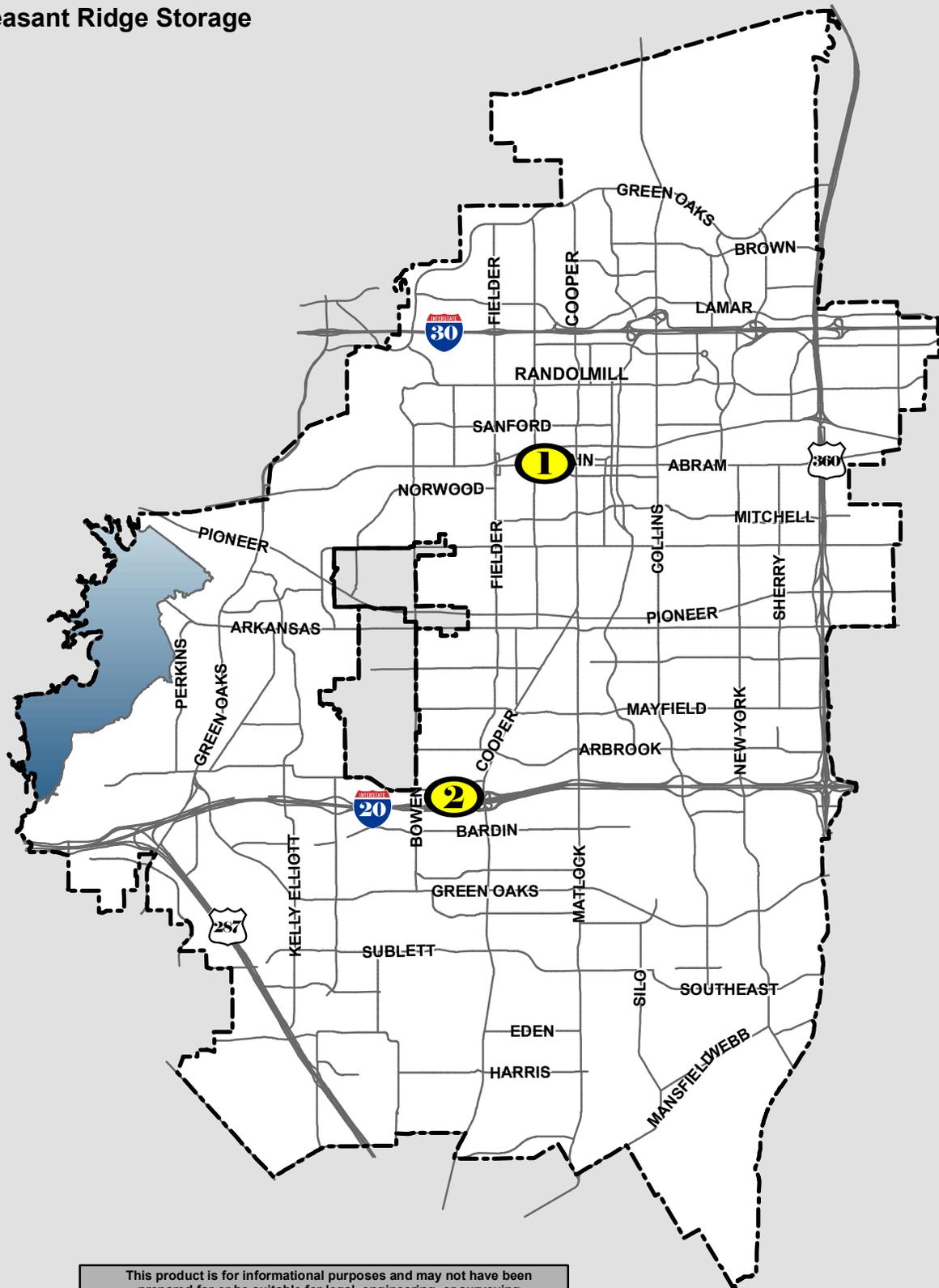


PLANNING & ZONING

October 1, 2014



1. ZA14-3 - 1100 W. Abram St.
2. PD14-5 - Pleasant Ridge Storage



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





AGENDA

**Planning and Zoning Commission
Work Session**

**Council Briefing Room
101 West Abram Street**

**OCTOBER 1, 2014
4:30 P.M.**

I. CALL TO ORDER

II. DISCUSSION ON 'SIGN CODE UPDATE' PROJECT

III. DISCUSSION OF REGULAR SESSION AGENDA ITEMS

IV. DIRECTOR UPDATE ON PREVIOUS COUNCIL ACTION

- (1) Zoning Case PD09-3R (Advertised Previously as PD14-4)
(Verizon Wireless – 1730 West Randol Mill Road)

Application to change the zoning on approximately 0.003 acres from Planned Development (PD) for Community Commercial (CC) uses limited to a 75 foot-tall wireless telecommunication facility within the required height setback to Planned Development (PD) for Community Commercial (CC) uses limited to an 85 foot-tall wireless telecommunication facility within the required height setback, with a Concept Brief; generally located south of West Randol Mill Road and west of North Fielder Road.

CC Approved 8-0-1 on 9/16/14 on final reading

NOTE: City Hall is wheelchair accessible. For other accommodations or sign interpretive services, please call the Strategic Planning Division at 817-459-6652 not later than 24 hours in advance.

- (2) Development Plan DP13-8
(All Storage – 2500 Overbrook Drive, and 3000, 3050, 3100,
and 3200 South Watson Road)

Application for approval of a development plan on approximately 8.454 acres zoned Planned Development (PD) for Community Service (CS) uses plus a mini-warehouse; generally located south of Overbrook Drive and west of South Watson Road.

CC Approved 9-0-0 on 9/16/14 on final reading

V. DISCUSSION OF FUTURE MEETING DATES AND TIMES

- (a) Planning and Zoning Commission Meeting on October 15, 2014

VI. ADJOURN



AGENDA

**Planning and Zoning Commission
Regular Session**

**Council Chamber
101 West Abram Street**

**October 1, 2014
5:30 P.M.**

Meeting order is subject to change per the Commission's Discretion

I. CALL TO ORDER

II. PLEDGE

III. APPROVAL OF MINUTES

- A. Minutes of September 17, 2014 P&Z Meeting

IV. PUBLIC HEARING FOR ZONING CASES

- A. Zoning Case ZA14-3
(1100 W. Abram St. – 1100 West Abram Street)

Application to change the zoning on approximately 0.468 acres from Downtown Neighborhood Overlay-Residential Single-Family 7.2 (DNO-RS-7.2) to Downtown Neighborhood Overlay-Limited Office (DNO-LO); generally located south of West Abram Street and west of Summit Avenue

- B. Zoning Case PD14-5
(Pleasant Ridge Storage - 2130 West Pleasant Ridge Road, 4200 and 4210 Trenton Court)

Application to change the zoning on approximately 6.416 acres from Office Commercial (OC) to Planned Development (PD) for Community Commercial (CC) uses limited to a mini-warehouse; generally located south of West Pleasant Ridge Road and east of South Bowen Road.

NOTE: City Hall is wheelchair accessible. For other accommodations or sign interpretive services, please call the Strategic Planning Division at 817-459-6652 not later than 24 hours in advance.

V. MISCELLANEOUS

- A. Reports from Boards/Commissions Liaisons
- B. Reports from Staff and Announcements
- C. Discussion of Future Meeting Dates and Times

VI. ADJOURN

Staff Report



Zoning Case ZA14-3 (1100 W. Abram St.)

Planning and Zoning Meeting Date: 10-1-14

Document Being Considered: Ordinance

RECOMMENDATION

Following the public hearing, consider Zoning Case ZA14-3.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

Request - The applicant requests to change the zoning on approximately 0.468 acres addressed at 1100 West Abram Street, and generally located south of West Abram Street and west of Summit Avenue.

Current zoning: Downtown Neighborhood Overlay-Residential Single-Family 7.2 (DNO-RS-7.2)

Requested zoning: Downtown Neighborhood Overlay-Limited Office (DNO-LO)

The subject site is developed with an existing 2,290-square-foot single family residence. The applicant is proposing to remodel the structure to be used as an office.

The applicant had previously requested for Downtown Neighborhood Overlay – Neighborhood Commercial (DNO-NC) zoning, which is how it was advertised. However, after further scrutiny of the allowed uses in NC district, upon staff’s recommendation, the applicant has changed the request to a lesser intense zoning district, Limited Office (LO) within the Downtown Neighborhood Overlay. The LO zoning district is a new district that was created with the Unified Development Code (UDC) adoption in July 2014. The LO district is intended to provide for the development of small-scale, low-intensity professional office uses near or adjacent to residential neighborhoods. The district encourages the conversion of existing residential structures to offices uses, provided that the office use is compatible in scale, character, and intensity with adjacent residential uses.

The property is currently unplatted and will require a plat for any expansion or future redevelopment.

The site complies with several DNO development standards. Existing parking and proposed parking will be located to the side and rear of the existing structure. The building is approximately 20 feet tall, meeting the DNO height requirement of 20 feet overall height. With the submittal of the Commercial Building Permit, the landscaping and sidewalk portions of the Unified Development Code (UDC) may be triggered, as well as the construction of the required six foot cedar fence at the southern property line, as required for Level 2 screening.

The building as it exists today does not conform to the following standards:

- The existing structure has a front setback of 80 feet, exceeding the maximum front setback of 25 feet in the UDC.
- The existing detached garage, which is located approximately five feet from the southern property line, does not comply with the required 20-foot building setback

adjacent to single family and the 15-foot wide landscape/transitional buffer from residential property.

Adjacent Land Uses

The property to the west is zoned Downtown Neighborhood Overlay-Neighborhood Commercial (DNO-NC), and is currently being used as an office. The properties to the east are zoned Downtown Neighborhood Overlay-Multi-Family 22 (DNO-MF22) and currently operates as an office. The property to the north is zoned Downtown Neighborhood Overlay-General Commercial (DNO-GC) and currently operates as an office. The property to the south is zoned DNO-RS-7.2 and is currently used as a single family residence.

Sector Plan Conformity

The Central Sector Plan designates this area as "Service/Retail/Office" (SRO). This designation is intended for small-scale office, neighborhood retail and service uses. These are almost always used as a transition between two land uses of significantly different intensities. However, these land uses can occur outside of a transitional situation. The most appropriate zoning is Limited Office, Office Commercial, and Neighborhood Commercial.

The Hike and Bike System Master Plan shows no planned bicycle facilities at this site.

The Central Sector Plan supports the concentration of SRO uses occurring on West Abram Street between Cooper Street and Fielder Road, given its location near UTA and Downtown. This development trend is also making use of older homes in the area.

The proposed zoning change is in conformance with the Central Sector Plan.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:

- i. Case Information
- ii. Itemized Allowable Uses
- iii. Location Map
- iv. Photos

Under separate cover:

None

Available in the City Secretary's office:

None

CITY COUNCIL DATE

October 28, 2014

STAFF CONTACTS

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Gincy.Thoppil@arlingtontx.gov

Shon Brooks
Senior Planner
Community Development and Planning
817-459-6514
Shon.Brooks@arlingtontx.gov

Case Information



Applicant: Re/Max Pinnacle Group Realtors represented by Dixon R. Holman

Property Owner: Ann Hutcheson Hightower and Elizabeth Beal Barringer

Sector Plan: Central

Council District: 5

Allowable Uses: All uses as itemized in attachment ii.

Development History: The subject site is currently unplatted.

One previous zoning case has occurred in the general vicinity within the past five years.

Case No.	Location	Request	Disposition
PD10-1	1121 UTA Boulevard	Planned Development (PD) for a mixed use development	Approved

Transportation: The proposed development has one point of access. The point of access is from Summit Avenue.

Thoroughfare	Existing	Proposed
Summit Avenue	50-foot ROW, 2-lane, undivided	50-foot ROW, 2-lane, undivided

Traffic Impact: A change in zoning will increase the average daily trips by 279, with an addition of 26 trips during the a.m. peak hour and 32 trips during the p.m. peak hour. The additional trips are not expected to significantly impact the adjacent roadway system.

Water & Sewer: Water is available from an 8-inch water line in West Abram Street and a 6-inch water line in Summit Avenue. Sanitary Sewer is available from a 8-inch sanitary sewer line in West Abram Street and a 8-inch sanitary sewer line in Summit Avenue.

Drainage: The site is located within the Johnson Creek drainage basin. No portion of the site is located in a floodplain. No significant drainage impacts are expected to result from development of this site as long as the site complies with relevant city ordinances.

Case Information



Fire: Fire Station Number 1, located at 401 West Main Street, provides protection to this site. The estimated fire response time is less than five minutes, which is in keeping with the recommended standards.

School District: The proposed zoning request is located in the Arlington Independent School District and has no impact on the schools serving this site.

Notices Sent:
Neighborhood
Associations:

Arlington Chamber of Commerce
Arlington Neighborhood Council
East Arlington Review
WeCan (West Citizen Action Network)
Northern Arlington Ambience
Forest Hills HOA
Far South Arlington Neighborhood Assn
ACTION North
East Arlington Renewal
Old Town Neighborhood Association
Town North Neighbors
Fielder Park Neighborhood Association
Heart of Arlington Neighborhood Association
Norwood Neighborhood Association
Oak Hill Neighborhood
Pine Grove HOA
Sherwood Knoll Addition
South Davis Neighbors
Arlington Downs Townhouse Association
Manors of Channing Park

Property Owners: 12
Letters of Support: 0
Letter of Opposition: 0

Itemized Allowable Uses



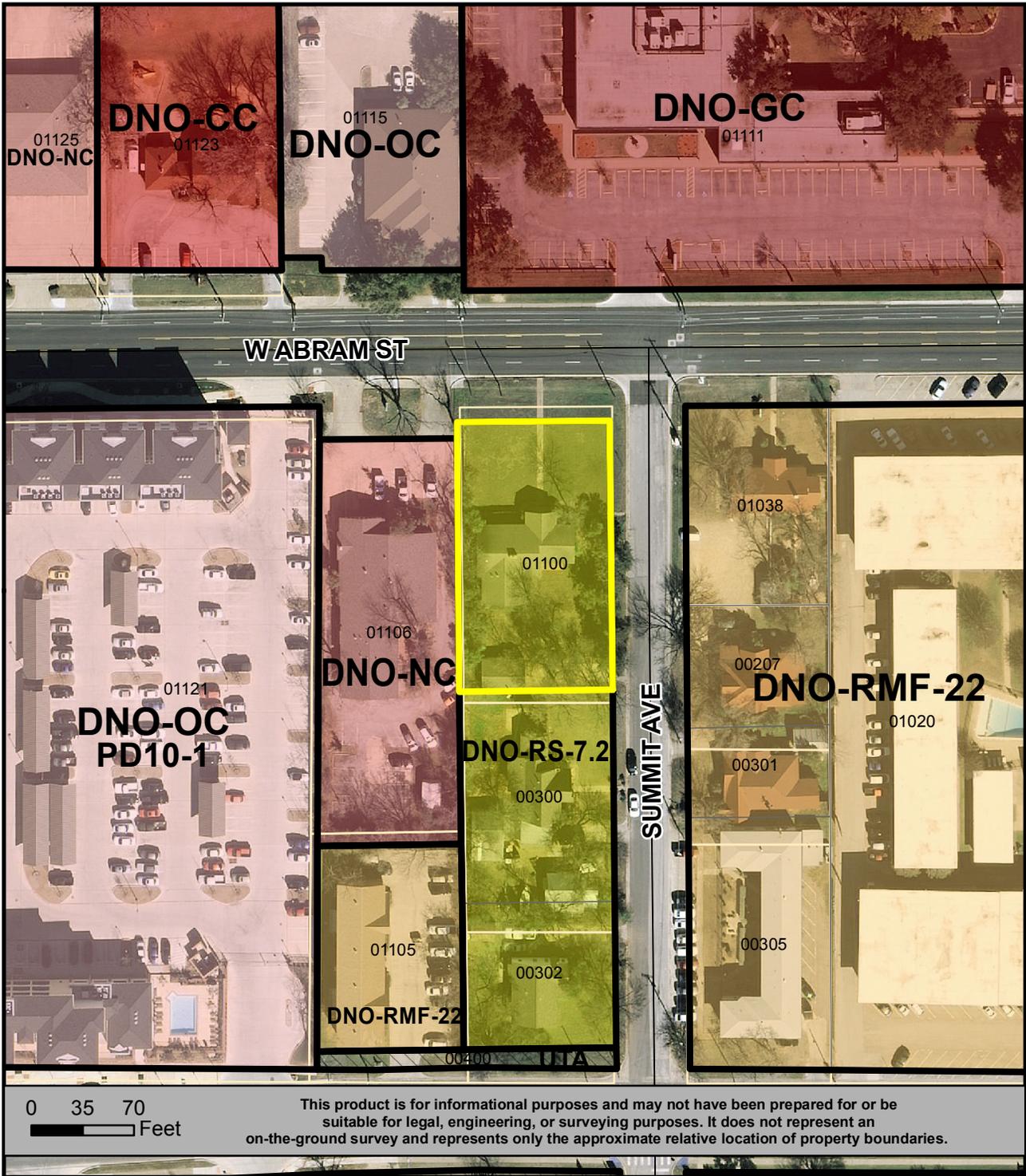
Allowable Uses:

Downtown Neighborhood Overlay-Limited Office (DNO-LO)

Permitted - Art gallery or museum, Government administration and civic buildings, Philanthropic institution (other than listed), Religious assembly, Medical or dental office or clinic, Community garden, Public park or playground, Office, business or professional, Country club, Golf course, Utility lines, towers or metering station,

Specific Use Permit (SUP) - Gas well, Telecommunication Facilities, Towers >75 ft., Stealth towers >100 ft., Private club/lodge/fraternal organization,

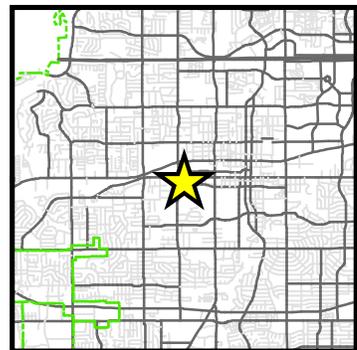
Conditions (C) - Telecommunication Facilities, Building-mounted antennae and towers, Telecommunication/Facilities /Towers ≤75 ft., Stealth towers ≤100 ft.



**LOCATION MAP
ZA14-3**

 **DNO-RS-7.2 to DNO-LO
0.468 ACRES**





ZA14-3

South of West Abram Street and west of Summit Avenue



View southwest of subject site from West Abram Street.



View west from subject site of offices zoned DNO-Neighborhood Commercial.



View east from subject site of an art gallery zoned DNO-Residential Multi-Family 22.



View south from subject site of a single family residence zoned DNO-Residential Single-Family 7.2.

Staff Report



Zoning Case PD14-5 (Pleasant Ridge Storage)

Planning and Zoning Meeting Date: 10-1-14

Document Being Considered: Ordinance

RECOMMENDATION

Following the public hearing, consider Zoning Case PD14-5, with a Development Plan.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

Request

The applicant requests to change the zoning on approximately 6.416 acres addressed at 2130 West Pleasant Ridge Road, 4200 and 4210 Trenton Court, and generally located south of West Pleasant Ridge Road and east of South Bowen Road.

Current zoning: Office Commercial (OC)

Requested zoning: Planned Development (PD) for Community Commercial (CC) uses limited to a mini-warehouse, with a Development Plan

The subject site consists of three undeveloped platted lots, with a total area of approximately 6.4 acres. Currently, there are several trees in the northwestern and southern sections of the site. The applicant plans to replat the site into two lots: a 5.829-acre lot for the proposed mini-storage facility and one 0.578-acre open space lot, in order to preserve some of the existing trees and keep it undeveloped yet maintained.

Although the site has frontage on West Interstate 20 and West Pleasant Ridge, the only point of access is proposed along West Pleasant Ridge Road. There is no frontage road for Interstate 20 in this area.

Adjacent Land Uses

The subject site is surrounded by residential properties and entertainment facilities. North of the subject site across West Pleasant Ridge Road is a single family residential community zoned Residential Single Family 7.2 (RS-7.2). Adjacent to the subject site on the west is a residential duplex community zoned Residential Medium-Density 12 (RM-12). Adjacent to the subject site on the east are two recreational facilities; Alley Cats, a bowling and billiards establishment zoned Community Commercial (CC), and Putt Putt Golf and Games zoned Planned Development (PD) for Community Commercial (CC) uses plus putt putt golf recreation.

Development Plan

The applicant is proposing to construct a mini-warehouse facility, comprising of approximately 700 storage units, on the subject site. The facility will consist of 15 one-story buildings totaling 103,150 square feet. There are 10 perimeter buildings screening the remaining five buildings located in the interior of the site. The buildings are 17' 2" tall and range in floor area from 2,200 square feet to 38,400 square feet. The two largest buildings, Building E and L which are located in the interior of the facility, are climate controlled buildings and fully sprinkled. Building A, which fronts on West Pleasant Ridge Road, will include their 1,500-square-foot office. The property will have 41 parking spaces, which meets the minimum amount required per the Unified Development Code (UDC).

On the 10 perimeter buildings, the applicant proposes to use a cream-colored brick as the primary building material with cultured stone as the secondary material. The buildings will be accented with an Exterior Insulation and Finish Systems (EIFS) border and decorative features on the walls. The perimeter buildings facing rights-of-way will also have faux windows with metal awnings to give a storefront appearance. There will also be decorative ornamental star encased in a circle to further adorn the walls. The interior buildings will also be constructed of cream-colored brick and cultured stone, but will have sloping roofs constructed of standing seam metal. As a security measure for the property, six-foot tall wrought iron fences will be placed in the openings between each exterior building and a wrought iron gate will be placed across the drive for controlled access to the facility.

Screening, Buffering and Fences

The UDC requires industrial uses to have a 30-foot wide transitional buffer with one tree for every 450 square feet and a six-foot tall masonry screening wall when adjacent to non-industrial zoning or uses.

Along the west property line, there is an existing utility easement of approximately 30 feet. The applicant proposes to install the six-foot tall masonry wall behind the easement. Internal to the fence, there is an additional 20-foot buffer proposed. 47 three-inch caliper Eastern Red Cedar trees will be used in the buffer area along with several existing trees that are being preserved to meet the UDC requirement.

A deviation is being sought through the PD from the 30-foot wide transitional buffer along the eastern property line. A 20-foot wide transitional buffer is proposed adjacent to the commercial uses along the eastern property line. A six-foot tall masonry wall will be constructed along the property line terminating at the parking lot on the adjacent property. From that point on, a wrought iron fence will continue along the eastern property line from the screening wall to the south property line. The applicant proposes to plant 30 Crape Myrtle trees as well as preserve seven existing trees in the buffer area to meet the UDC requirement.

Landscaping

There will be 273 caliper inches of protected trees preserved on the site to offset the 132 caliper inches of protected trees being removed from the site. This adequately complies with the preservation of protected trees per the UDC. The applicant is providing the requisite landscape setbacks of 20 feet from Interstate Highway 20 and 15 feet from West Pleasant Ridge Road. To meet the street tree requirement along West Pleasant Ridge Road, the applicant proposes to use four three-inch caliper Eastern Red Cedar trees and an existing 12-inch caliper Cedar Elm tree. The applicant has also utilized the requisite number of plants in the landscape setback per the UDC. There will be groundcover arranged in a curvilinear fashion in the landscape setback along West Pleasant Ridge Road with less than 65 percent of the groundcover being grass. Additionally, the applicant proposes to plant 12 Crape Myrtle trees along the southern property line as well as preserve an existing eight-inch caliper Mesquite tree.

The interior parking lot landscaping requirement will be met by using two three-inch caliper Lacebark Elm trees and two three-inch caliper Crape Myrtle trees at the terminus of parking rows in front of Building A. The parking adjacent to the street will be screened with 31 Indian Hawthorn Olivia shrubs, two-foot tall at the time of planting. The applicant also proposes to provide Wichita Blue Juniper shrubs on the exterior of the dumpster enclosure walls.

Sector Plan

The West Sector Plan designates the subject site as Community Retail. Sites with this designation provide for a wide range of uses for the sale of general merchandise, general business uses, clothing, hardware, and appliances serving city needs. These developments should be located at select community level intersections consisting of two major arterials or a minor and major arterial. Some office development is also an acceptable use. Appropriate zoning designations are Office Commercial (OC) and Community Commercial (CC). The Hike and Bike System Master Plan shows no planned bicycle facilities at this site.

The proposed zoning request is located in the Cooper Street/Pleasant Ridge Road intersection corridor. While a self-storage facility is an allowed use with a Specific Use Permit (SUP) in Community Commercial zoning, the use itself is industrial in nature. Therefore, this request is not in conformance with the West Sector Plan’s designated long-range plan for this area.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:

- i. Case Information
- ii. Itemized Allowable Uses
- iii. Location Map
- iv. Photos
- v. Development Plan (9 pages)

Under separate cover:

None

Available in the City Secretary’s office:

None

CITY COUNCIL DATE

October 28, 2014

STAFF CONTACTS

Gincy Thoppil, AICP
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Nathaniel Barnett, AICP
Senior Planner
Community Development and Planning
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Nathaniel.Barnett@arlingtontx.gov

Case Information



Applicant: Bowers & Associates represented by Joe Bowers

Property Owner: First National Bank Wichita Falls

Sector Plan: West

Council District: 4

Allowable Uses: All uses as itemized in attachment ii.

Development History: The subject site is currently platted as Lots 1, 2, and 3 of the Pleasant Ridge Office Park Addition.

Previous zoning cases in the general vicinity in the past five years include:

Case No.	Location	Request	Disposition
PD12-7	1109 West Arbrook Boulevard	Parks Retail Center	Approved
PD12-17	4950 South Bowen Road	Athlos Academy	Approved
PD14-2	3909 South Cooper Street	Package liquor store	Pending

Transportation: The proposed development has one point of access. The point of access is from West Pleasant Ridge Road.

Thoroughfare	Existing	Proposed
West Pleasant Ridge Road	90-foot, 4-lane divided Minor arterial	90-foot, 4-lane divided Minor arterial

Traffic Impact: The proposed zoning change will generate similar traffic patterns as the existing zoning and will not significantly impact the adjacent street system.

Water & Sewer: Water is available from a 12-inch water line in West Pleasant Ridge Road. Sanitary Sewer is available from an 8-inch sanitary sewer line in West Pleasant Ridge Road. Providing water and sanitary sewer to the site will need to comply with relevant city ordinances.

Drainage: The site is located within the Rush Creek drainage basin. No portion of the site is located within a FEMA designated floodplain and no significant drainage impacts are expected to

Case Information



result from development of this site, as long as the developer complies with all relevant City ordinances.

Fire:

Fire Station Number 9, located at 909 Wimbledon Drive, provides protection to this site. The estimated fire response time is less than five minutes, which is in keeping with recommended standards.

School District:

AISD Independent School District.

The proposed zoning request is located in the Arlington Independent School District and has no impact on the schools serving this site.

Notices Sent:

Neighborhood
Associations:

ACTION North
Arlington Alliance for Responsible Government
Arlington Chamber of Commerce
Arlington Neighborhood Council
East Arlington Renewal
East Arlington Review
Far South Arlington Neighborhood Assn
Forest Hills HOA
Harold Patterson Community Assn
Northern Arlington Ambience
WeCan (West Citizen Action Network)
Wimbledon Addition HOA

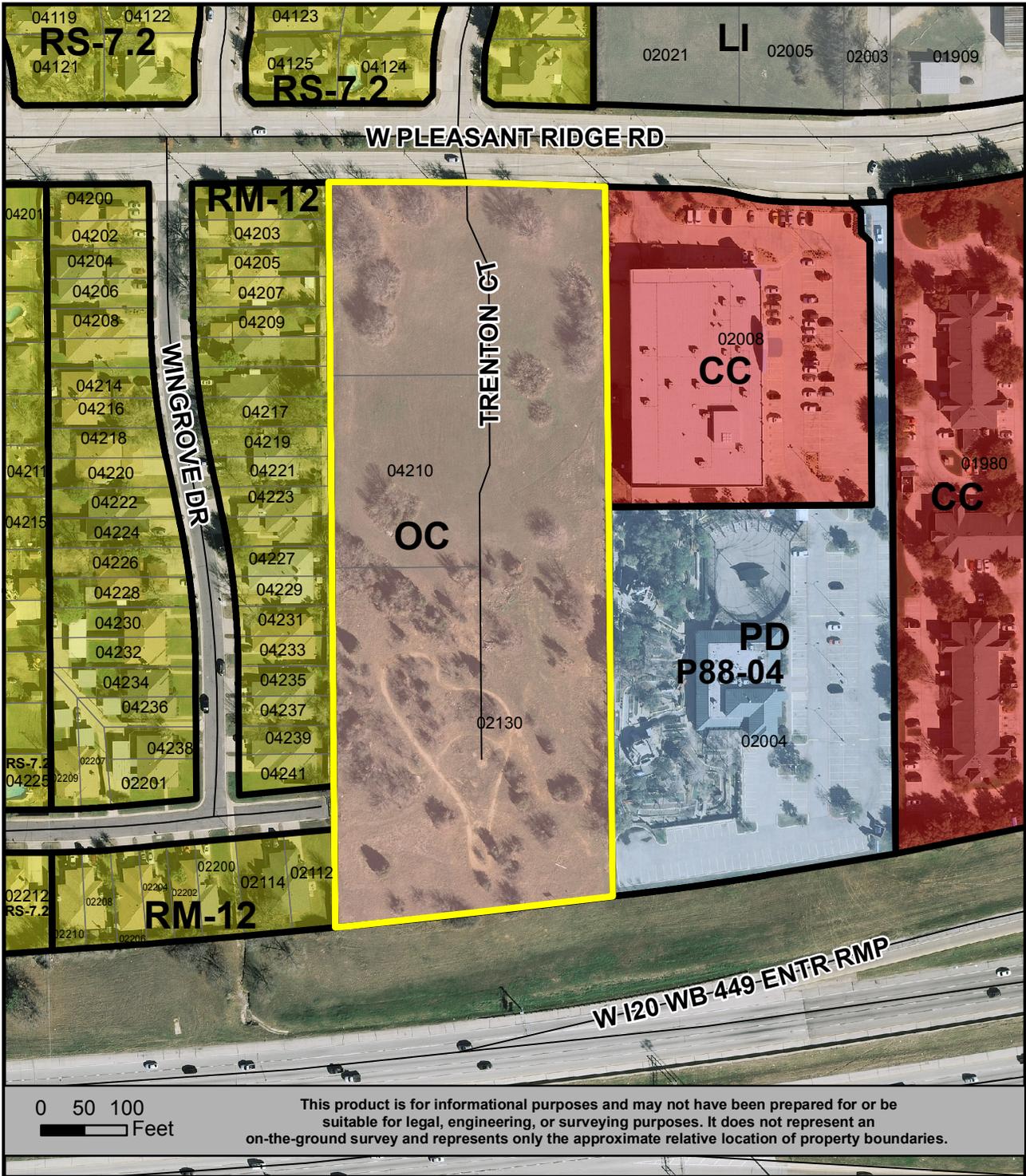
Property Owners: 48
Letters of Support: 0
Letter of Opposition: 0

Itemized Allowable Uses



Allowable Uses: **Planned Development (PD) for all Community Commercial (CC) uses limited to a mini-warehouse, with a Development Plan**

Permitted – Mini-warehouse



LOCATION MAP
PD14-5

 **PD for CC uses limited to Mini-warehouse**
6.416 ACRES

W
N
E
S



PD14-5

South of West Pleasant Ridge Road and east of South Bowen Road.



View of subject site



View south.



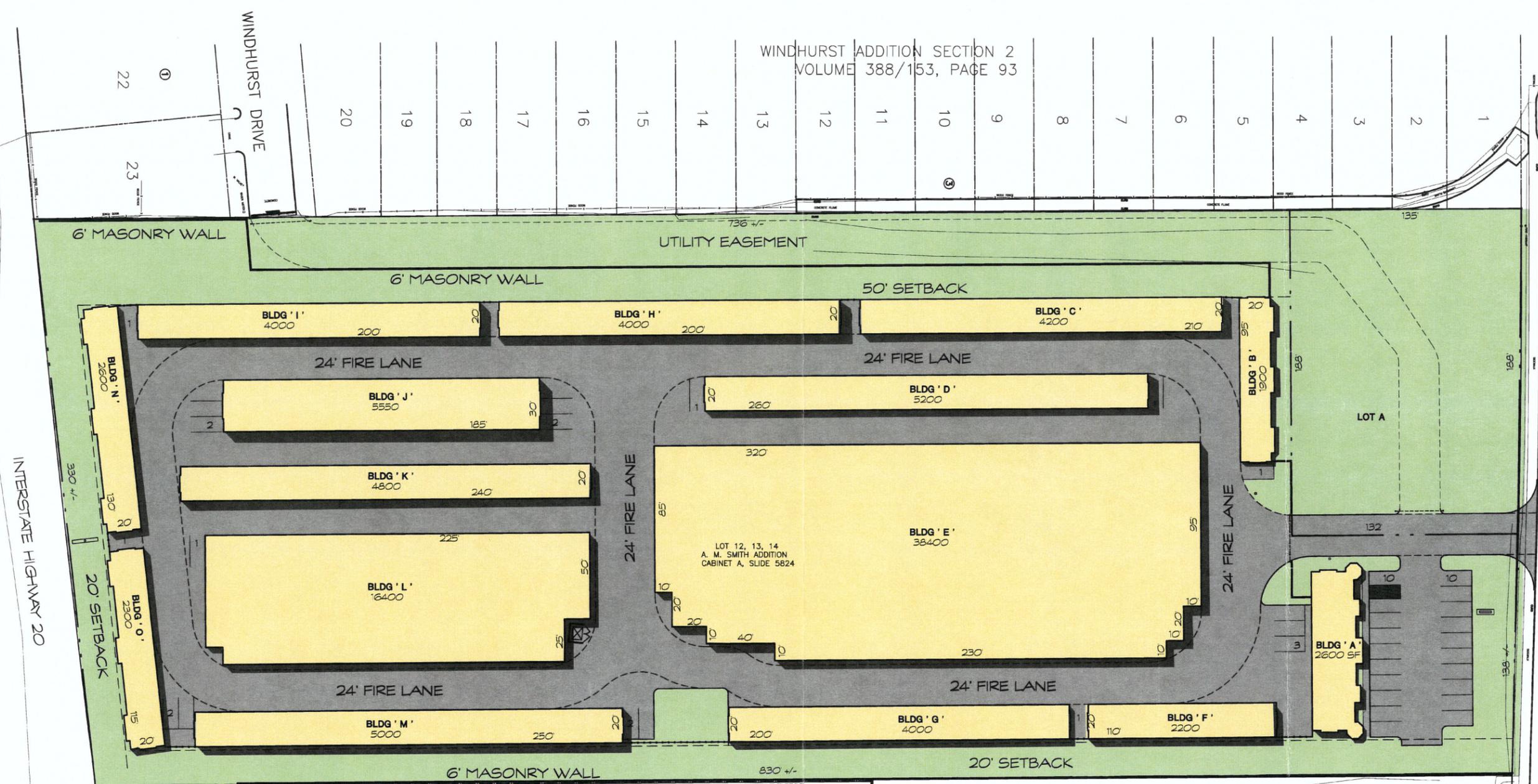
View north.



View west.

RECORDING: THIS PLAN IS FILED IN BOOK 388/153, PAGE 93, IN THE PUBLIC RECORDS OF THE COUNTY OF TARRANT, TEXAS, ON 09/22/14 AT 10:00 AM. BY: [Signature]

WINDHURST ADDITION SECTION 2
VOLUME 388/153, PAGE 93



INTERSTATE HIGHWAY 20

WINDHURST DRIVE

PLEASANT RIDGE ROAD

LOT 7
A. M. SMITH ADDITION
VOLUME 388/213, PAGE 64

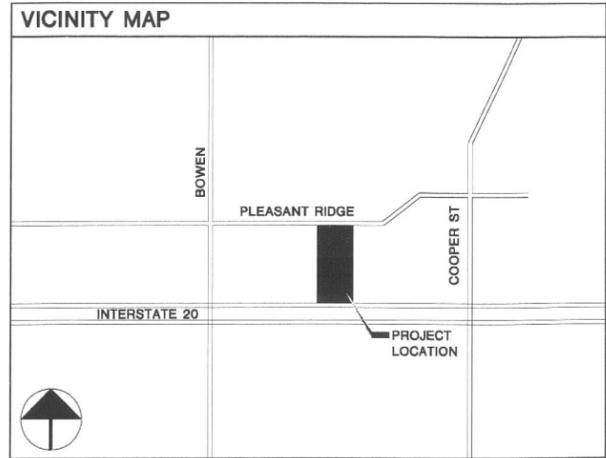
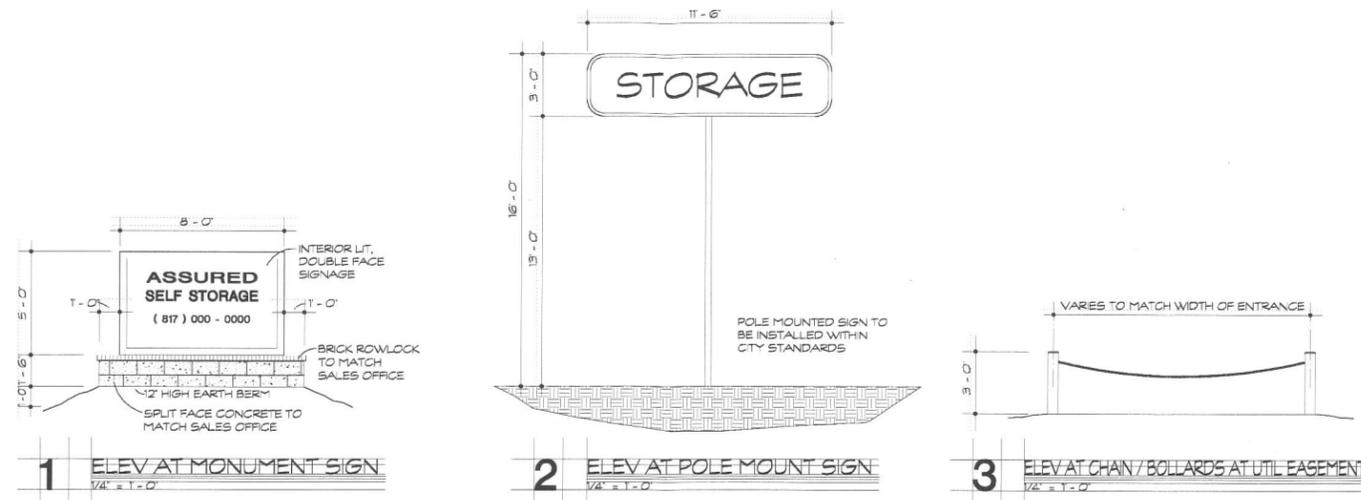
LOT 8
A. M. SMITH ADDITION
CABINET A, SLIDE 1124

CITY OF ARLINGTON ZONING CONCEPT SITE PLAN - PLEASANT RIDGE - 9-22-14



PLEASANT RIDGE STORAGE - 1 OF 6
HBJ Haberman • Bulleri • Johnson
ARCHITECTS
 800 W. AIRPORT FWY, STE 1001, IRVING, TX 75062 P 972-438-4380 F 972-438-7655 www.HBJarch.com

Development Plan
Page 1
Conceptual Site Plan



ZONING : EXISTING R

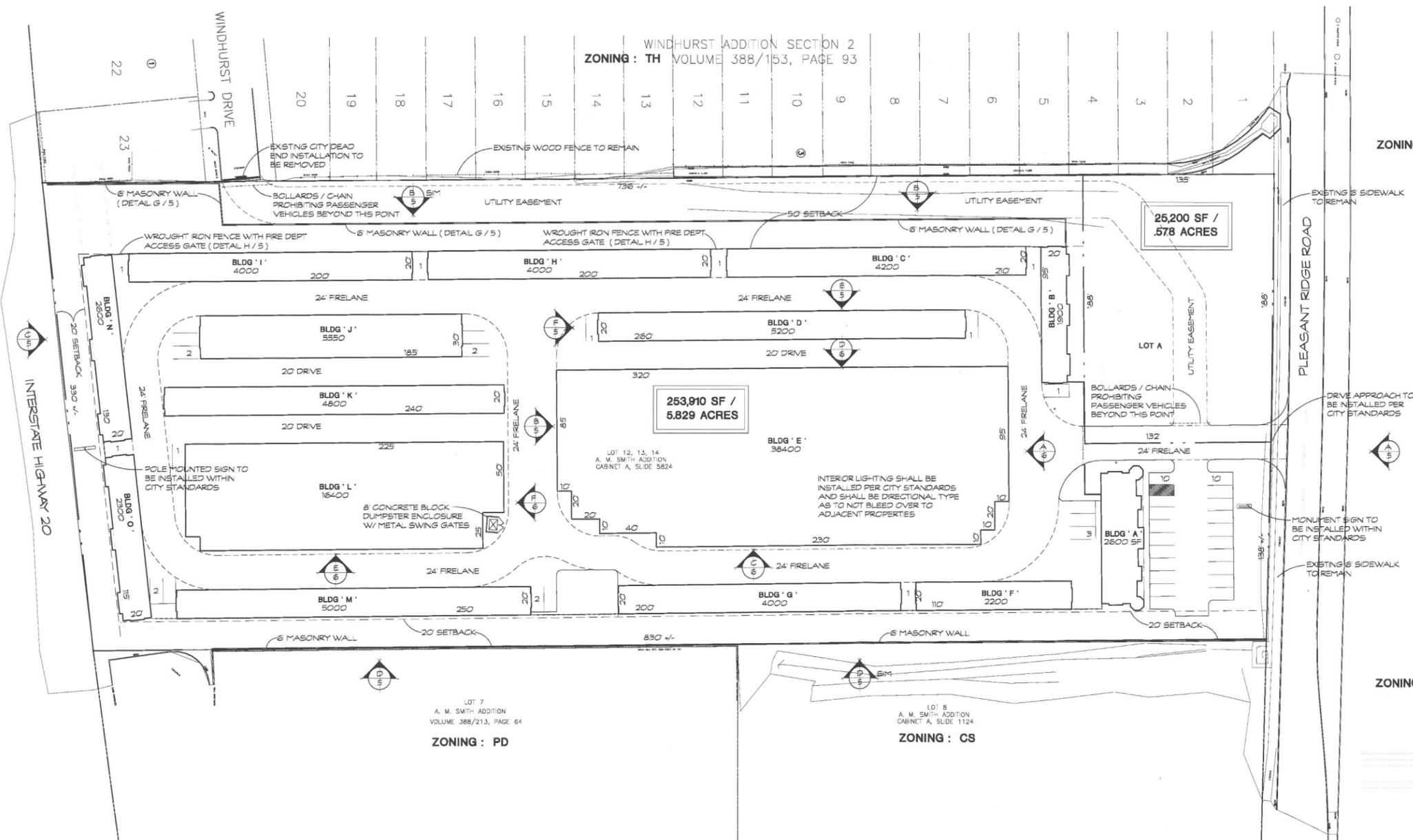
SITE / BUILDING SUMMARY	
1. PROPOSED USE:	SELF STORAGE
2. TOTAL LAND AREA:	6.407 ACRES (279,114 SQ FT)
3. TOTAL BUILDING SQ FT:	103,150 SF
4. TOTAL BUILDING COVERAGE:	103,150 SF
5. FLOOR AREA RATIO:	370 (103,150 / 279,114)
6. IMPERVIOUS COVERAGE:	698 (195,041 / 279,114)
7. BUILDING HEIGHT:	APPROX 20'
8. NUMBER OF STORES:	1 STORY
9. FIRE LANE WIDTH:	24'
10. FIRE LANE RADI:	30' NSIDE / 54' OUTSIDE

ZONING : R

PARKING SUMMARY TABLE	
1. PROPOSED USE:	SELF STORAGE
2. TOTAL SQUARE FOOTAGE:	103,150 SF
3. PARKING (SELF STORAGE):	1 PER 20 UNITS = 35 SPACES (APPROX 700 UNITS / 20)
4. PARKING (MGRS OFFICE):	1 PER 250 SQ FT = 6 SPACES (1,500 SQ FT / 250)
5. PARKING REQUIRED:	41 SPACES
6. PARKING PROVIDED:	41 SPACES
7. TYPICAL PARKING SPACE:	9'-0" WIDE BY 18'-0" DEEP

ZONING : LI

BUILDING RECAP		
BUILDING	SIZE	REMARKS
BUILDING A	2,600 SF	SALES OFFICE / MGRS UNIT
BUILDING B	1,900 SF	ONE HR SEPARATION PARTITIONS
BUILDING C	4,200 SF	ONE HR SEPARATION PARTITIONS
BUILDING D	5,200 SF	ONE HR SEPARATION PARTITIONS
BUILDING E	38,400 SF	CLIMATE CONTROLLED / FULLY SPRINKLED
BUILDING F	2,200 SF	ONE HR SEPARATION PARTITIONS
BUILDING G	4,000 SF	ONE HR SEPARATION PARTITIONS
BUILDING H	4,000 SF	ONE HR SEPARATION PARTITIONS
BUILDING I	4,000 SF	ONE HR SEPARATION PARTITIONS
BUILDING J	5,550 SF	ONE HR SEPARATION PARTITIONS
BUILDING K	4,800 SF	ONE HR SEPARATION PARTITIONS
BUILDING L	16,400 SF	CLIMATE CONTROLLED / FULLY SPRINKLED
BUILDING M	5,000 SF	ONE HR SEPARATION PARTITIONS
BUILDING N	2,600 SF	ONE HR SEPARATION PARTITIONS
BUILDING O	2,300 SF	ONE HR SEPARATION PARTITIONS
BUILDING TOTALS:	103,150 SF	



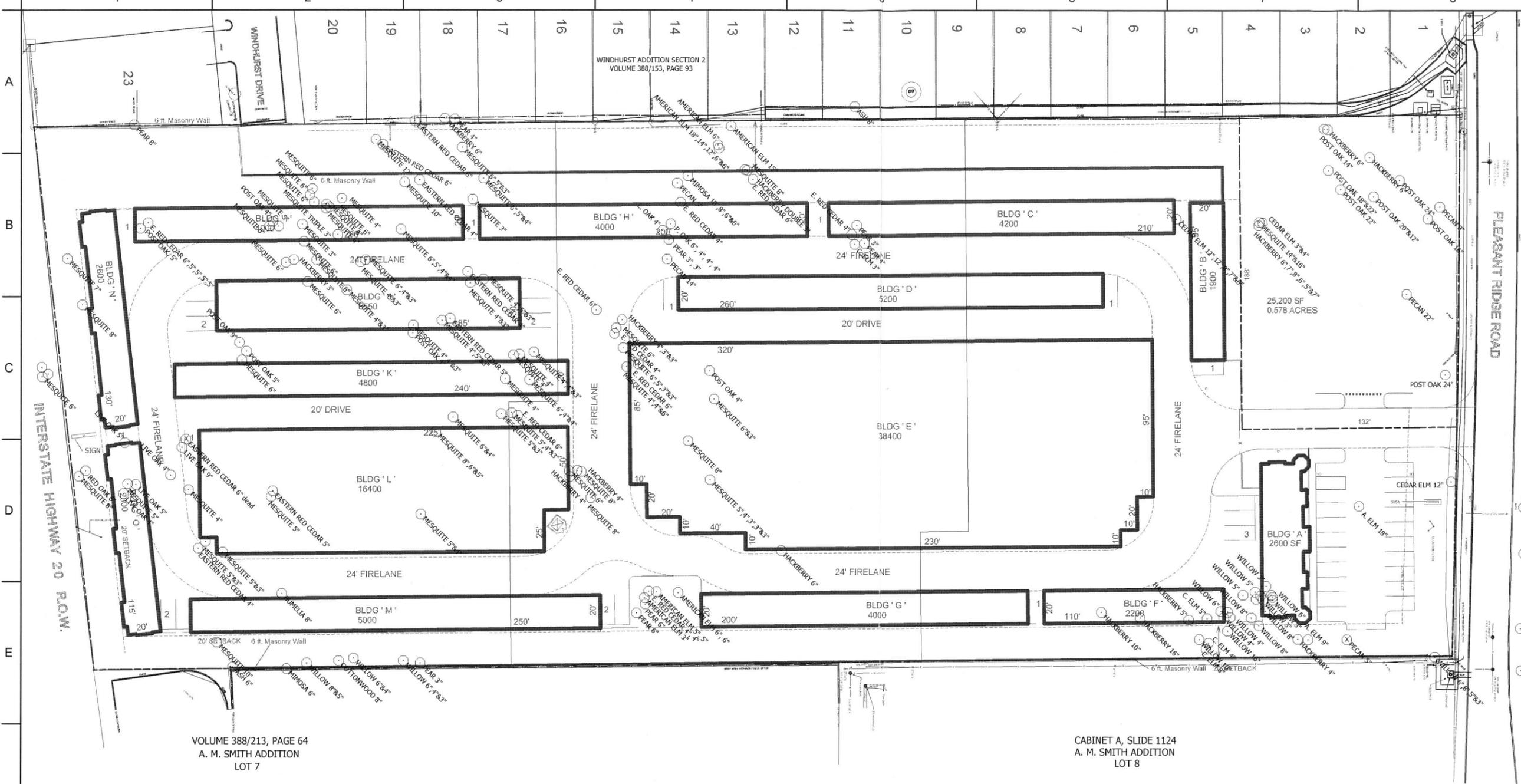
PROJECT No. 1407	THE ADDITIONS AND ALTERATIONS TO PLEASANT RIDGE STORAGE FOR THE ASSURED GROUP	SHEET NUMBER
DRAWN BY: J.W.J.	APLINGTON, TEXAS	4
CHECKED BY: P.H.	IRVING, TEXAS 75039	
DATE: 5-6-14	4881 N. STATE HWY 981	4 OF 6
UPDATED: 6-3-14 / 8-6-14	HBJ Haberman • Bulleri • Johnson ARCHITECTS	
ISSUED: 9-24 / 9-24	800 W. AIRPORT Fwy, STE. 200, IRVING, TX 75039 P. 972-438-4380 F. 972-438-7500 www.hbjarch.com	

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF GREGORY SCHADT, RLA TX No. 1335 ON SEPTEMBER 16, 2014 AND IS NOT TO BE USED FOR BIDDING, BUILDING PERMIT, OR CONSTRUCTION PURPOSES.

Project Owner
 Assured Self Storage, Don Valk
 Owner's Representative:
 Joe Bowers 817.633.5517
 Project Name
 Pleasant Ridge Storage

Project Address
 2100 W. Pleasant Ridge Road
 Arlington 76015
 Tarrant County, Texas
 Lot 12, 13, 14
 A.M. SMITH ADDITION
 CABINET A, SLIDE 5824

Revisions
 6.12.14 Proposed Zoning for PD
 Heights of all plants
 8.06.14 East setback to 20 ft.
 add masonry wall,
 add trees to east & south
 add quantities to north setback
 9.10.14 revised site plan and 30 ft. setback,
 update to UDC specs
 9.16.14 Removed landscape, building, parking
 at NW corner lot. Added trees in 30 ft.
 Transitional Buffer.



VOLUME 388/213, PAGE 64
 A. M. SMITH ADDITION
 LOT 7

CABINET A, SLIDE 1124
 A. M. SMITH ADDITION
 LOT 8

Protected Trees 6" caliper and larger - To Be Removed

Grid	Tree species	caliper inches removed by tree classification			
		Canopy	Shade	Understory	Ornamental
C4	Eastern Red Cedar	6			
D1	Live Oak	9			
E7	Cedar Elm	8			
E7	American Elm	9			
B4	Pecan	14			
D8	American Elm	18			
B4	American Elm	6			
B4	American Elm	18			
B4	American Elm	14			
B4	American Elm	12			
B4	American Elm	6			
B4	American Elm	6			
B4	Eastern Red Cedar	6			
Negative Tree Points		132			

Preserved Trees: 3 inch caliper & larger

GRID	Tree species	Caliper In.	Bonus	CRZ 75%	CRZ 100%
D1	Red Oak	6	3		X
E2	Green Ash	6	3	X	
A2	Eastern Red Cedar	6	3		X
B3	Eastern Red Cedar	4	2		X
E4	Eastern Red Cedar	4	2		X
E4	American Elm	6	3	X	
E4	American Elm	5	2.5	X	
E4	American Elm	5	2.5	X	
E4	American Elm	3	1.5	X	
B4	Pecan	5	2.5		X
B4	American Elm	15	7.5		X
D8	Cedar Elm	12	6	X	
Positive Tree Points		83	41.5		
New					
Caliper inches in West Setback		141			
Caliper inches in North Setback		12			
Caliper inches in East Setback		87			
Caliper inches in South Setback		33			
Total Positive Tree Points		397.5			
Negative Tree Points		132			
Net Positive - Tree Points		265.5			No mitigation needed

TREE FLAGGING: ALL TREES TO BE PRESERVED SHALL BE FLAGGED BY THE DEVELOPER WITH BRIGHTLY COLORED VINYL TAPE WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF APPROXIMATELY 4 FT. OR MORE, SUCH THAT THE TAPE IS VISIBLE TO WORKERS ON FOOT OR DRIVING EQUIPMENT.

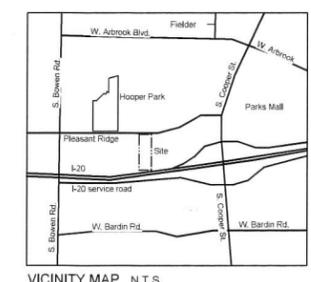
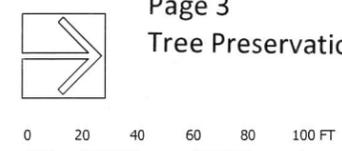
PROTECTIVE FENCING: ALL PRESERVED TREES REMAINING ON SITE SHALL HAVE PROTECTIVE FENCING, LOCATED APPROXIMATELY AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPOSED OF BRIGHTLY COLORED VINYL CONSTRUCTION FENCING, CHAIN LINK FENCING OR OTHER SIMILAR FENCING WITH A 4 FT. APPROXIMATE MINIMUM HEIGHT. WHERE PRESERVED TREES ARE IN A STAND, THE ENTIRE STAND SHALL HAVE PROTECTIVE FENCING. WHEN PROTECTIVE FENCING IS NOT PRACTICAL, THE TRUNK OF THE PRESERVED TREE SHALL BE PROTECTED BY ENCLOSING THE ENTIRE CIRCUMFERENCE WITH LUMBER ENCIRCLED WITH WIRE OR OTHER STABILIZING MEANS WHICH DOES NOT DAMAGED THE TREE.

PRESERVED TREES SHALL CONFORM TO THE FOLLOWING CONDITIONS:

A MINIMUM OF 75 PERCENT OF THE CRITICAL ROOT ZONE (CRZ) SHALL BE PRESERVED AT NATURAL GRADE, WITH NATURAL GROUND COVER. CUTTING OR FILLING OF THE SOIL SURFACE GREATER THAN FOUR (4) INCHES WITHIN THE CRZ IS PROHIBITED. IN THE FIELD, THE CRZ IS DEFINED AS AN AREA ENCOMPASSED BY THE DRIP LINE OF THE TREE'S CANOPY AND SUPERCEDES THIS DRAWING.

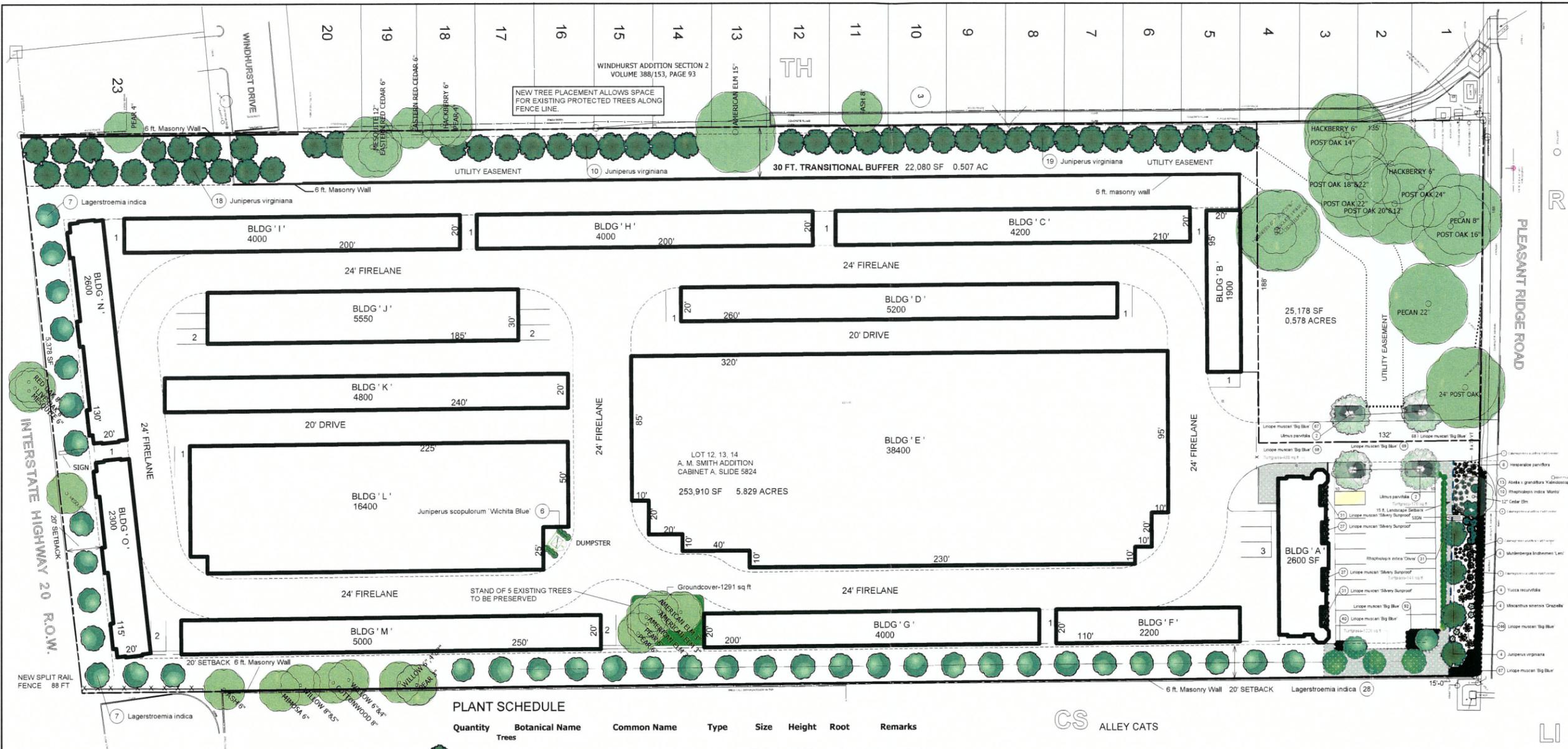
AREAS WHERE EXISTING TREES ARE TO REMAIN ARE TO BE MAINTAINED IN A NATURAL STATE WITH NATIVE GROUND COVER. PRIOR TO PROJECT CLOSE-OUT ALL AREAS WITH EXISTING TREES ARE TO BE CLEAR OF CONSTRUCTION DEBRIS, TRASH, AND BE FINE GRADED TO A NATURAL GRADE TO REMOVE APPEARANCE OF DISTURBANCE. TREES ARE TO BE PRUNED WITH SHARP TOOLS TO REMOVE BROKEN BRANCHES. THIS INCLUDES CANOPY AND UNDERSTORY TREES.

Development Plan
 Page 3
 Tree Preservation Plan



Sheet Title
 LP-101
 Tree Point Accumulation

DESIGN	PROJECT
GCS	2014_Valk_PLEASANT
DRAWN	DATE
GCS	Sept 16, 2014
SCALE	SHEET
1 IN. = 30 FT.	2 OF 2



Office of Gregory Schadt
 Landscape Architecture
 1511 Tatum Drive
 Arlington, Texas 76012
 (817) 925.7370
 www.landarcht.com
 gcs@landarcht.com

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW, UNDER THE AUTHORITY OF GREGORY SCHATZ, RLA TX No. 1335 ON SEPTEMBER 22, 2014 AND IS NOT TO BE USED FOR BIDDING, BUILDING PERMIT, OR CONSTRUCTION PURPOSES.

Project Owner
 The Assured Group, Don Valk
 Owner's Representative:
 Joe Bowers 817.633.5517

Project Name
 Pleasant Ridge Storage

Project Address
 2130 W. Pleasant Ridge Road
 Arlington 76015
 Tarrant County, Texas

Lot 12, 13, 14
 A.M. SMITH ADDITION
 CABINET A, SLIDE 5824

Revisions

- 6.12.14 Proposed Zoning for PD
- 8.06.14 Heights of all plants
- 8.06.14 East setback to 20 ft.
- 8.06.14 add masonry wall,
- 8.06.14 add trees to east & south
- 8.06.14 add quantities to north setback
- 9.10.14 revised site plan and 30 ft. setback, update to UDC specs
- 9.16.14 Removed landscape, building, parking at NW corner lot. Added trees in 30 ft. Transitional Buffer.

PLANT SCHEDULE

Quantity	Botanical Name	Common Name	Type	Size	Height	Root	Remarks
Trees							
51	<i>Juniperus virginiana</i>	Eastern Red Cedar	evergreen	3" caliper	10-12'	container	20 ft o.c. spacing typ.
42	<i>Lagerstroemia indica</i>	Crape Myrtle	deciduous	3" caliper	10-12'	container	3 - 1 in. canes minimum 22.5 ft. o.c. spacing typ.
4	<i>Ulmus parvifolia</i>	Lacebark Elm	deciduous	3" caliper	10-12'	container	center in parking island
Shrubs							
13	<i>Abelia x grandiflora 'Kaleidoscope'</i>	Kaleidoscope Abelia	evergreen	3 gallon	3'	container	3 ft. o.c. spacing typ.
6	<i>Juniperus scopulorum 'Wichita Blue'</i>	Wichita Blue Juniper	evergreen	10 gallon	6-8'	container	4 ft. o.c. spacing typ. select for fullness
10	<i>Rhaphiolepis indica 'Moto'</i>	Indian Hawthorn 'Indian Princess'	evergreen	5 gallon	3'	container	3 ft. o.c. spacing typ.
31	<i>Rhaphiolepis indica 'Olivia'</i>	Indian Hawthorn 'Olivia'	evergreen	5 gallon	4'	container	3 ft. o.c. spacing typ.
Ground Cover							
461	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Feather Reed Grass	deciduous	1 gallon	4'	container	2.5 ft. o.c. spacing typ.
6	<i>Hesperaloe parviflora</i>	Red Yucca	evergreen	1 gallon	4'	container	4 ft. o.c. spacing typ.
1142	<i>Liriope muscari 'Big Blue'</i>	Big Blue Lilyturf	evergreen	1 gallon	15"	container	1.5 ft. o.c. spacing typ.
116	<i>Liriope muscari 'Silvery Sunproof'</i>	Silvery Sunproof Lilyturf	evergreen	1 gallon	15"	container	1.5 ft. o.c. spacing typ.
429	<i>Miscanthus sinensis 'Graziella'</i>	Graziella Maiden Grass	deciduous	1 gallon	6'	container	5 ft. o.c. spacing typ.
6	<i>Muhlenbergia lindheimeri</i>	Linheimer's Muhly	deciduous	5 gallon	6'	container	5 ft. o.c. spacing typ.
4	<i>Yucca recurvifolia</i>	Pendula Yucca	evergreen	5 gallon	5'	container	6 ft. o.c. spacing typ.
Turfgrass							
223 SY	<i>Cynodon dactylon 'Tifway 419'</i>	419 Tifway Bermuda	deciduous	1"	sod		

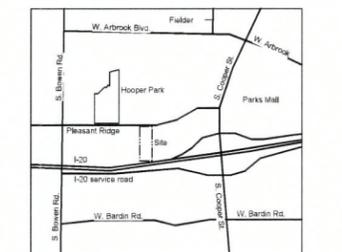
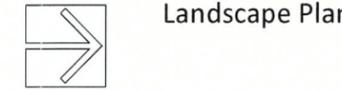
CS ALLEY CATS

LANDSCAPE NOTES

- CONTRACTOR SHALL STAKE SHRUB LOCATIONS PRIOR TO INSTALLATION FOR APPROVAL BY LANDSCAPE ARCHITECT.
- FINE GRADE PLANTING BEDS AND LAWN AREAS TO GUARANTEE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
- SHRUBS AT EDGE OF PLANTING BED SHALL BE PLANTED IN LINE AND FOLLOW THE EDGE OF THE BED. SET PLANTS BACK FROM EDGE OF BED, HALF THE DISTANCE OF O.C. PLANT SPACING.
- INSTALL BERMUDA SOD FLUSH WITH ADJACENT PAVEMENT.
- INSTALL 3 IN. THICK MULCH RING AROUND EXISTING TREES. USE A 3 FT. RADIUS BEYOND TRUNK, KEEP 9 IN. CLEAR FROM ROOT FLARE. USE SHREDDED HARDWOOD BARK MULCH.
- PLANT MATERIAL SHALL MEET THE SPECIFICATIONS OF THE AMERICAN ASSN. OF NURSERYMEN STANDARDS, CURRENT EDITION.
- ALL BEDS FOR SHRUBS, GROUND COVER, AND ANNUALS/PERENNIALS SHALL HAVE CONTINUOUS BED PREPARATION. EXISTING SOIL SHALL BE MIXED IN A 3:1 RATIO WITH STERILE COMPOST, TO A DEPTH 4" BELOW AND 12" WIDER THAN THE ROOT BALL.
- TOP DRESS ALL PLANTING BEDS WITH 3 IN. DEPTH OF MULCH.
- ALL LANDSCAPE AND IRRIGATION WORK SHALL BE GUARANTEED FOR ONE (1) YEAR BEGINNING ON THE DATE OF ACCEPTANCE OF THE COMPLETE INSTALLATION BY THE OWNER.

CURRENT ZONING OFFICE
PROPOSED ZONING PD for CS use limited to Mini-Warehouse
OWNER/DEVELOPER The Assured Group - Don Valk
 4231 N. State Highway 161, Suite 101
 Irving, Texas 75038
LEGAL DESCRIPTION LOT 12, 13, 14
 A.M. SMITH ADDITION
 CABINET A, SLIDE 5824

Development Plan
Page 4
Landscape Plan



VICINITY MAP N.T.S.

Plant Density along Pleasant Ridge Landscape Setback
 Required: 14 plants / 50 LF = 0.28 plants / LF
 East of entry drive: 392 plants / 126 LF = 3.11 plants / LF

LANDSCAPE DATA

ELEMENT	REQUIRED	PROVIDED
LANDSCAPE SETBACK	PLEASANT RIDGE: 15 FT. SETBACK, EAST PROPERTY LINE; 20 FT. SETBACK, INTERSTATE 20; 20 FT. SETBACK, WEST PROPERTY LINE; LEVEL III TRANSITIONAL BUFFER 30 FT.	PLEASANT RIDGE: 15 FT. SETBACK, EAST PROPERTY LINE; 20 FT. SETBACK, INTERSTATE 20; 20 FT. SETBACK, WEST PROPERTY LINE; LEVEL III TRANSITIONAL BUFFER 30 FT.
LANDSCAPE SETBACK TREES	PLEASANT RIDGE: 1 TREE PER 35 LF; 127 LF. FRONTAGE, 127/35 = 4 TREES	PLEASANT RIDGE: 4 NEW TREES & 1 EXISTING TREE PRESERVED, TOTAL OF 5 PROVIDED
LANDSCAPE SETBACK PLANTINGS	MAXIMUM OF 40% OF 15 FT. DEEP LANDSCAPE SETBACK TO BE TURF.	15 FT. DEEP LANDSCAPE SETBACK CONTAINS LESS THAN 40% TURF.
PARKING REQUIREMENT	1 PARKING SPACE PER 20 STORAGE UNITS, 1 PER 250 S.F. FOR MANAGERS OFFICE. NUMBER OF STORAGE UNITS: 700, 700/20 = 35 SPACES REQUIRED; MANAGER'S OFFICE = 1,500 S.F., 1,500/250 = 6 SPACES REQUIRED; TOTAL PARKING REQUIRED: 41 SPACES	41 SPACES PROVIDED
PARKING LOT TREES	ONE, 3 INCH CALIPER TREE PER 10 SPACES PROVIDED; PARKING SPACES PROVIDED: 41; PARKING LOT TREES REQUIRED: 1 PER 10 SPACES = 4 PARKING LOT TREES REQUIRED	4 - 3 INCH CALIPER PARKING LOT TREES PROVIDED.
EXCESS PARKING TREES	PARKING REQUIRED: 41 SPACES, PARKING PROVIDED: 41 SPACES, PARKING ALLOWED: 45 SPACES (41 = 10%)	NO EXCESS PARKING TREES REQUIRED
LEVEL III TRANSITIONAL BUFFER	(A) 30 FT. TRANSITIONAL BUFFER, (B) 3 INCH CALIPER TREE PER 650 SF OF TRANSITIONAL BUFFER AREA, AREA = 22,080 SF, 22,080/650 = 34 TREES RETAINED, 49 TREES TOTAL INCH CALIPER TREES REQUIRED.	(A) 30 FT. TRANSITIONAL BUFFER, (B) 47, 3 INCH CALIPER TREES PROVIDED, 2 EXISTING INCH CALIPER TREES REQUIRED.

Sheet Title
LP-100 Landscape Plan

DESIGN PROJECT
 GCS 2014_Valk_PLEASANT

DRAWN DATE
 GCS Sept 22, 2014

SCALE SHEET
 1 IN. = 30 FT. 1 OF 2



VIEW FROM PLEASANT RIDGE

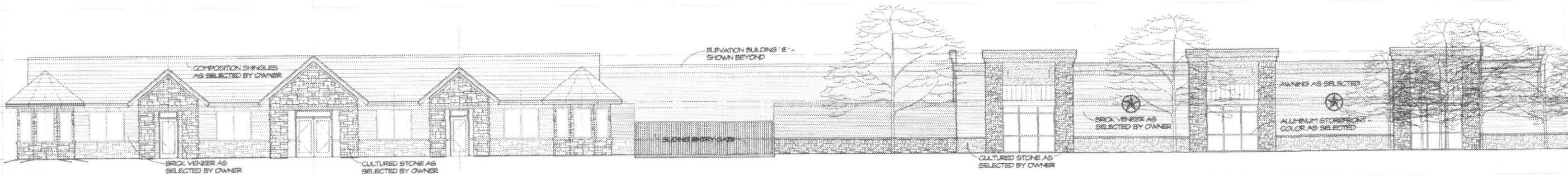
CITY OF ARLINGTON ZONING CONCEPT ELEVATION - PLEASANT RIDGE - 9-22-14

PLEASANT RIDGE STORAGE - 2 OF 6
HBJ Haberman • Bulleri • Johnson
ARCHITECTS
800 W. AIRPORT FWY, STE 1001, IRVING, TX 75062 P 972-438-4380 F 972-438-7855 www.HBJarch.com

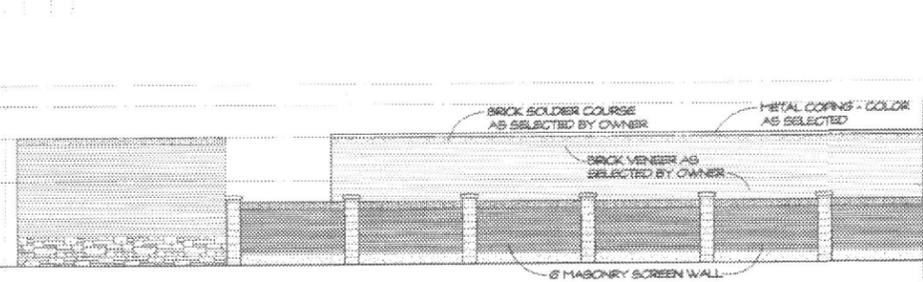
Development Plan
Page 5
Elevations (View from Pleasant Ridge)



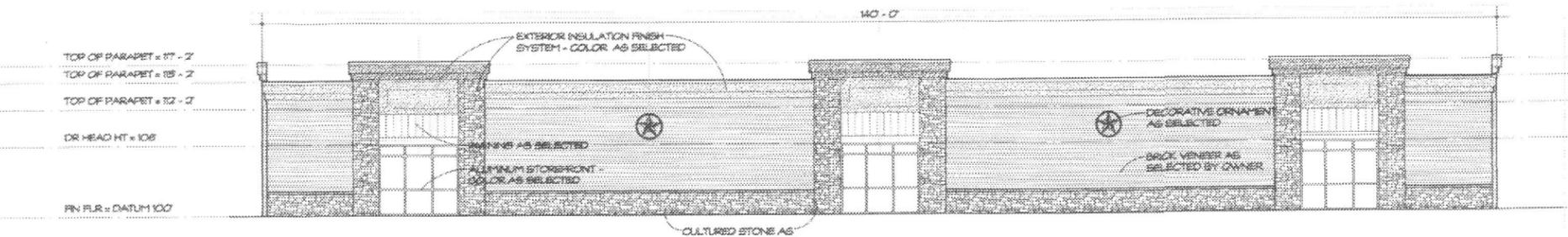
VIEW FROM INTERSTATE 20



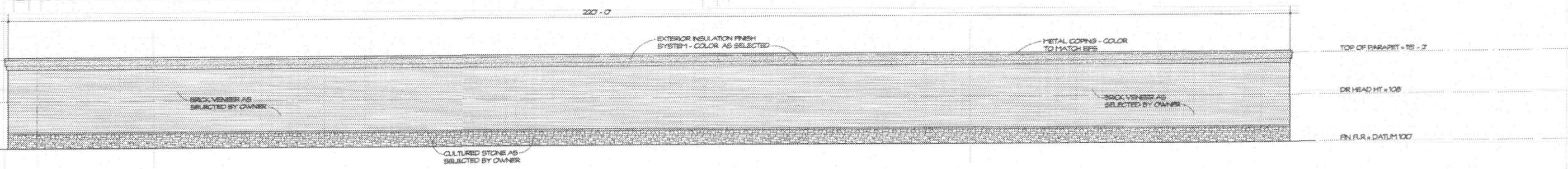
A NORTH ELEVATION AT BUILDING 'A' (VIEW FROM PLEASANT RIDGE)
1/8" = 1' - 0"



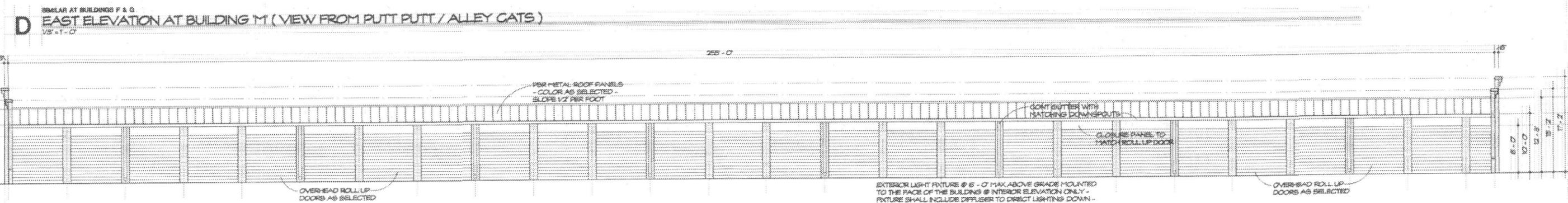
B WEST ELEVATIONS AT BUILDINGS 'B' & 'C' AND SCREEN WALLS (VIEW FROM ADJ RESIDENTIAL)
1/8" = 1' - 0"



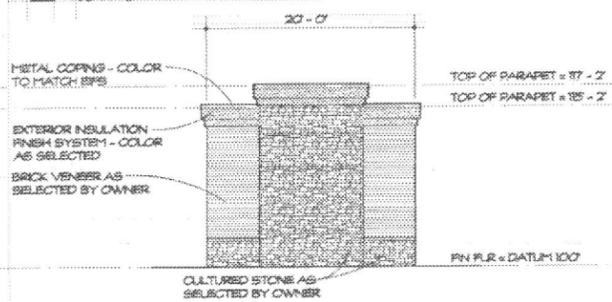
C SOUTH ELEVATION AT BUILDINGS 'N' & 'O' (VIEW FROM INTERSTATE 20)
1/8" = 1' - 0"



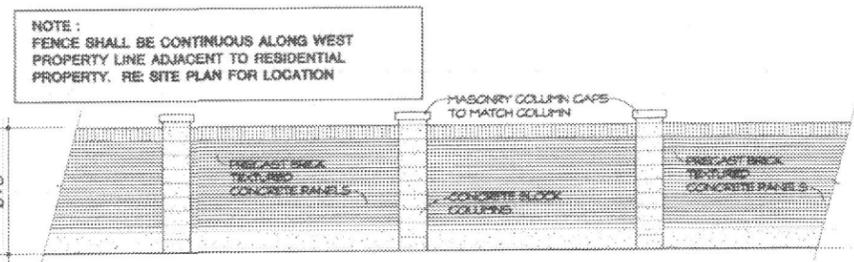
D EAST ELEVATION AT BUILDING 'M' (VIEW FROM PUTT PUTT / ALLEY CATS)
1/8" = 1' - 0"



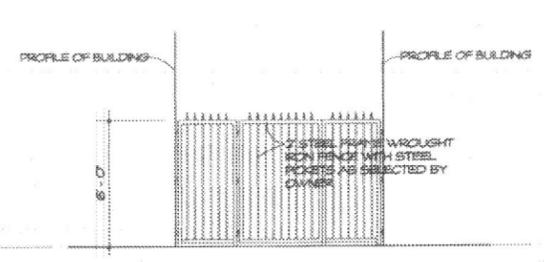
E BUILDING 'D' - EAST AND WEST ELEVATIONS (VIEW FROM WITHIN SELF STORAGE COMPLEX)
1/8" = 1' - 0"



F TYPICAL END ELEVATIONS (VIEW FROM WITHIN SELF STORAGE COMPLEX)
1/8" = 1' - 0"



G ELEVATION OF MASONRY SCREEN WALL



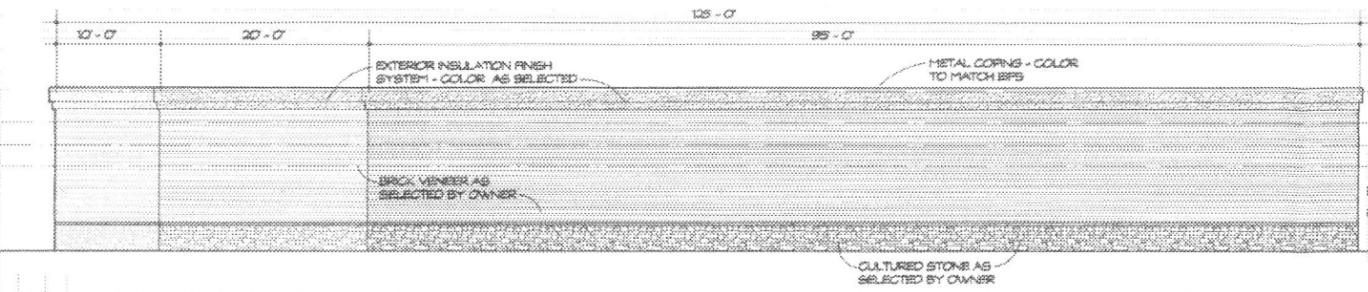
H ELEVATION AT WROUGHT IRON FENCE

NOTE:
FENCE SHALL BE CONTINUOUS ALONG WEST PROPERTY LINE ADJACENT TO RESIDENTIAL PROPERTY. RE: SITE PLAN FOR LOCATION

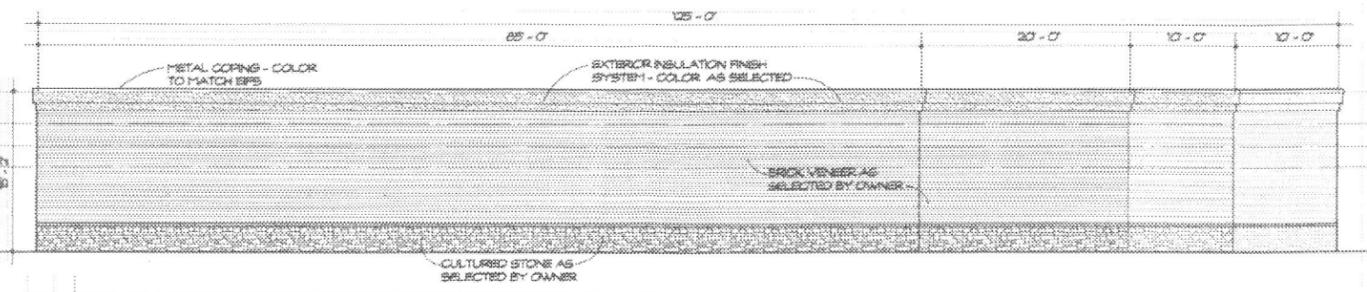
Development Plan
Page 7
Elevations (Interior view)

CITY OF ARLINGTON ZONING REVIEW - ELEVATIONS - 9-22-14

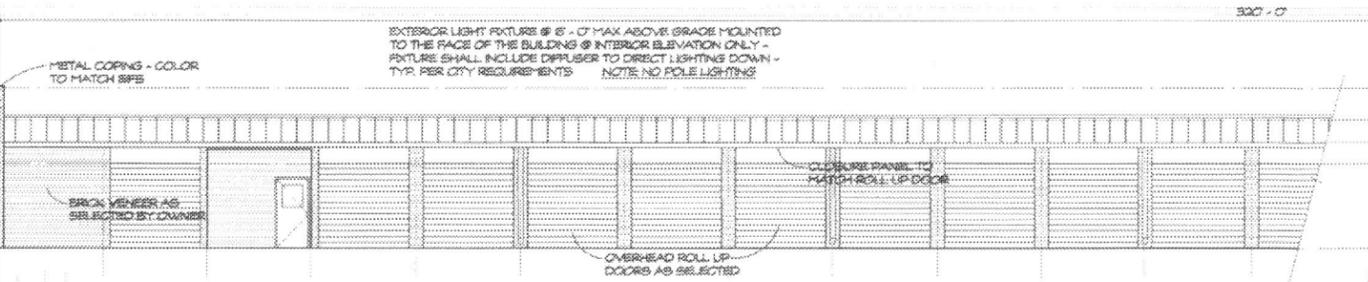
PROJECT No. 1407	THE ADDITIONS AND ALTERATIONS TO: PLEASANT RIDGE STORAGE PLEASANT RIDGE FOR THE ASSURED GROUP 171 N. STATE HWY 111 IRVING, TEXAS 75038	SHEET NUMBER 5
DRAWN BY: JMJ	REVISIONS: DATE: 8-6-14 UPDATED: 8-24-14 REVISED: 8-24-14 ISSUED:	SCALE: 1/8" = 1' - 0"
DESIGNED BY: PLJ	HBJ Haberman • Butler • Johnson ARCHITECTS	



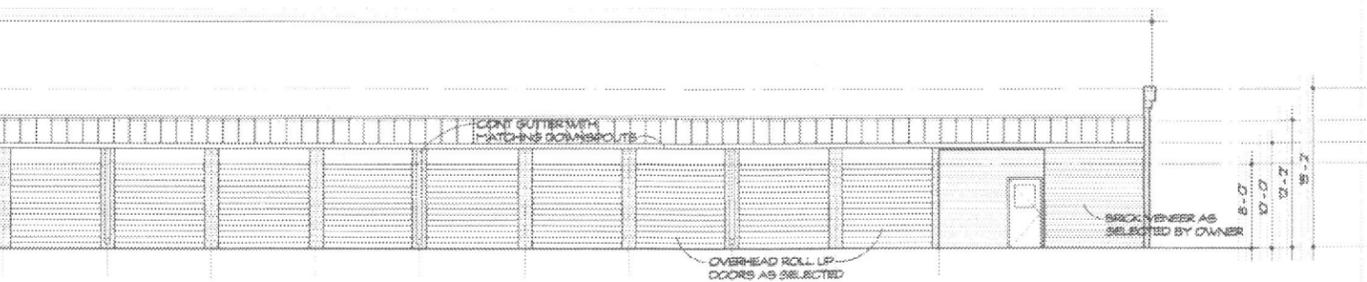
A NORTH ELEVATION AT BUILDING E
1/8" = 1'-0"



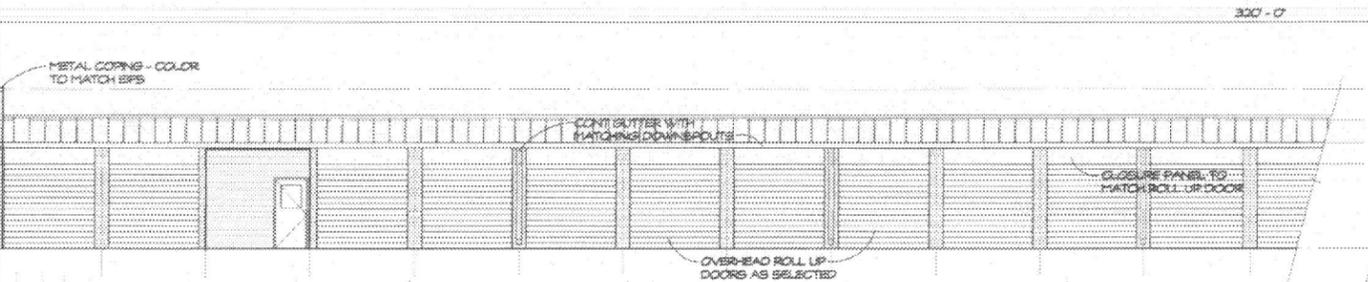
B SOUTH ELEVATION AT BUILDING E
1/8" = 1'-0"



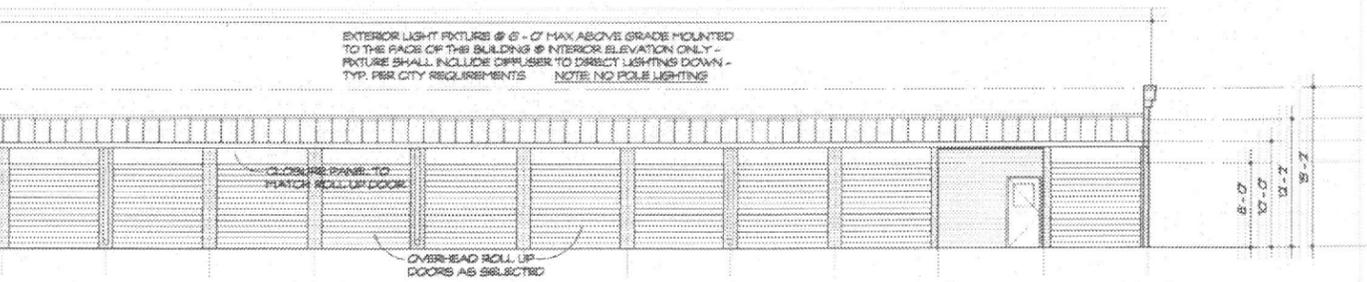
C EAST ELEVATION AT BUILDING E
1/8" = 1'-0"



D WEST ELEVATION AT BUILDING E
1/8" = 1'-0"



E EAST ELEVATION AT BUILDING L' (WEST ELEVATION - SIMILAR)
1/8" = 1'-0"



F SOUTH ELEVATION AT BUILDING L' (NORTH ELEVATION - SIMILAR)
1/8" = 1'-0"

Development Plan
Page 8
Elevations (Interior view)

CITY OF ARLINGTON ZONING REVIEW - ELEVATIONS - 9-22-14

PROJECT NO. 1407	THE ARCHITECT AND ALTERNATES TO:	SHEET NUMBER
DRAWN BY: JW/J	PLEASANT RIDGE STORAGE	6
DESIGNED BY: PLH	ARLINGTON, TEXAS	
DATE: 5-6-14	FOR: THE ASSURED GROUP	1 OF 8
UPDATED: 5-24/14	4021 N. STATE HWY 101	
REVISION: 3-24/14	HBJ Haberman • Butler • Johnson	
ISSUED:	ARCHITECTS	



Windhurst Drive looking east

ges
6/13/14