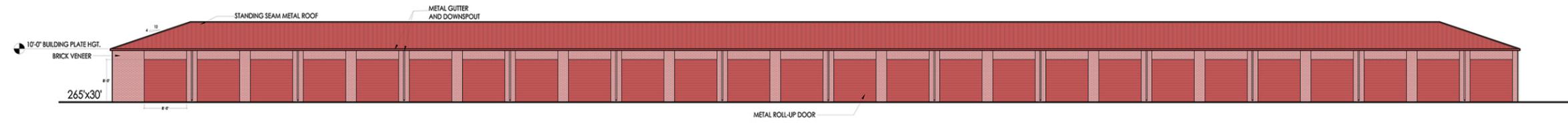
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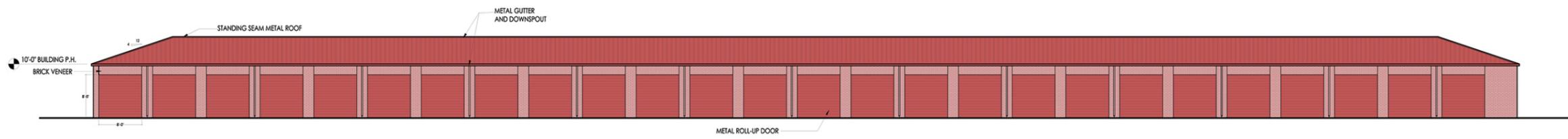
1 BUILDING "B, D, F" EAST ELEVATION
SCALE: 3/32" = 1'-0"



2 BUILDING "B, D, F" WEST ELEVATION
SCALE: 3/32" = 1'-0"



3 BUILDING "B, D, F" NORTH ELEVATION
SCALE: 3/32" = 1'-0"



4 BUILDING "B, D, F" SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

General Contractor:
Reliable Commercial Construction, Inc.
1903 N. Peycoo Dr., Arlington, Texas 76001
Tel. (817) 467-0779 Fax: (817) 467-9148

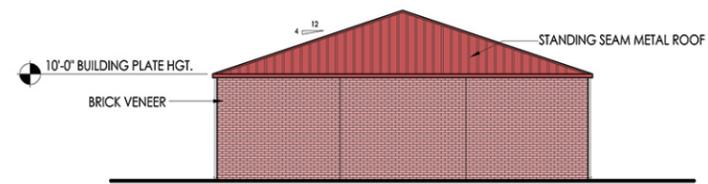
Developer:
Quine and Associates
301 S. Sherman, Suite 100 Richardson, Texas 75081
Tel. (972) 669-8440

Project:
ALL STORAGE ARLINGTON, TX
2500 OVERBROOK DR., ARLINGTON, TEXAS 76014

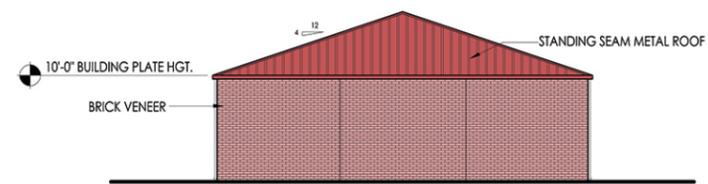
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3/32" = 1'-0"
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03/27/2014
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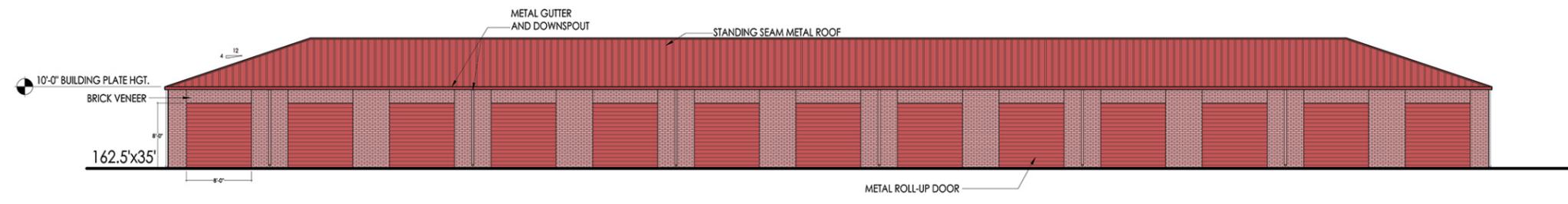
BUILDING ELEVATIONS



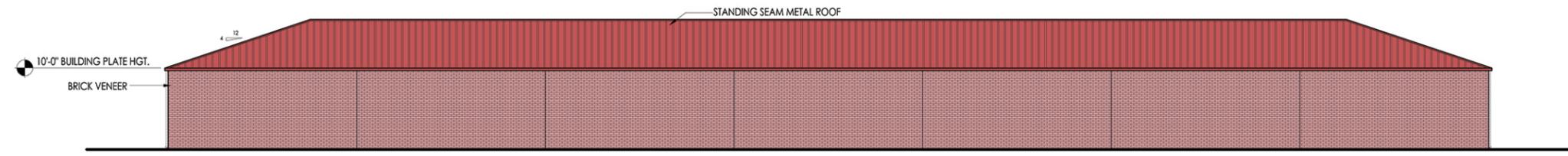
1 BUILDING "H" NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING "H" SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING "H" EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING "H" WEST ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING H ELEVATIONS

REVISIONS:



General Contractor:
Reliable Commercial Construction, Inc.
1903 N. Peyco Dr., Arlington, Texas 76001
Tel. (817) 467-0779 Fax: (817) 467-9148

Developer:
Quine and Associates
301 S. Sherman, Suite 100 Richardson, Texas 75081
Tel. (972) 669-8440

Project:
ALL STORAGE ARLINGTON, TX
2500 OVERBROOK DR., ARLINGTON, TEXAS 76014

DRAWN BY:
O.V.
SCALE:
1/8" = 1'-0"
DATE:
05/30/2014
FILE NUMBER:
ELEV.DWG
SHEET:

A5.0

REVISIONS:	
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General Contractor:
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 1903 N. Peyco Dr. Arlington, Texas 76001
 Tel. (817) 467-0779 Fax: (817) 467-9148

Developer:
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 301 S. Sherman, Suite 100 Richardson, Texas 75081
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Project:
ALL STORAGE ARLINGTON, TX
 2500 OVERBROOK DR. ARLINGTON, TEXAS 76014

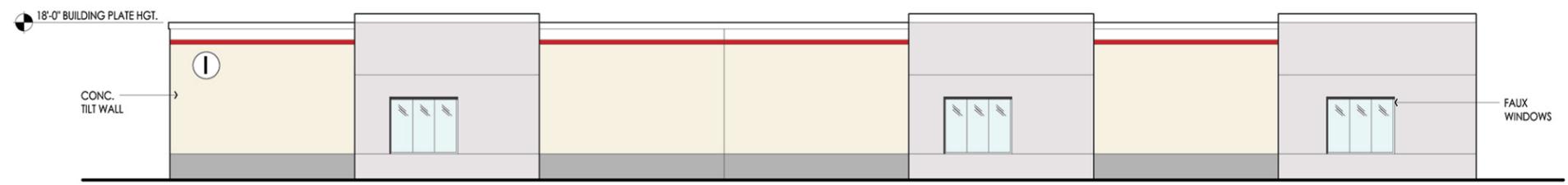
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 07/07/2014
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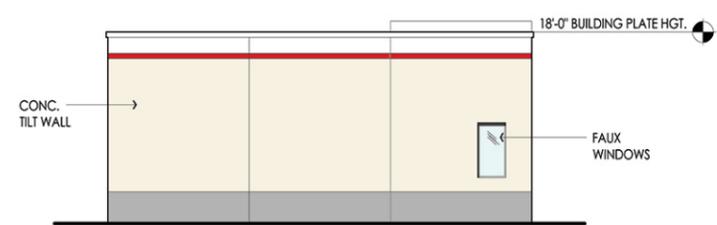
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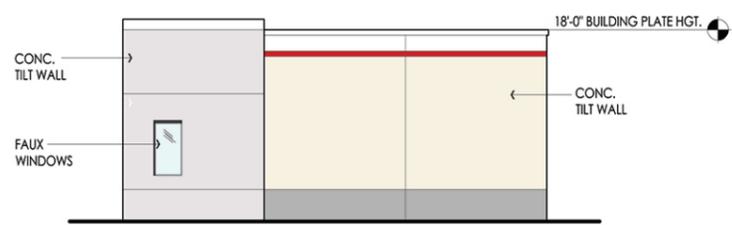
1 BUILDING "I" WEST ELEVATION
 SCALE: 1/8" = 1'-0"



2 BUILDING "I" EAST ELEVATION
 SCALE: 1/8" = 1'-0"

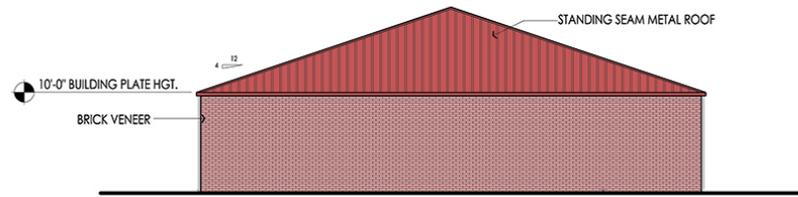


3 BUILDING "I" SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

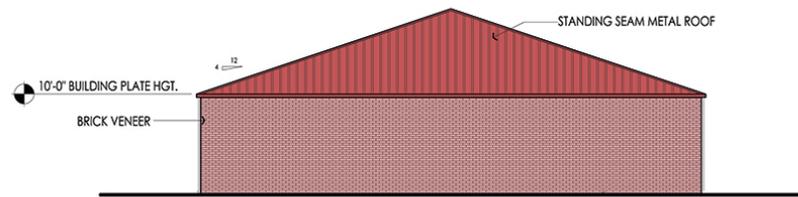


4 BUILDING "I" NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

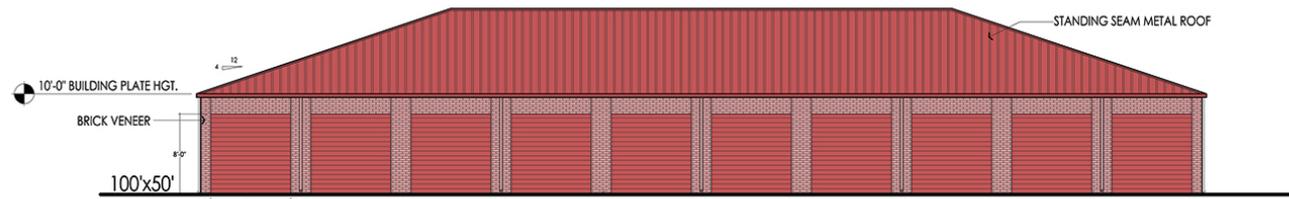
BUILDING I ELEVATIONS



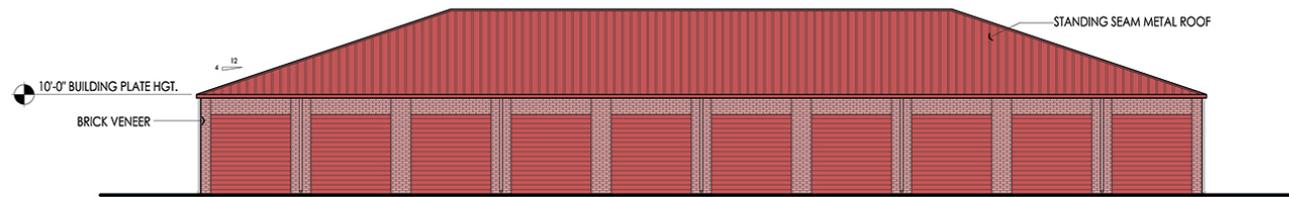
1 BUILDING "J" NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING "J" SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING "J" EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING "J" WEST ELEVATION
SCALE: 1/8" = 1'-0"

REVISIONS:



General Contractor:
Reliable Commercial Construction, Inc.
 1903 N. Peyco Dr. Arlington, Texas 76001
 Tel. (817) 467-0779 Fax: (817) 467-9148

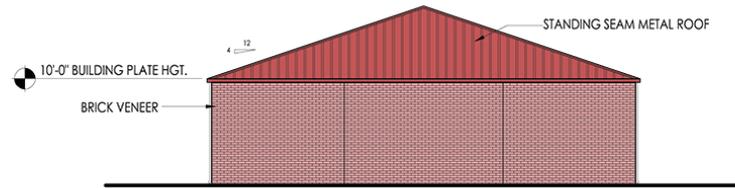
Developer:
Quine and Associates
 301 S. Sherman, Suite 100 Richardson, Texas 75081
 Tel. (972) 669-8440

Project:
ALL STORAGE ARLINGTON, TX
 2500 OVERBROOK DR. ARLINGTON, TEXAS 76014

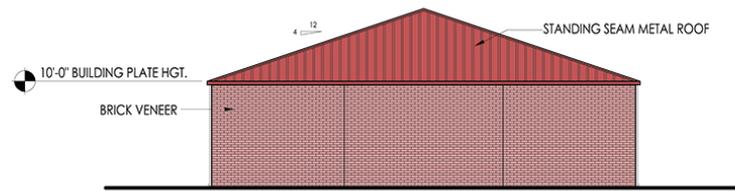
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FILE NUMBER:	ELEV.DWG
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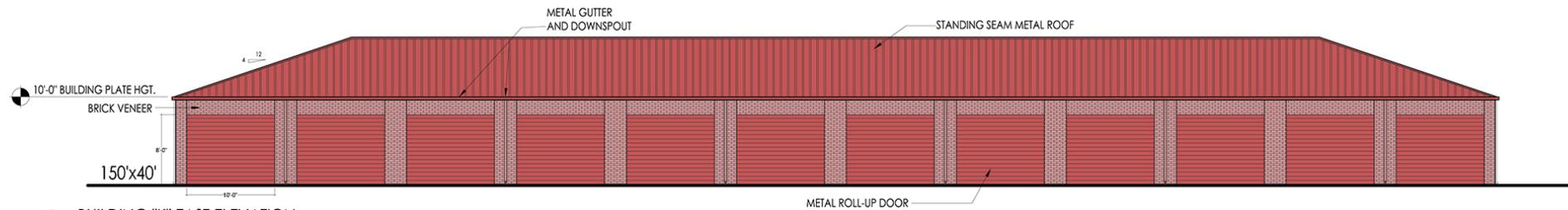
BUILDING J ELEVATIONS



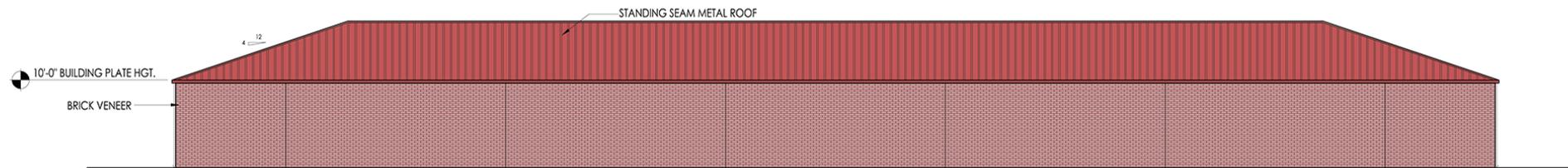
1 BUILDING "K" NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING "K" SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING "K" EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING "K" WEST ELEVATION
SCALE: 1/8" = 1'-0"

REVISIONS:



General Contractor:
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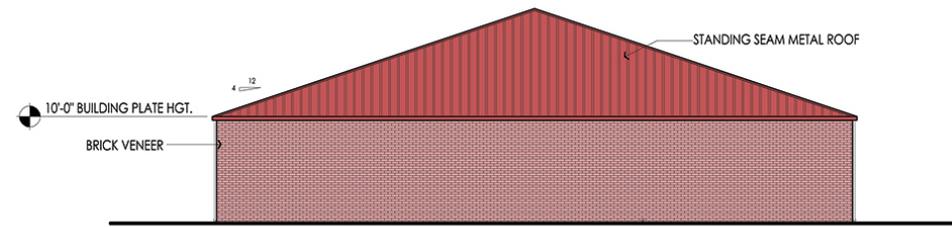
Project:
ALL STORAGE ARLINGTON, TX
2500 OVERBROOK DR., ARLINGTON, TEXAS 76014

DRAWN BY:
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SCALE:
1/8" = 1'-0"
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05/30/2014
FILE NUMBER:
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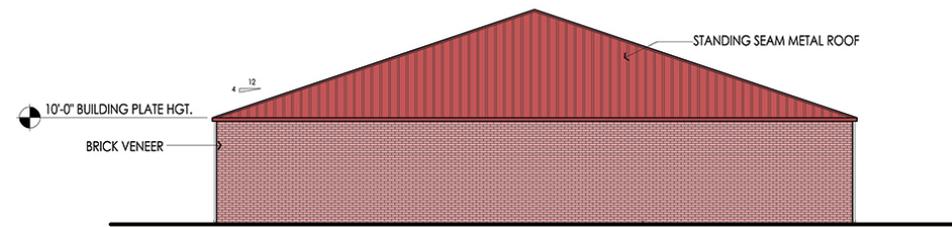
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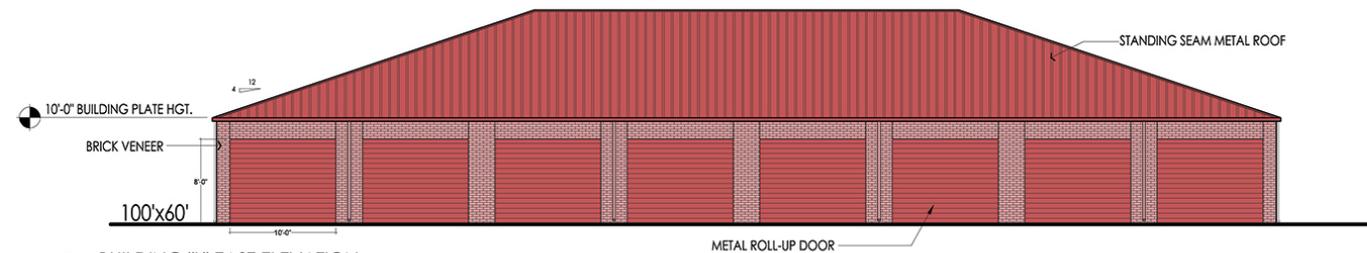
BUILDING K ELEVATIONS



1 BUILDING "L" NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING "L" SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING "L" EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING "L" WEST ELEVATION
SCALE: 1/8" = 1'-0"

REVISIONS:



General Contractor:
Reliable Commercial Construction, Inc.
1903 N. Peycoo Dr. Arlington, Texas 76001
Tel. (817) 467-0779 Fax: (817) 467-9148

Developer:
Quine and Associates
301 S. Sherman, Suite 100 Richardson, Texas 75081
Tel. (972) 669-8440

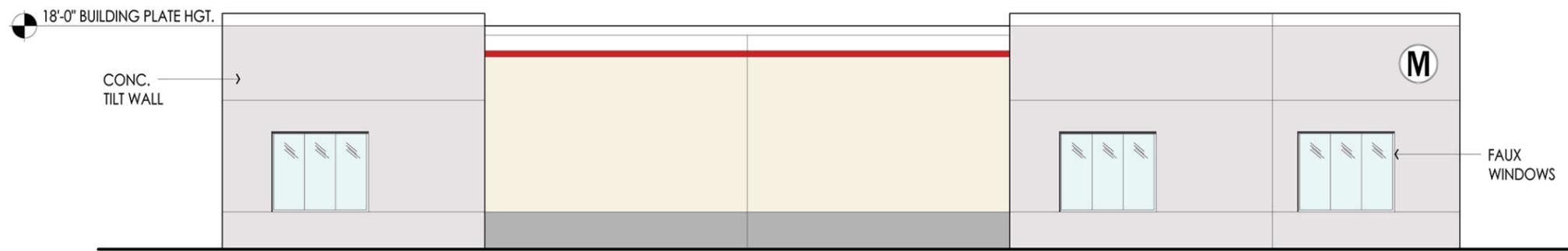
Project:
ALL STORAGE ARLINGTON, TX
2500 OVERBROOK DR. ARLINGTON, TEXAS 76014

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1/8" = 1'-0"
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05/30/2014
FILE NUMBER:
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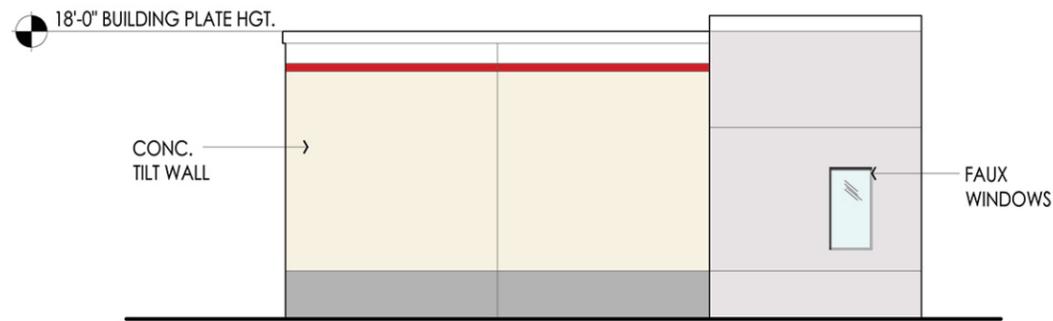
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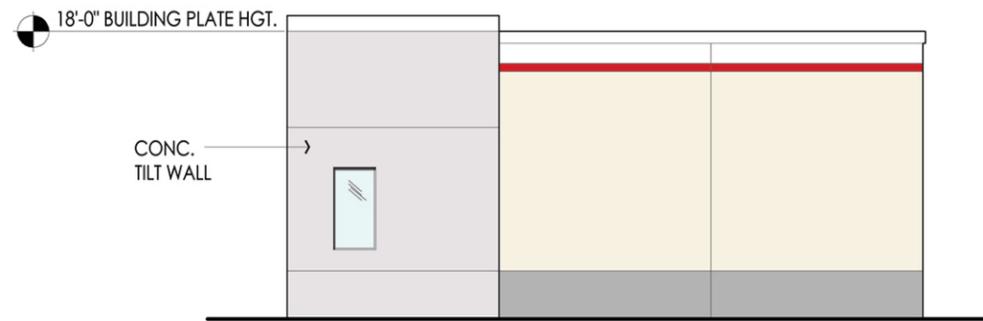
BUILDING L ELEVATIONS



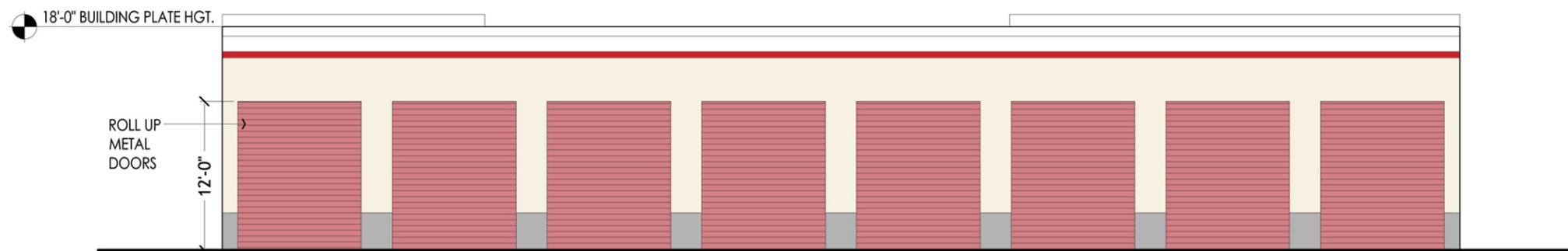
1 BUILDING "M" EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 BUILDING "M" SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



3 BUILDING "M" NORTH ELEVATION
SCALE: 3/16" = 1'-0"



4 BUILDING "M" WEST ELEVATION
SCALE: 3/16" = 1'-0"

REVISIONS:

RELIABLE
COMMERCIAL CONSTRUCTION, INC.

General Contractor:
Reliable Commercial Construction, Inc.
1903 N. Peyco Dr., Arlington, Texas 76001
Tel. (817) 467-0779 Fax: (817) 467-9148

Developer:
Quine and Associates
301 S. Sherman, Suite 100 Richardson, Texas 75081
Tel. (972) 669-8440

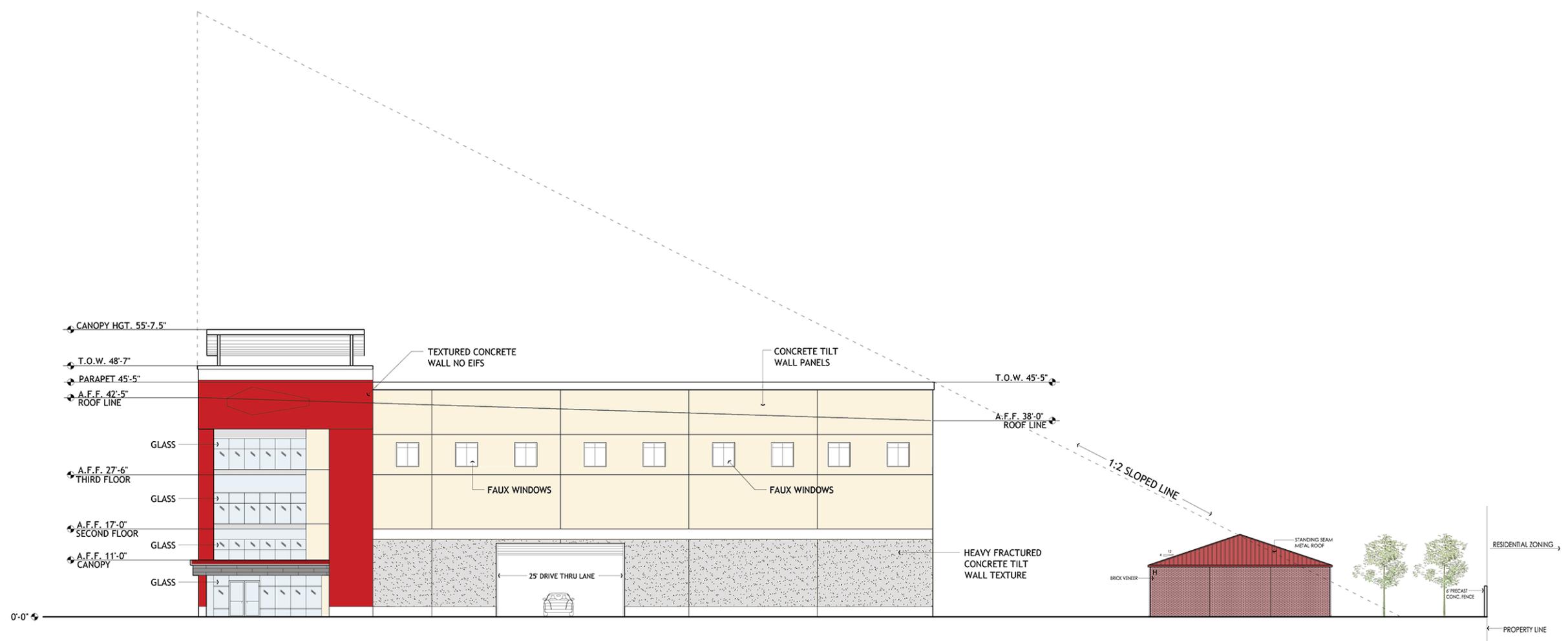
Project:
ALL STORAGE ARLINGTON, TX
2500 OVERBROOK DR., ARLINGTON, TEXAS 76014

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07/07/2014
FILE NUMBER:
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SHEET:
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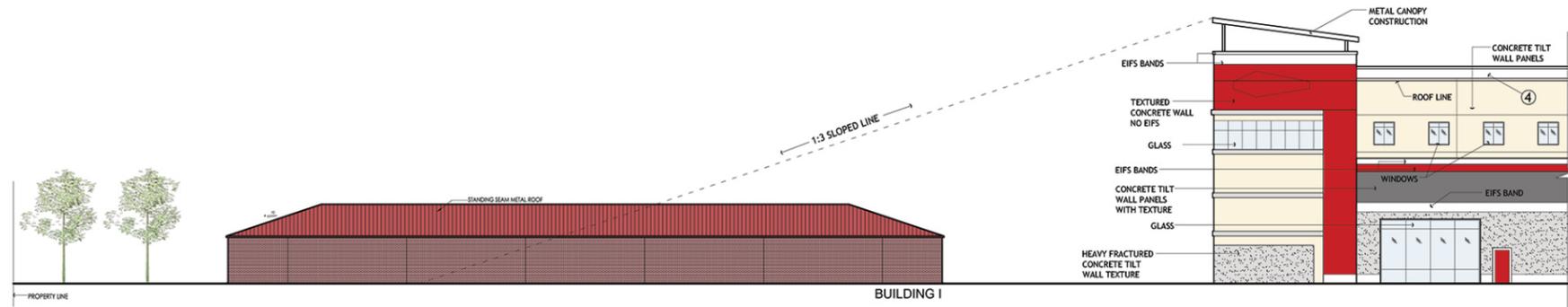
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BUILDING M ELEVATIONS

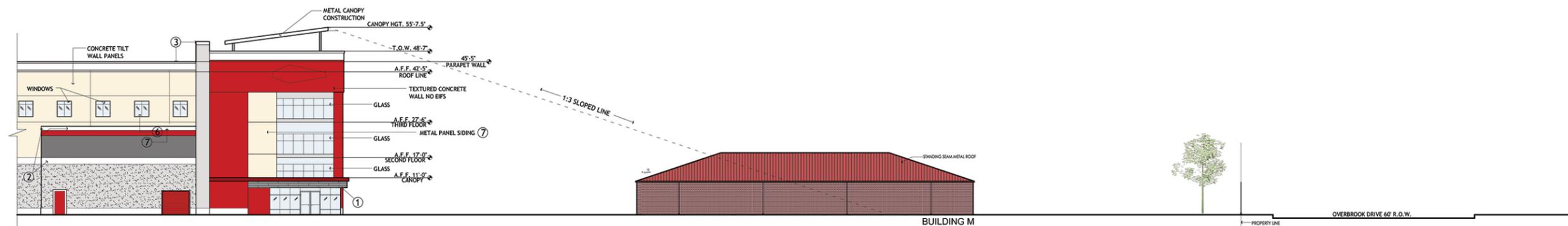


1 NORTH LINE OF SIGHT
 SCALE: 3/32" = 1'-0"

LINE OF SIGHT ELEVATIONS



① **SOUTHEAST LINE OF SIGHT**
SCALE: 1/16" = 1'-0"



② **NORTHEAST LINE OF SIGHT**
SCALE: 1/16" = 1'-0"

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DRAWN BY:
O.V.
SCALE:
1/16" = 1'-0"
DATE:
05/30/2014
FILE NUMBER:
ELEV.DWG
SHEET:

A12

LINE OF SIGHT ELEVATIONS