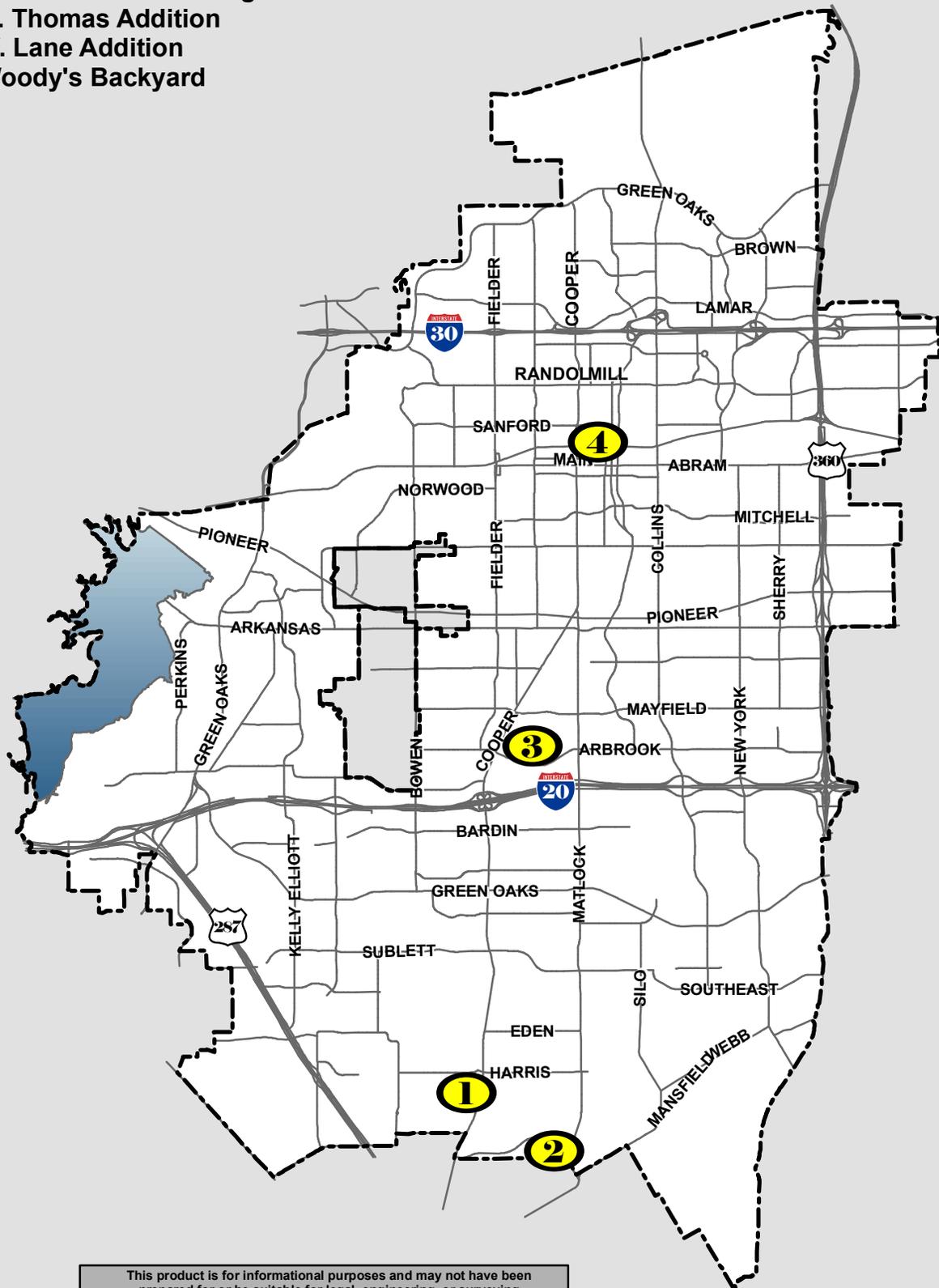


# PLANNING & ZONING

## March 4, 2015



1. Preliminary Plat - Seclusion Ridge Addition
2. Replat - J.M. Thomas Addition
3. Replat - J.W. Lane Addition
4. PD14-19 - Woody's Backyard



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





## AGENDA

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**Planning and Zoning Commission  
Work Session**

**Council Briefing Room  
101 West Abram Street**

**MARCH 4, 2015  
5:00 P.M.**

**I. CALL TO ORDER**

**II. DISCUSSION OF REGULAR SESSION AGENDA ITEMS**

**III. DIRECTOR UPDATE ON PREVIOUS COUNCIL ITEMS**

- A. Zoning Case PD14-10  
(Meineke Car Care – 6001 West Poly Webb Road)

Application to change the zoning on approximately 0.719 acres from Office Commercial (OC) to Planned Development (PD) for all Community Commercial (CC) uses, plus an Auto Service Center with a Development Plan; generally located north of West Poly Webb Road and west of Little Road.

**CC Denied 6-3-0 on 02/10/15 on first reading**

**IV. DISCUSSION OF FUTURE MEETING DATES AND TIMES**

- (a) Planning and Zoning Commission Meeting on March 18, 2015

**V. ADJOURN**

**NOTE: City Hall is wheelchair accessible. For other accommodations or sign interpretive services, please call the Strategic Planning Division at 817-459-6652 not later than 24 hours in advance.**



## **AGENDA**

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**Planning and Zoning Commission  
Regular Session**

**Council Chamber  
101 West Abram Street**

**MARCH 4, 2015  
5:30 P.M.**

**Meeting order is subject to change per the Commission's Discretion**

**I. CALL TO ORDER**

**II. PLEDGE**

**III. APPROVAL OF MINUTES**

- A. Minutes of February 18, 2015 P&Z Meeting

**IV. PLAT CONSENT AGENDA AND PUBLIC HEARING FOR PLATS**

- A. Preliminary Plat – Seclusion Ridge Addition, Lot 1, Lot 2X, Lots 3-25, Block A; Lots 1-16, Lots 17X-18X, Lots 19-22, Lot 23X, Block B; Lots 1-16, Block C, and Lot 1X, Block D; Zoned Planned Development (PD); generally located south of West Harris Road and west of South Cooper Street with the approximate address of 7406 South Cooper Street.
- B. Replat – J.M. Thomas Addition, Lots 11 and 12 (Zoned Community Commercial [CC]); generally located south of west Turner Warnell Road and west of Matlock Road with the approximate address being 8106 Matlock Road.

**NOTE: City Hall is wheelchair accessible. For other accommodations or sign interpretive services, please call the Strategic Planning Division at 817-459-6652 not later than 24 hours in advance.**

- C. Replat – J.W. Lane Addition, Lots 14R1, 14R2, 14R3, 14R4, 14R5, 14R6 and 14R7, Block 1 (Zoned Community Commercial [CC]); generally located north of West Arbrook Boulevard and east of South Cooper Street with the approximate address being 3701 South Cooper Street.

## **V. PUBLIC HEARING FOR ZONING CASES**

- A. **CONTINUED (from 02-04-15)** Zoning Case PD14-19  
(Woody's Backyard – 309 West Front Street)

Application to change the zoning on approximately 0.678 acres from Downtown Business (DB) to Planned Development (PD) for Downtown Business (DB) uses, with a Development Plan; generally located north of West Front Street and east of North West Street.

## **VI. MISCELLANEOUS**

- A. Reports from Boards/Commissions Liaisons
- B. Reports from Staff and Announcements
- C. Discussion of Future Meeting Dates and Times

## **VII. ADJOURN**

# Staff Report



## Preliminary Plat (Seclusion Ridge Addition)

Planning and Zoning Meeting Date: 3-4-15

Document Being Considered: Plat

### **RECOMMENDATION**

Following the public hearing, consider a preliminary plat.

### **PRIOR BOARD OR COUNCIL ACTION**

None

### **ANALYSIS**

The applicant, Bannister Engineering, LLC, represented by Brandon O'Donald, proposes to plat 60 residential lots and five common space "X" lots from 44.777 acres of the Temple O. Harris Survey, Abstract 645. Lot 1X, Block D is designated as a private street. Lots 2X, Block A; Lot 17X, Block B; Lot 23X, Block B; and Lot 18X, Block B are common open space lots. All of the lots will be held in common ownership and perimeter fencing and landscaping and shall be maintained by a Property Owners Association.

The subject site is part of a larger development. This portion of the site was specifically identified for residential single-family uses and is zoned PD (Planned Development) for "RS-15", and "RS-7.2".

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the subdivision regulations of the Unified Development Code.

### **FINANCIAL IMPACT**

None

### **ADDITIONAL INFORMATION**

<u>Property Location:</u>	Generally located south of West Harris Road and west of South Cooper Street with the approximate address being 7406 South Cooper Street. .
<u>Sector:</u>	West
<u>Council District:</u>	4
<u>Current Zoning:</u>	Planned Development (PD) for "RS-15", and "RS-7.2"

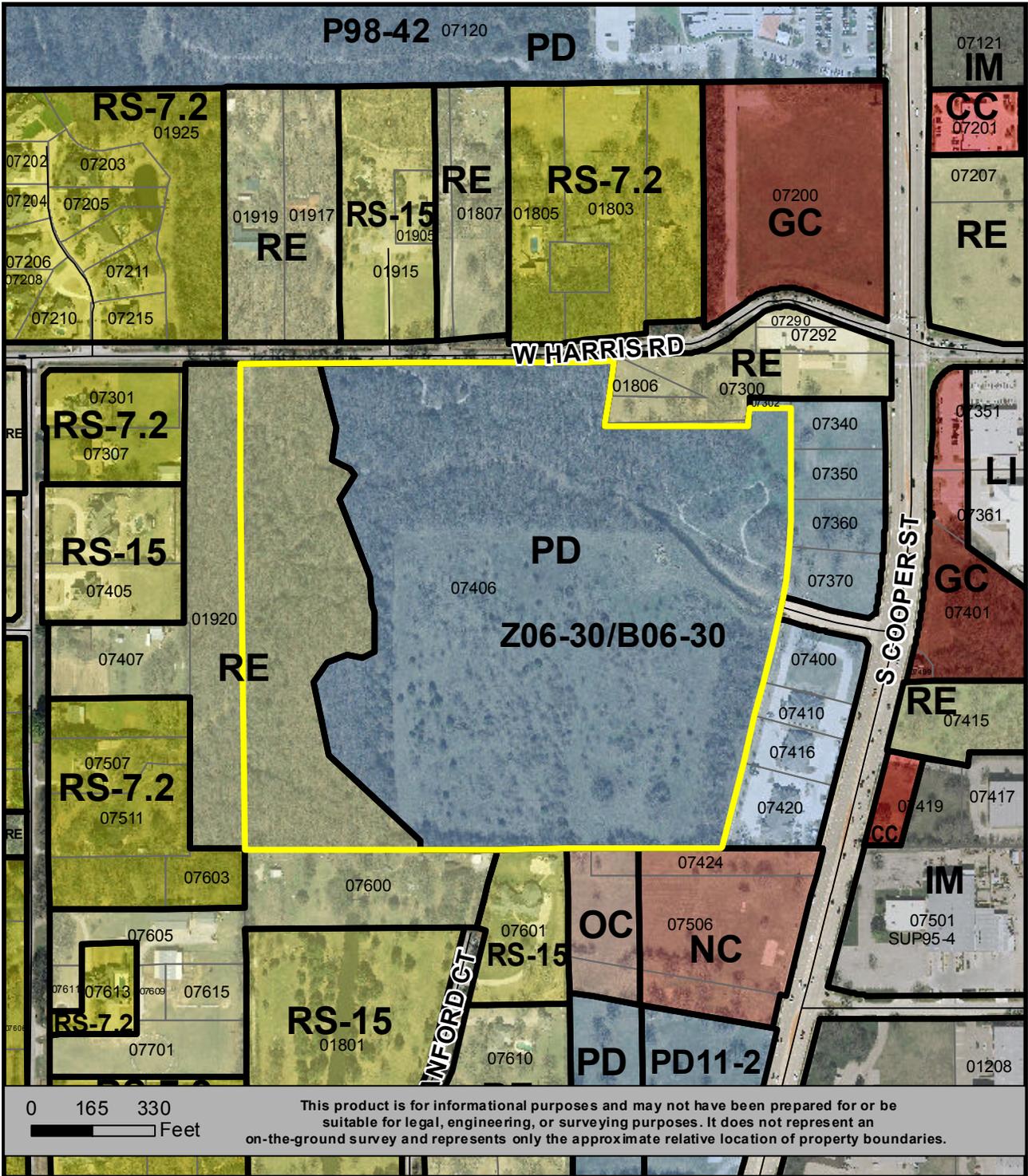
### **ATTACHED**

- i. Location Map
- ii. 11X17 Plat

### **STAFF CONTACT(S)**

Gincy Thoppil, AICP  
Development Planning Manager  
Community Development & Planning  
817-459-6662  
[Gincy.Thoppil@arlingtontx.gov](mailto:Gincy.Thoppil@arlingtontx.gov)

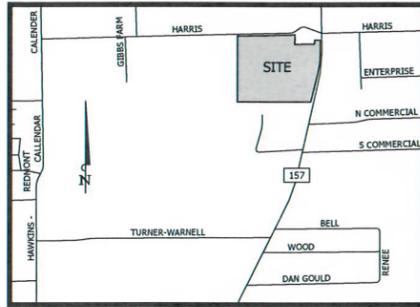
Kevin Charles  
Senior Planner  
Community Development & Planning  
817-459-6515  
[Kevin.Charles@arlingtontx.gov](mailto:Kevin.Charles@arlingtontx.gov)



**LOCATION MAP**

**SECLUSION RIDGE  
PRELIMINARY PLAT**





VICINITY MAP  
NOT TO SCALE  
ARLINGTON, TEXAS



GRAPHIC SCALE

( IN FEET )  
1 inch = 100 ft.

LEGEND

- MIN. FF ELEV. MINIMUM FINISH FLOOR ELEVATION
- SF SQUARE FEET
- BL BUILDING LINE
- U.E. UTILITY EASEMENT
- N NORTH
- S SOUTH
- E EAST
- W WEST
- DEGREES
- MINUTES/FEET
- SECONDS/INCHES
- D.R.T.C.T. DEED RECORDS TARRANT COUNTY, TEXAS
- P.R.T.C.T. PLAT RECORDS TARRANT COUNTY, TEXAS
- = DIMENSION POINT, NOTHING FOUND OR SET

Line #	Length	Direction
L1	195.06	S0° 00' 45"E
L2	57.41	S23° 00' 12"W
L3	395.99	S23° 00' 12"W
L4	327.83	S0° 10' 37"E
L5	434.89	S89° 49' 23"W
L6	6.59	N89° 49' 23"E
L7	76.83	S0° 10' 37"E
L8	135.89	S23° 00' 12"W
L9	18.73	S16° 03' 37"E
L10	59.12	N66° 59' 48"W
L11	19.36	N84° 33' 06"W
L12	95.02	N84° 33' 06"W
L13	133.61	N6° 11' 13"E
L14	6.94	S49° 52' 25"E
L15	25.02	N37° 53' 17"E
L16	266.54	S89° 49' 23"W
L17	73.52	N30° 10' 37"W
L18	163.98	N0° 10' 37"W
L19	43.01	N29° 49' 23"E
L20	196.80	N0° 10' 37"W
L21	77.24	N68° 18' 19"E
L22	152.46	N89° 49' 23"E
L23	43.05	S66° 59' 48"E
L24	14.14	S45° 10' 37"E
L25	24.24	N89° 49' 23"E
L26	14.14	N44° 49' 23"E
L27	14.15	N54° 26' 31"E
L28	9.98	S78° 34' 36"E
L29	14.47	S34° 36' 48"E
L30	61.18	S82° 35' 42"E
L31	14.14	N68° 00' 12"E
L32	13.68	S46° 46' 14"W
L33	28.22	N39° 48' 45"E
L34	73.52	N30° 10' 37"W
L35	42.99	N29° 49' 23"E
L36	136.04	S0° 15' 57"E
L40	14.14	S21° 59' 48"E
L41	9.28	N68° 00' 12"E
L43	24.24	S89° 49' 23"W
L44	8.05	S66° 59' 48"E

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	110.47	275.00	23°00'57"	N11° 29' 44"E	109.73
C2	91.03	225.00	23°10'49"	N11° 24' 48"E	90.41
C3	132.81	225.00	33°49'11"	N17° 05' 13"W	130.89
C4	223.84	225.00	57°00'00"	S5° 29' 48"E	214.72
C5	72.61	237.00	17°33'18"	S75° 46' 27"E	72.33
C6	67.56	500.00	7°44'31"	N78° 43' 26"W	67.51
C7	179.18	183.00	56°05'56"	N21° 49' 27"W	172.11
C8	78.54	75.00	60°00'00"	N15° 10' 37"W	75.00
C9	65.45	125.00	30°00'00"	N15° 10' 37"W	64.70
C10	65.45	125.00	30°00'00"	N14° 49' 23"E	64.70
C11	65.45	125.00	30°00'00"	N14° 49' 23"E	64.70
C12	117.81	75.00	90°00'00"	N44° 49' 23"E	106.07
C13	46.94	125.00	21°31'04"	N79° 03' 51"E	46.67
C14	46.94	125.00	21°31'04"	N79° 03' 51"E	46.67
C15	50.57	125.00	23°10'49"	S78° 35' 12"E	50.23

NOTE: SEE SHEET NO. 2 FOR ADDITIONAL EASEMENTS DETAIL.

General Notes:

1. All bearings shown herein are based upon the Texas State Plane Coordinate System, NAD83 (CORS), Texas North Central Zone (4202), based on CORS Stations TXAR PID DF5387 and TXDE PID DF8986 as published by NGS. All distances shown herein are surface distances.
2. According to surveyor's interpretation of information shown on the National Flood Insurance Program (NFIP) "Flood Insurance Rate Map" (FIRM), Community Panel No. 48439C0345K and 48439C0460K, dated September 25, 2009. The property appears to lie within Zone "AE", defined as "Base flood elevations determined", and within Shaded Zone "X", defined as "Areas of 0.2% annual chance flood, areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood", and within Zone "X" defined as "Areas determined to be outside the 0.2% annual chance floodplain" zone as defined by the U.S. Department of Housing and Urban Development, Federal Insurance Administration, or the Federal Emergency Management Agency.
- The above referenced "FIRM" map is for use in administering the "NFIP"; it does not necessarily show all areas subject to flooding, particularly from local sources of small size, which could be flooded by severe, concentrated rainfall coupled with inadequate local drainage systems. There may be other streams, creeks, low areas, drainage systems or other surface or subsurface conditions existing on or near the subject property which are not studied or addressed as a part of the "NFIP".
3. This property may be subject to charges related to impact fees, and the applicant should contact the City regarding any applicable fees due.
4. This plat does not alter or remove deed restrictions or covenants, if any, on this property.
5. Lot 1X, Block D is a Private Street and is to be maintained by the Home Owner's Association and Lot 2X, Block A, Lot 17X, Block B and Lot 23X, Block B are the Common Areas and to be maintained by the Home Owner's Association. Lot 18X, Block B is a Common Area for Pavilion and Amenities and is to be maintained by the Home Owner's Association. Perimeter fences adjacent to West Harris Road on residential shall be maintained by the Home Owner's Association.

General Notes: (Continued)

6. No buildings, swimming pools, or other structures/improvements are allowed within the Creek Buffer Zone, except for facilities that cross the creek or for park amenities such as trails, playgrounds and benches, as long as they do not concentrate surface drainage.
  7. No buildings, fences, or other structures/improvements are allowed to be placed within the Erosion Clear Zone.
- RECORD REFERENCE**
- R1 - REHOBOTH BAPTIST CHURCH AS RECORDED IN VOLUME 2836, PAGE 422, D.R.T.C.T.  
R2 - REHOBOTH BAPTIST CHURCH AS RECORDED IN VOLUME 448, PAGE 338, D.R.T.C.T.

**APPROVED**  
CITY OF ARLINGTON PLANNING AND ZONING COMMISSION

\_\_\_\_\_, 2015

CHAIRMAN  
PLANNING AND ZONING COMMISSION

SECRETARY  
PLANNING AND ZONING COMMISSION

PRELIMINARY PLAT

**SECLUSION RIDGE**  
LOT 1, BLOCK A, LOT 2X, BLOCK A,  
LOTS 3-25, BLOCK A,  
LOTS 1-16, BLOCK B, LOT 17X-18X, BLOCK B  
LOTS 19-22, BLOCK B, LOT 23X, BLOCK B  
LOTS 1-16, BLOCK C,  
AND LOT 1X, BLOCK D  
an addition to the City of Arlington  
Being 44.777 acres out of the Temple O. Harris Survey,  
Abstract No. 645, City of Arlington, Tarrant County, Texas.

65 Lots

Date Prepared: October 2014  
Date Revised: January 2015  
SHEET 1 OF 2

ENGINEER:  
BANNISTER ENGINEERING, LLC  
1696 COUNTRY CLUB DRIVE  
MANSFIELD, TEXAS 76063  
CONTACT: T. JASON BANNISTER, P.E.  
817-842-2094

OWNER/DEVELOPER:  
ACORN HARBOR PARTNERS, L.P.  
P.O. BOX 172710  
ARLINGTON, TEXAS 76003-2710

**BANNISTER ENGINEERING**  
1696 Country Club Drive | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
TBPLS REGISTRATION NO. 10193823

Owners Certificate:  
State of Texas §  
County of Tarrant §

WHEREAS **ACORN HARBOR PARTNERS, L.P.**, acting by and through the undersigned, its duly authorized agent are the owners of a 44.777 acres (1,950,473 square feet) of land in the Temple O. Harris Survey, Abstract No. 645, City of Arlington, Tarrant County, Texas, said 44.777 acres (1,950,473 square feet) of land being a portion of that certain tract of land described in a Warranty Deed to Acorn Harbor Partners, L.P. (hereinafter referred to as Acorn Harbor tract), as recorded in Instrument Number D204025180, Deed Records, Tarrant County, Texas (D.R.T.C.T.); said 44.777 acres (1,950,473 square feet) being more particularly described, by metes and bounds, as follows:

**BEGINNING** at a one inch iron rod found for the Southwest corner of said Acorn Harbor tract, being approximately 3,978 feet South and 80 East of the Northwest corner of said Harris Survey, same being the Northerly Northwest corner of that certain tract of land described in a Warranty Deed with Vendor's Lien to David Crist (hereinafter referred to as Crist tract), as recorded in Volume 9693, Page 726, D.R.T.C.T., same being the East line of that certain tract of land described in a Warranty Deed to Vicki Cunningham (hereinafter referred to as Cunningham tract), as recorded in Instrument Number D213160331, D.R.T.C.T.;

**THENCE** North 00 degrees 09 minutes 23 seconds East with the common line between said Acorn Harbor tract and the following 8 tracts of land, (1) said Cunningham tract, (2) that certain tract of land described in a Special Warranty Deed to Monica Ruth Fritz, as recorded in Instrument Number D214023048, D.R.T.C.T., (3) that certain tract of land described in a Warranty Deed to Donald R. Gungolus and wife, Nona S. Gungolus, as recorded in Volume 7026, Page 1808, D.R.T.C.T., (4) that certain tract of land described in a deed to William N. Fuller and wife, Patsy S. Fuller, as recorded in Volume 5346, Page 792, D.R.T.C.T., (5) that certain tract of land described in a deed to William N. Fuller and wife, Patsy S. Fuller, as recorded in Volume 5346, Page 794, D.R.T.C.T., (6) that certain described Lot 32, W.W. Warnell West Addition, an addition to the City of Arlington, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 7241, Plat Records, Tarrant County, Texas (P.R.T.C.T.), (7) that certain described Lot 31 of said W.W. Warnell West Addition, (8) that certain tract of land described in a Warranty Deed to Eugene B. Orcutt, a married man, Marilyn E. Orcutt, his wife (hereinafter referred to as Orcutt tract), as recorded in Volume 9674, Page 1313, D.R.T.C.T., a distance of 1287.77 feet to a five-eighths inch iron rod found for the Northwest corner of said Acorn Harbor tract, same being the existing South right-of-way line of West Harris Road, also known as T.O. Harris Road (70' right-of-way), as recorded in Instrument Number D20000408, D.R.T.C.T.;

**THENCE** with the common line between said Acorn Harbor tract and the existing South right-of-way line of said West Harris Road for the following 5 courses:

- North 89 degrees 45 minutes 01 second East, a distance of 510.48 feet to a five-eighths inch iron rod found for the beginning of a curve to the left, whose long chord bears North 87 degrees 50 minutes 01 second East, a distance of 136.30 feet;
- Westerly with said curve to the left having a radius of 2035.00 feet, through a central angle of 3 degrees 50 minutes 17 seconds, for an arc distance of 136.32 feet to a five-eighths inch iron rod found;
- North 85 degrees 36 minutes 09 seconds East, a distance of 75.29 feet to a five-eighths inch iron rod found;
- North 89 degrees 44 minutes 03 seconds East, a distance of 279.47 feet to a five-eighths inch iron rod with plastic cap stamped "KSC found" found;
- North 84 degrees 42 minutes 09 seconds East, a distance of 119.26 feet to a three-quarters inch iron rod found for the Northerly Northeast corner of said Acorn Harbor tract, same being the West line of that certain tract of land described in a deed to The Deacons of the Baptist Church of Rehoboth (hereinafter referred to as Baptist Church of Rehoboth), as recorded in Volume 81, Page 594, D.R.T.C.T.;

**THENCE** with the common line between said Acorn Harbor tract and said Baptist Church of Rehoboth, as recorded in Volume 448, Page 338, D.R.T.C.T. and in Volume 2836, Page 422, D.R.T.C.T. for the following 5 courses:

- South 00 degrees 00 minutes 45 seconds East, departing the existing South right-of-way line of said West Harris Road, a distance of 128.43 feet to a five-eighths inch iron rod found;
- South 07 degrees 03 minutes 23 seconds West, a distance of 58.75 feet to a one inch iron rod found;
- North 89 degrees 18 minutes 36 seconds East, a distance of 389.46 feet to a three-eighths inch iron rod found;
- North 05 degrees 33 minutes 21 seconds East, a distance of 78.18 feet to a one inch iron rod found;
- North 89 degrees 53 minutes 46 seconds East, a distance of 109.16 feet to a one-half inch iron rod with plastic cap stamped "BEASLEY" found for the Northwest corner of that certain tract of land described as Block 2, Valista Office Park (hereinafter referred to as Block 2), an addition to the City of Arlington, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 12364, P.R.T.C.T.;

**THENCE** South 00 degrees 10 minutes 40 seconds East, departing the South line of said Baptist Church of Rehoboth and with the common line between the remainder of said Acorn Harbor tract and said Block 2, a distance of 260.00 feet to a one-half inch iron rod with plastic cap stamped "BEASLEY" found for the beginning of a curve to the right, whose long chord bears South 07 degrees 02 minutes 18 seconds West, a distance of 401.92 feet;

**THENCE** Southerly continue with the common line between the remainder of said Acorn Harbor tract and said Block 2 and with said curve to the right having a radius of 1599.86 feet, through a central angle of 14 degrees 25 minutes 55 seconds, passing a one-half inch iron rod with plastic cap stamped "BEASLEY" found for the Southwest corner of said Block 2, same being the Northwest corner of Scarborough Drive (60' right-of-way), as recorded in Cabinet A, Slide 12363, P.R.T.C.T. at an arc distance of 270.93 feet and continue with said curve to the right and with the common line between the remainder of said Acorn Harbor tract and that certain tract of land described as Block 1, Valista Office Park, (hereinafter referred to as Block 1), an addition to the City of Arlington, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 12363, P.R.T.C.T. for a total arc distance of 402.98 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found;

**THENCE** South 14 degrees 15 minutes 15 seconds West with the common line between the remainder of said Acorn Harbor tract and said Block 1, passing the Southwest corner of said Block 1, same being the Northwest corner of that certain tract of land described as Lot 2, Block 1, Valista Office Park, (hereinafter referred to as Lot 2), an addition to the City of Arlington, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 12362, P.R.T.C.T., at a distance of 198.00 feet, continue with said course and with the common line between the remainder of said Acorn Harbor tract and said Lot 2, passing the Southwest corner of said Lot 2, same being the Northwest corner of that certain tract of land described as Lot 1R, Block 1, Valista Office Park, (hereinafter referred to as Lot 1R), an addition to the City of Arlington, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 12065, P.R.T.C.T., at a distance of 129.59 feet, continue with said course and with the common line between the remainder of said Acorn Harbor tract and said Lot 1R, at a distance of 563.21 feet to an X-cut found in concrete footing for the Southeast corner of the remainder of said Acorn Harbor tract, same being the North line of that certain tract of land described in a Special Warranty Deed to GPKL Commercial, Ltd. (hereinafter referred to as GPKL Commercial tract), as recorded in Instrument Number D199315104, D.R.T.C.T.;

**THENCE** South 89 degrees 49 minutes 213 seconds West with the common line between said Acorn Harbor tract and the following 5 tracts of land, (1) said GPKL Commercial tract, (2) that certain tract of land described in a Special Warranty Deed to GPKL Commercial, Ltd. (hereinafter referred to as GPKL Commercial tract), as recorded in Instrument Number D200023529, D.R.T.C.T., (3) that certain tract of land described as Lot 38, T.O. Harris Addition, an addition to the City of Arlington, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 5756, P.R.T.C.T., (4) that certain tract of land described in an Assumption Special Warranty Deed to Ronald Eugene Dempesmeier, as recorded in Instrument Number D211302796, D.R.T.C.T., (5) aforesaid Crist tract, a distance of 1435.35 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 44.777 acres (1,950,473 square feet) of land.

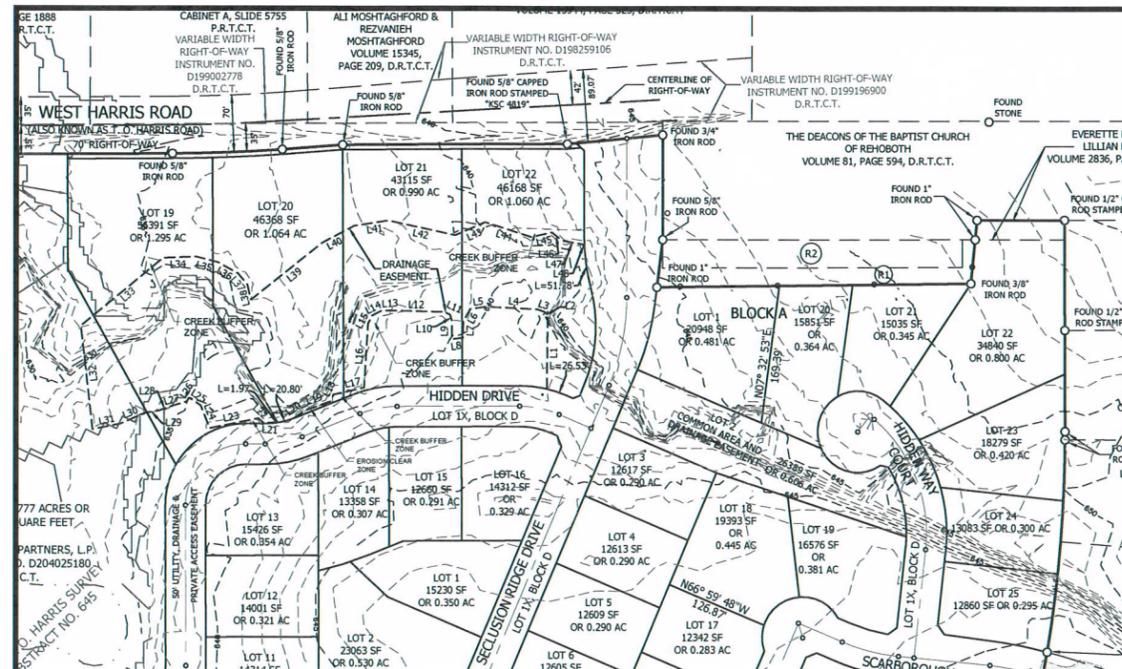
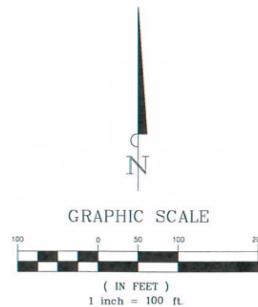
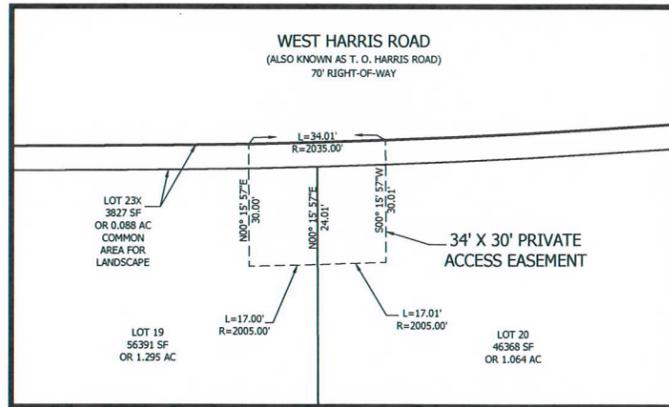
ENGINEER:  
BANNISTER ENGINEERING, LLC  
1696 COUNTRY CLUB DRIVE  
MANSFIELD, TEXAS 76063  
CONTACT: T. JASON BANNISTER, P.E.  
817-842-2094

OWNER/DEVELOPER:  
ACORN HARBOR PARTNERS, L.P.  
P.O. BOX 172710  
ARLINGTON, TEXAS 76003-2710

**BANNISTER**  
ENGINEERING  
1696 Country Club Drive | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
TBPLS REGISTRATION NO. 10193823

### 30' PRIVATE ACCESS EASEMENT DETAIL

SCALE: 1" = 20'



### EASEMENT DETAIL

SCALE: 1" = 100'

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS, that **ACORN HARBOR PARTNERS, L.P.**, acting by and through the undersigned, its duly authorized agent, does hereby adopt the herein described property as **SECLUSION RIDGE, LOT 1, BLOCK A, LOT 2X, BLOCK A, LOTS 3-25, BLOCK A, LOTS 1-16, BLOCK B, LOT 17X-18X, BLOCK B, LOTS 19-22, BLOCK B, LOT 23X, BLOCK B, LOTS 1-16, BLOCK C, AND LOT 1X, BLOCK D**, an addition to the City of Arlington, Tarrant County, Texas and does dedicate to the public use the streets and easements as shown thereon.

**ACORN HARBOR PARTNERS, L.P.**

By: \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated and as the act and deed of said Partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the \_\_\_\_\_ day of \_\_\_\_\_, 2014.

Notary Public, The State of Texas

Surveyor's Certification:

I, Michael Dan Davis, Registered Professional Land Surveyor Number 4838, State of Texas, having plotted the above described subdivision from an actual survey on the ground, and that all lot corners, and angle points and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me or under my direct supervision.

**PRELIMINARY,**  
THIS DOCUMENT SHALL NOT BE  
RECORDED FOR ANY PURPOSE AND SHALL NOT BE  
USED OR VIEWED OR RELIED UPON AS A FINAL  
SURVEY DOCUMENT

Michael Dan Davis DATE:  
Registered Professional Land Surveyor No. 4838  
BANNISTER ENGINEERING, LLC  
T.B.P.L.S. REGISTRATION NO. 10193823



Easement Line Table					
Line #	Length	Direction	Line #	Length	Direction
L1	86.82	N0° 40' 08"E	L25	17.38	N57° 26' 24"W
L2	8.61	N26° 34' 30"W	L26	5.63	S31° 20' 53"W
L3	9.39	N69° 57' 34"W	L27	18.14	S73° 52' 04"W
L4	64.09	N87° 29' 03"W	L28	17.69	S70° 39' 17"W
L5	19.88	S82° 01' 58"W	L29	17.35	S80° 38' 49"W
L6	17.52	S29° 43' 40"W	L30	33.92	S66° 47' 50"W
L7	20.19	S1° 17' 39"W	L31	34.91	S78° 49' 36"W
L8	13.91	S83° 01' 28"W	L32	127.83	N6° 33' 58"W
L9	22.14	N0° 00' 16"W	L33	131.70	N50° 49' 22"E
L10	8.30	N16° 13' 46"W	L34	40.85	N87° 47' 57"E
L11	7.73	N65° 19' 09"W	L35	28.17	S75° 45' 13"E
L12	67.32	N88° 16' 14"W	L36	27.90	S61° 05' 03"E
L13	11.28	S86° 15' 49"W	L37	18.20	S40° 31' 00"E
L14	11.88	S63° 45' 46"W	L38	19.18	S13° 44' 50"E
L15	11.42	S27° 23' 24"W	L39	112.37	N51° 33' 08"E
L16	78.53	S3° 32' 41"W	L40	45.29	N62° 15' 41"E
L17	38.75	S77° 00' 01"W	L41	42.94	N81° 23' 42"E
L18	9.47	S26° 44' 57"W	L42	84.72	S77° 40' 22"E
L19	32.63	S70° 37' 40"W	L43	40.66	N66° 51' 32"E
L20	17.82	S55° 50' 03"W	L44	60.58	S72° 46' 19"E
L21	16.23	N86° 53' 50"W	L45	25.90	N77° 01' 13"E
L22	7.36	N49° 34' 40"W	L46	16.45	S52° 19' 16"E
L23	61.51	S78° 32' 26"W	L47	25.38	S79° 59' 12"E
L24	30.19	N21° 41' 23"W	L48	4.01	S38° 37' 56"E

**PRELIMINARY PLAT**  
**SECLUSION RIDGE**  
LOT 1, BLOCK A, LOT 2X, BLOCK A,  
LOTS 3-25, BLOCK A,  
LOTS 1-16, BLOCK B, LOT 17X-18X, BLOCK B  
LOTS 19-22, BLOCK B, LOT 23X, BLOCK B  
LOTS 1-16, BLOCK C,  
AND LOT 1X, BLOCK D  
an addition to the City of Arlington  
Being 44.777 acres out of the Temple O. Harris Survey,  
Abstract No. 645, City of Arlington, Tarrant County, Texas.

65 Lots

Date Prepared: October 2014  
Date Revised: January 2015  
SHEET 2 OF 2

# Staff Report



<b>Replat (J.M. Thomas Addition Lots 11 &amp; 12)</b>	
Planning and Zoning Meeting Date: 3-4-15	Document Being Considered: Plat

## **RECOMMENDATION**

Consider replat on the consent agenda.

## **PRIOR BOARD OR COUNCIL ACTION**

None

## **ANALYSIS**

The applicant, Whitfiled-Hall Surveyors, proposes to subdivide Lot 2A2R1B, of the J.M. Thomas Addition, approximately 1.026 acres in size, into two lots; Lots 11 and 12, for future retail development. The lot is currently undeveloped.

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the subdivision regulations.

## **FINANCIAL IMPACT**

None

## **ADDITIONAL INFORMATION**

<u>Property Location:</u>	Generally located south of West Turner Warnell Road and west of Matlock Road with the approximate address being 8106 Matlock Road.
<u>Sector:</u>	Southeast
<u>Council District:</u>	2
<u>Current Zoning:</u>	Community Commercial (CC)

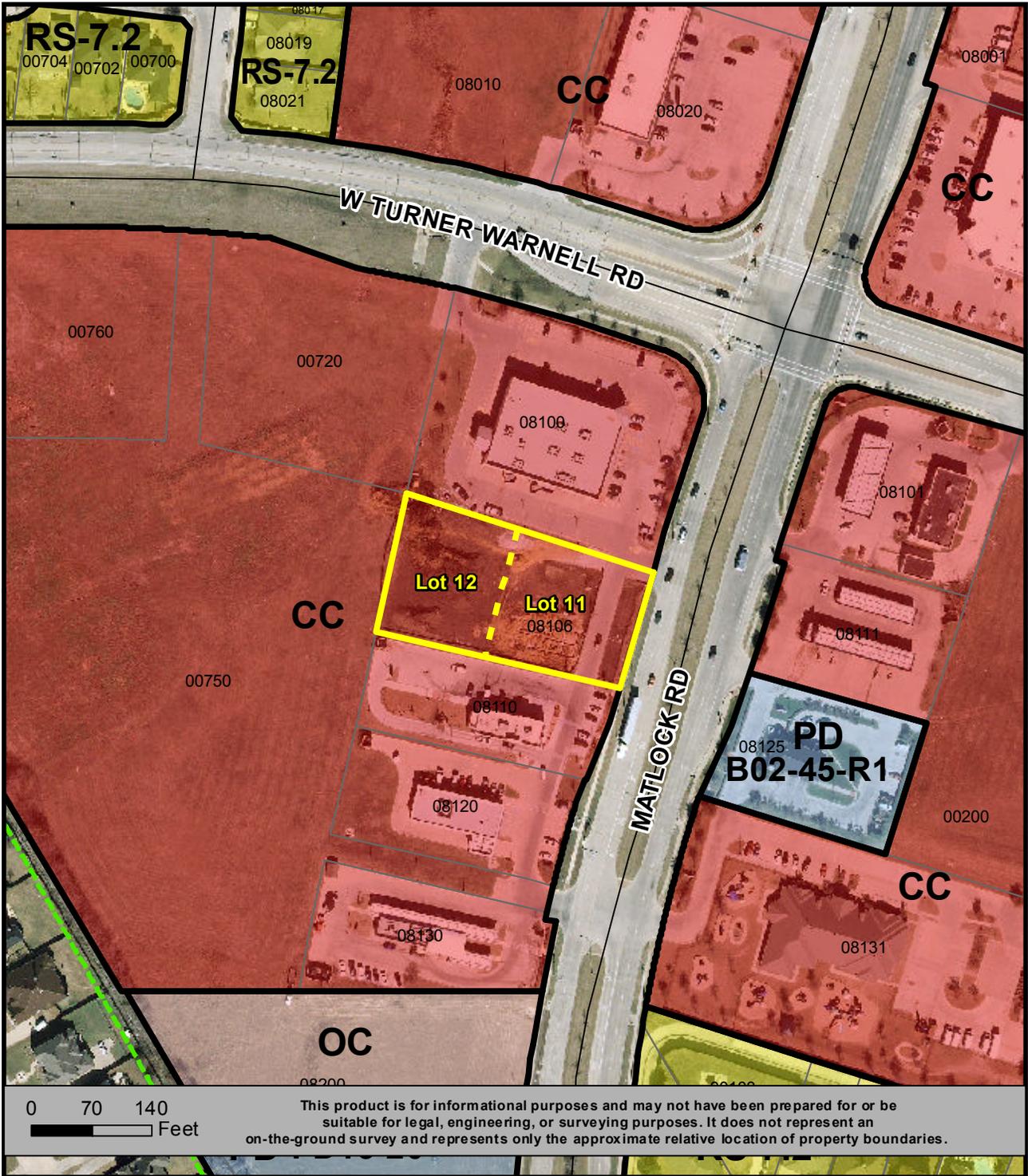
## **ATTACHED**

- i. Location Map
- ii. 11 x 17 Plat

## **STAFF CONTACT(S)**

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Development Planning Manager  
Community Development and Planning  
817-459-6662  
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Community Development and Planning  
817-459-6670  
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**LOCATION MAP**

**J M THOMAS ADDITION  
REPLAT**





# Staff Report



<b>Replat (JW Lane Addition Lots 14R1, 14R2, 14R3, 14R4, 14R5, 14R6 and 14R7, Block 1)</b>	
--	--

Planning and Zoning Meeting Date: 3-4-15	Document Being Considered: Plat
--	---------------------------------

## **RECOMMENDATION**

Consider replat on the consent agenda.

## **PRIOR BOARD OR COUNCIL ACTION**

On February 18, 2015, the Planning and Zoning Commission recommended approval of SUP14-7 by a 5-4 vote.

## **ANALYSIS**

The applicant, TriMarch Realty, LLC, proposes to subdivide Lot14, of the JW Lane Addition, approximately 8.676 acres in size, into seven lots: Lots 14R1, 14R2, 14R3, 14R4, 14R5, 14R6 and 14R7. All existing structures on site are to remain and there is no new development proposed at this time.

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the subdivision regulations.

## **FINANCIAL IMPACT**

None

## **ADDITIONAL INFORMATION**

<u>Property Location:</u>	Generally located south of High Point Road and east of South Cooper Street with the approximate address being 3701 South Cooper Street.
<u>Sector:</u>	East
<u>Council District:</u>	4
<u>Current Zoning:</u>	Community Commercial (CC)

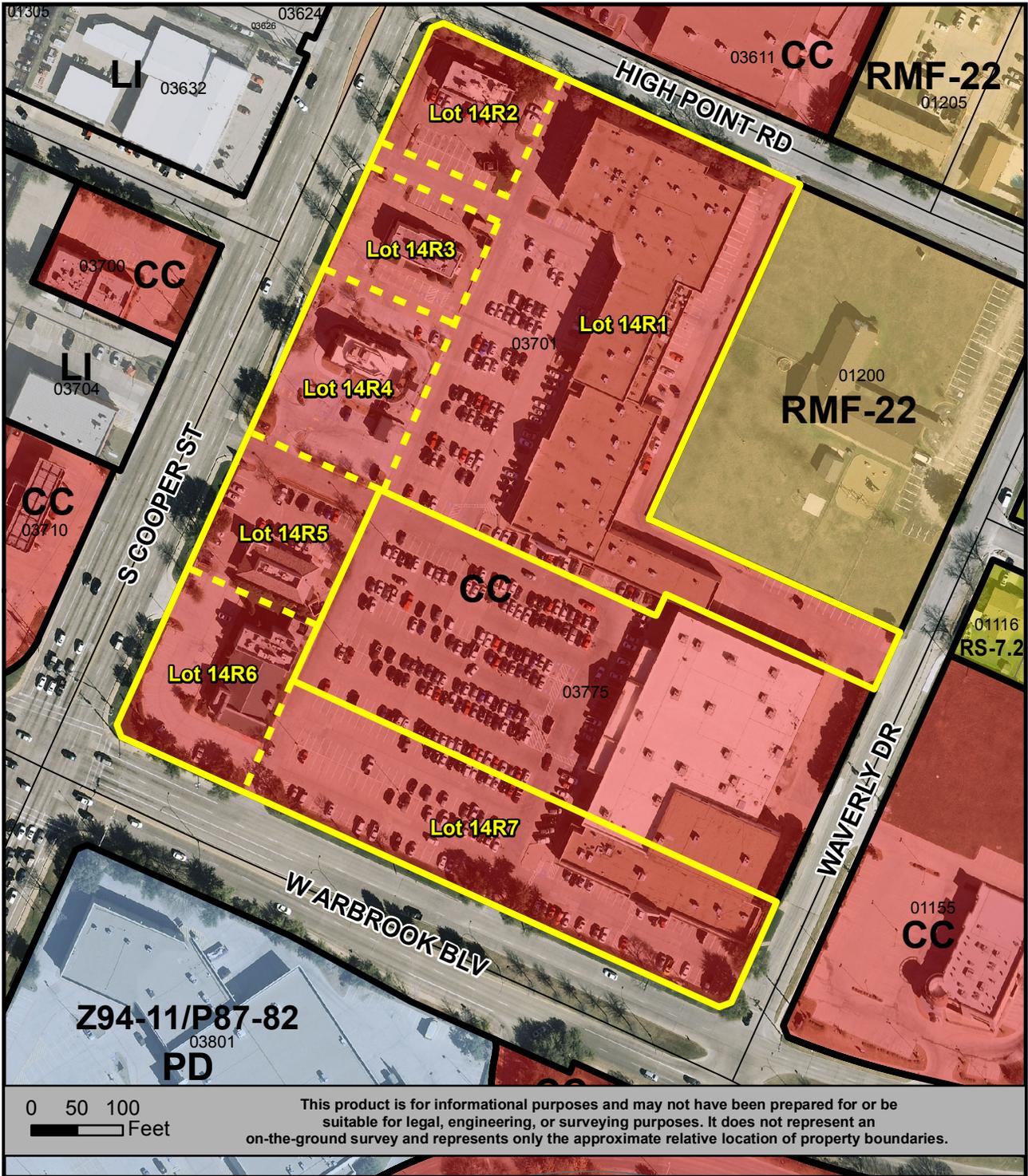
## **ATTACHED**

- i. Location Map
- ii. 11 x 17 Plat

## **STAFF CONTACT(S)**

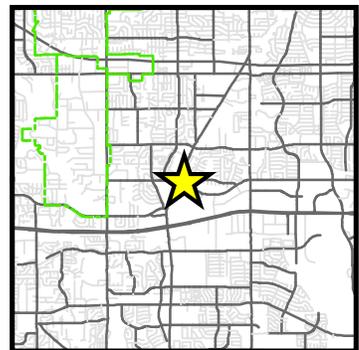
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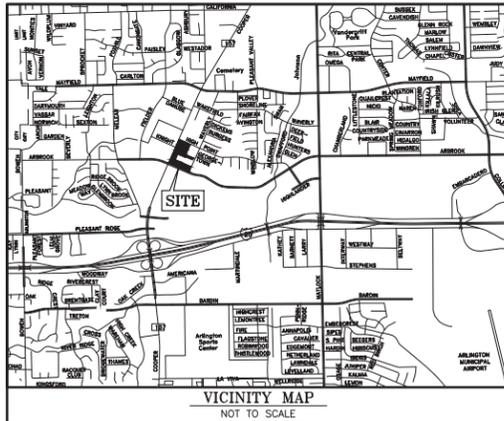
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**LOCATION MAP**

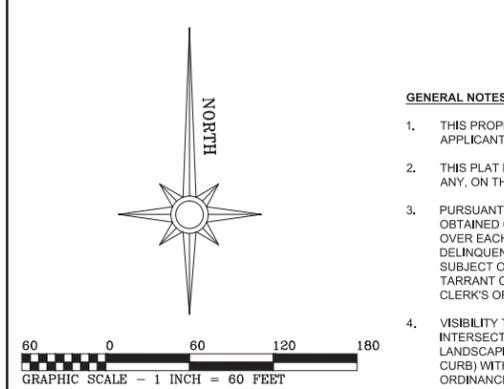
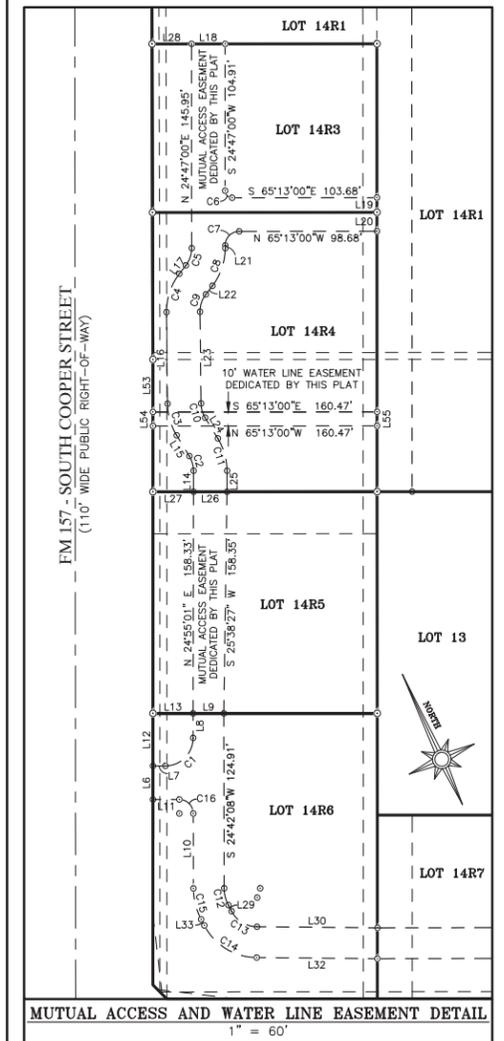
**J.W. LANE ADDITION  
REPLAT**





Curve	Radius	Length	Delta	Chord	Chord Bear.
C1	20.00'	31.42'	90°00'00"	28.28'	N 69°42'08" E
C2	20.00'	11.03'	31°35'06"	10.89'	N 08°59'27" E
C3	44.00'	23.80'	30°59'44"	23.51'	N 08°41'46" E
C4	20.00'	28.41'	38°17'27"	28.86'	N 43°20'22" W
C5	20.00'	13.16'	37°42'05"	12.92'	N 43°38'03" E
C6	5.00'	7.85'	90°00'00"	7.07'	S 20°13'00" E
C7	10.00'	15.71'	90°00'00"	14.14'	S 69°47'00" W
C8	44.00'	23.80'	30°59'44"	23.51'	S 08°59'27" W
C9	20.00'	13.37'	38°17'27"	13.12'	S 43°20'22" W
C10	20.00'	10.82'	30°59'44"	10.69'	S 08°41'46" W
C11	44.00'	24.26'	31°35'06"	23.95'	S 08°59'27" W
C12	25.79'	12.44'	27°37'57"	12.32'	S 10°53'09" W
C13	20.72'	22.33'	61°43'46"	21.26'	S 33°47'43" E
C14	42.72'	46.03'	61°43'46"	43.83'	N 33°47'43" E
C15	47.79'	23.05'	27°37'57"	22.82'	N 10°53'09" E
C16	10.00'	15.71'	90°00'00"	14.14'	N 20°17'52" W

Course	Bearing	Distance
L2	N 24°38'45" E	30.00'
L3	S 65°13'00" E	30.00'
L4	N 65°13'00" W	30.00'
L5	N 65°13'02" W	29.09'
L6	S 65°11'31" E	25.00'
L7	N 24°48'55" E	24.00'
L8	N 24°42'08" E	17.43'
L9	S 65°13'00" E	22.00'
L10	N 24°42'08" E	53.52'
L11	N 65°17'52" E	18.85'
L12	N 24°48'55" E	37.47'
L13	S 65°13'00" E	28.74'
L14	N 24°47'00" E	15.00'
L15	N 08°48'06" W	17.38'
L16	N 24°11'38" E	65.44'
L17	N 62°29'05" E	7.66'
L18	S 65°13'00" E	24.00'
L19	S 24°46'57" W	10.50'
L20	S 24°47'02" W	13.50'
L21	S 24°47'00" W	2.04'
L22	S 62°29'05" W	7.56'
L23	S 24°11'38" W	65.44'
L24	S 06°48'06" E	17.38'
L25	S 24°47'00" W	15.00'
L26	N 65°13'00" W	24.00'
L27	N 65°13'02" W	29.02'
L28	S 65°13'02" E	28.30'
L29	S 02°55'49" E	4.98'
L30	S 64°39'36" E	86.35'
L31	S 24°47'00" W	22.00'
L32	N 64°39'36" W	86.47'
L33	N 02°55'49" W	4.98'

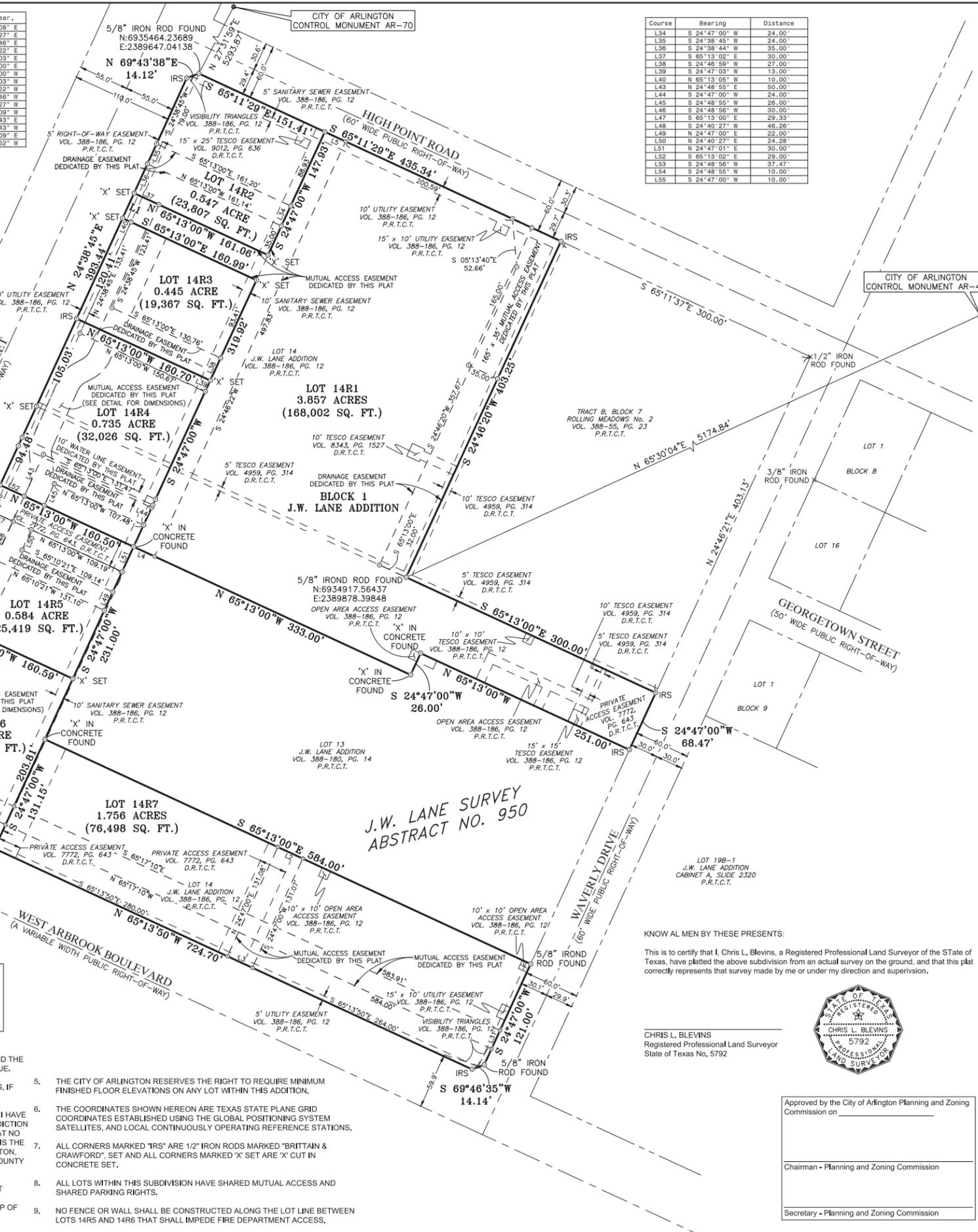


**BEARING BASIS NOTE:**  
THE BEARINGS INDICATED HEREON ARE BASED UPON OUR FIELD SURVEYED ANGLES RELATED TO THE ORIGINAL RECORDED PLAT OF THIS LOT

**FLOOD NOTE:**  
NO PORTION OF THIS PROPERTY LIES WITHIN A 100-YEAR FLOOD HAZARD ZONE, ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE RATE MAP FOR TARRANT COUNTY, TEXAS, AND INCORPORATED AREAS, COMMUNITY-PANEL NUMBER 48439C0345 K, MAP REVISED SEPTEMBER 25, 2009.

**GENERAL NOTES:**

- THIS PROPERTY MAY BE SUBJECT TO CHARGES RELATED TO IMPACT FEES, AND THE APPLICANT SHOULD CONTACT THE CITY REGARDING ANY APPLICABLE FEES DUE.
- THIS PLAT DOES NOT ALTER OR REMOVE DEED RESTRICTIONS OR COVENANTS, IF ANY, ON THIS PROPERTY.
- PURSUANT TO SECTION 12.002 OF THE TEXAS PROPERTY CODE, AS AMENDED, I HAVE OBTAINED ORIGINAL TAX CERTIFICATES FROM EACH TAXING UNIT WITH JURISDICTION OVER EACH PARCEL OF REAL PROPERTY IN SAID SUBDIVISION INDICATING THAT NO DELINQUENT AD VALOREM TAXES ARE OWED ON THE REAL PROPERTY WHICH IS THE SUBJECT OF THE PLAT OR REPLAT I HAVE SUBMITTED TO THE CITY OF ARLINGTON, TARRANT COUNTY, TEXAS FOR FILING AND RECORDING WITH THE TARRANT COUNTY CLERK'S OFFICE.
- VISIBILITY TRIANGLES SHALL BE PROVIDED AT ALL PUBLIC OR PRIVATE STREET INTERSECTIONS IN ACCORDANCE WITH CURRENT CITY ORDINANCE. ALL LANDSCAPING (NOTHING OVER 2 FEET IN HEIGHT AS MEASURED FROM THE TOP OF CURB) WITHIN THE VISIBILITY TRIANGLE SHALL COMPLY WITH THE VISIBILITY ORDINANCE.
- THE CITY OF ARLINGTON RESERVES THE RIGHT TO REQUIRE MINIMUM FINISHED FLOOR ELEVATIONS ON ANY LOT WITHIN THIS ADDITION.
- THE COORDINATES SHOWN HEREON ARE TEXAS STATE PLANE GRID COORDINATES ESTABLISHED USING THE GLOBAL POSITIONING SYSTEM SATELLITES, AND LOCAL CONTINUOUSLY OPERATING REFERENCE STATIONS.
- ALL CORNERS MARKED "IRS" ARE 1/2" IRON RODS MARKED "BRITAIN & CRAWFORD", SET AND ALL CORNERS MARKED "X" SET ARE "X" CUT IN CONCRETE SET.
- ALL LOTS WITHIN THIS SUBDIVISION HAVE SHARED MUTUAL ACCESS AND SHARED PARKING RIGHTS.
- NO FENCE OR WALL SHALL BE CONSTRUCTED ALONG THE LOT LINE BETWEEN LOTS 14R5 AND 14R6 THAT SHALL IMPEDE FIRE DEPARTMENT ACCESS.



Course	Bearing	Distance
L34	S 24°47'00" W	24.00'
L35	S 24°38'45" W	24.00'
L36	S 24°38'44" W	35.00'
L37	S 65°13'02" E	30.00'
L38	S 24°46'59" W	27.00'
L39	S 24°47'03" W	13.00'
L40	N 65°13'05" E	10.00'
L41	N 24°48'55" E	50.00'
L42	S 24°47'00" W	24.00'
L43	S 24°46'59" W	27.00'
L44	S 24°47'03" W	13.00'
L45	S 24°48'55" W	26.00'
L46	S 24°48'56" W	30.00'
L47	S 65°13'00" E	29.33'
L48	S 24°40'27" W	46.26'
L49	N 24°47'01" E	22.00'
L50	N 24°40'27" E	24.28'
L51	N 24°47'01" E	30.00'
L52	S 65°13'02" E	29.00'
L53	S 24°48'56" W	37.47'
L54	S 24°48'55" W	10.00'
L55	S 24°47'00" W	10.00'



CHRIS L. BLEVINS  
Registered Professional Land Surveyor  
State of Texas No. 5792

KNOW ALL MEN BY THESE PRESENTS:  
This is to certify that I, Chris L. Blevins, a Registered Professional Land Surveyor of the State of Texas, have plotted the above subdivision from an actual survey on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

Approved by the City of Arlington Planning and Zoning Commission on \_\_\_\_\_

Chairman - Planning and Zoning Commission \_\_\_\_\_

Secretary - Planning and Zoning Commission \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF TARRANT

WHEREAS, TRIMARSH REALTY, LLC, a Texas limited liability company, acting by and through the undersigned, its duly authorized agent, is the sole owner of a tract of land located in the J.W. LANE SURVEY, Abstract No. 950, City of Arlington, Tarrant County, Texas, according to the deed recorded in Instrument Number D214232733, of the Deed Records of Tarrant County, Texas and being more particularly described as follows:

LEGAL DESCRIPTION  
BEING all of Lot 14, J.W. Lane Addition, an addition to the City of Arlington, Tarrant County, Texas, according to the plat recorded in Volume 388-186, Page 12 of the Plat Records of Tarrant County, Texas.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:  
THAT, TRIMARSH REALTY, LLC, a Texas limited liability company, acting by and through the undersigned, its duly authorized agent, does hereby adopt this plat designating the hereinabove described real property as Lots 14R1, 14R2, 14R3, 14R4, 14R5, 14R6, and 14R7, BLOCK 1, J.W. Lane Addition, an addition to the City of Arlington, Tarrant County, Texas, and does hereby dedicate to the public's use the streets and easements shown hereon.

I hereby certify that no deed restrictions exist upon the property included within this plat that is in a platted subdivision at the present time wherein a lot thereof is limited by deed restrictions authorizing residential use but restricting same to not more than two residential units per lot. I further certify that this property does not alter or remove existing deed restrictions or covenants, if any, on this property.

Pursuant to Section 12.002 of the Texas Property Code, as amended, I have obtained original tax certificates from each taxing unit with jurisdiction over each parcel of real property in said subdivision indicating that no delinquent ad valorem taxes are owed on the real property which is the subject of the plat or replat I have submitted to the City of Arlington, Tarrant County, Texas for filing and recording with the Tarrant County Clerk's Office.

TRIMARSH REALTY, LLC

By: Boaz Avnery, Manager

STATE OF TEXAS  
COUNTY OF TARRANT

BEFORE ME, the undersigned authority, on this day personally appeared BOAZ AVNER of TRIMARSH REALTY, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the \_\_\_\_\_ day of \_\_\_\_\_ 2015.

Notary Public in and for the State of Texas

My commission expires: \_\_\_\_\_

**REPLAT**  
**J.W. LANE ADDITION**  
**LOTS 14R1, 14R2, 14R3, 14R4,**  
**14R5, 14R6, AND 14R7, BLOCK 1**  
BEING A REVISION OF LOT 14, J.W. LANE ADDITION, AN ADDITION TO THE CITY OF ARLINGTON TARRANT COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 388-186, PAGE 12, OF THE PLAT RECORDS OF TARRANT COUNTY, TEXAS

JANUARY 2015 / 7 LOTS

PLAT FILED AS INST. NO. D \_\_\_\_\_, DATE \_\_\_\_\_

# Staff Report



<b>Zoning Case PD14-19 (Woody's Backyard)</b>	
Planning and Zoning Meeting Date: 3-4-15	Document Being Considered: Ordinance

## **RECOMMENDATION**

Following the public hearing, consider Zoning Case PD14-19, with a Development Plan.

## **PRIOR BOARD OR COUNCIL ACTION**

On February 4, 2015, the Planning and Zoning Commission continued the public hearing to the March 4, 2015 meeting.

## **ANALYSIS**

### **Request**

The applicant requests to change the zoning on approximately 0.678 acres addressed at 309 West Front Street, and generally located north of West Front Street and east of North West Street.

Current zoning: Downtown Business (DB)

Requested zoning: Planned Development (PD) for Downtown Business (DB) uses, with a Development Plan

### **Existing Site Conditions**

The subject site is composed of three undeveloped lots. There are several large Elm and Pecan trees on site, many of which are being proposed to be preserved by the applicant. There are also several Hackberry trees, which will be removed from the site upon development.

### **Adjacent Land Uses**

The subject site is surrounded by properties zoned for Light Industrial (LI) uses with a Downtown Neighborhood Overlay (DNO) to the north and Downtown Business (DB) uses to the south, east, and west. The uses include a building materials store/warehouse to the north, a City maintenance facility to the south, warehouse uses to the east and a telecommunications office to the west.

### **Proposed Development Plan**

The applicant proposes to construct a bar and grill on the subject site. The applicant contends that the bar and grill will feature a backyard casual feel with a stage, stacked stone fireplace, treehouse, and lighted trees for an eclectic casual dining atmosphere with visual stimulation. The facility will feature indoor/outdoor seating, including a patio that is approximately 3,300-square-feet and a front porch seating area that will include glass-panel overhead doors. The treehouse will overlook the performance stage and provide specialty cocktails. Heat lamps and the fireplace will allow patrons to enjoy the patio setting year-round. There will also be a hammock for a truly outdoor/relaxation feel.

The building will feature a rustic contemporary architectural style with the use of cedar cladding, glass, and brick. The applicant also proposes to incorporate environmentally friendly items such as rainwater harvesting. There are 28 on-site parking spaces being provided as well as eight on-street parking spaces adjacent to the subject site. The DB zoning district allows a parking reduction for uses to have one-third of the required parking standard. The proposed bar along with the outdoor seating area (amounting to 6,223 sq ft)

would require 87 parking spaces; however, in the DB district, it is reduced to 29 spaces. The applicant is also providing the requisite amount of bicycle parking required by placing a bicycle rack near one of the main entrances located on West Front Street. Because the access point from West Street is via an unimproved 12-foot alley, the applicant proposes to pave and maintain the alley from West Street to Oak Street.

The proposed planned development requests the following deviations from the Unified Development Code (UDC):

1. Location of Bar.

A bar is an allowable use in DB zoning with the following three conditions:

- (a) No entrance or exit (other than an exit used only for emergencies) shall be located within 500 feet of an RE, RS-20, RS-15, RS-7.2, RS-5, or RM-12 district;
- (b) The measurement shall be taken in straight lines along building faces from the nearest point of the door to the residential district to the nearest boundary of said district; and
- (c) Access to the lot on which the use is located must be from an arterial or major collector street as identified in the Thoroughfare Development Plan.

Deviation:

The request complies with conditions (a) and (b). However, since all three streets abutting this property (North West Street, North Oak Street, and West Front Street) are local streets, it does not meet condition (c). Although it is located less than 300 feet from West Division Street, which is an arterial, it does not have direct access from it.

2. Building Materials.

Per the UDC, all exterior walls, including parking structures, garages, and accessory structures shall be finished with 85 percent of an approved material. A maximum of 15 percent of each elevation may include accent materials not listed on the approved material list.

Deviation:

The applicant proposes to use 71 percent of approved building materials per the UDC with the use of materials such as bricks, composite aluminum cladding, and architectural glass. However, the applicant also proposes to use Cedar cladding as 29 percent of its exterior material, which is not one of the approved materials. The applicant wants to use Cedar because it meets the building character for the use proposed and that it is also a sustainable material.

**Landscaping and Screening**

The applicant proposes to use three-inch caliper, 10-foot tall Cedar Elm trees along the street frontage for the site. The applicant also proposes to preserve several large Pecan and Elm trees on the site in compliance with the tree preservation criteria of the UDC. The applicant also proposes to use Texas Sage shrubs to screen the on-site parking as well as Muhly shrubs, Mexican Feather grass, and Red Yucca plants to provide the required landscaping in the 18-foot streetscape and parking lot islands. The applicant proposes to construct a six-foot tall Cedar fence to screen the adjacent property on the northeast section of the subject site.

**Sector Plan**

Previous City plans, including the 1992 Comprehensive Plan, the 1999 Central Sector Plan, the 2004 Downtown Master Plan, and the 2012 Division Street Corridor Strategy, contain goals to enhance downtown with additional amenities for residents and visitors. The Downtown Master Plan specifically calls for encouraging an assortment of specialized retail uses, restaurants, and services that will serve downtown visitors and residents. The Division Street Corridor Strategy recommends encouraging development opportunities that will both help capture market potential and offer something new to Arlington.

The proposed bar is consistent with the strategies in these City plans, as it provides a new use to otherwise vacant land to downtown Arlington and helps create street face enclosure at the site. The proposed use is an additional amenity for downtown, enhancing its status as a destination area for residents and visitors alike.

**FINANCIAL IMPACT**

None

**ADDITIONAL INFORMATION**

Attached:

- i. Case Information
- ii. Itemized Allowable Uses
- iii. Location Map
- iv. Photos
- v. Development Plan (15 pages)

Under separate cover:

None

Available in the City Secretary's office:

None

**CITY COUNCIL DATE**

April 14, 2015

**STAFF CONTACTS**

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Community Development and Planning  
817-459-6670  
[Nathaniel.Barnett@arlingtontx.gov](mailto:Nathaniel.Barnett@arlingtontx.gov)

# Case Information



**Applicant:** Level 5 Design Group represented by Justin Gilmore, AIA

**Property Owner:** 309 West Front, LLC

**Sector Plan:** Central

**Council District:** 5

**Allowable Uses:** All uses as itemized in attachment ii.

**Development History:** The subject site is currently platted as Lots 1, 3 and 6, Block 40 of the Original Town of Arlington.

No previous zoning cases have occurred in the general vicinity within the past five years.

**Transportation:** The proposed development has two points of access. One point of access is from North West Street and the other is from North Oak Street.

Thoroughfare	Existing	Proposed
North West Street	70-foot, 2-lane undivided Local road	70-foot, 2-lane undivided Local road
North Oak Street	70-foot, 2-lane undivided Local road	70-foot, 2-lane undivided Local road

**Traffic Impact:** The proposed zoning change in zoning will increase the average p.m. peak hour trips by 96 trips during p.m. peak hour. The additional trips will not significantly impact the adjacent roadway systems

**Water & Sewer:** Sanitary sewer is available to this site along West Front Street. Water is not available to this site, and will require an extension of public infrastructure.

**Drainage:** This site is located in the Johnson Creek drainage basin. This site has no portion within the FEMA floodplain. No significant drainage impacts are expected to result from development of this site as long as all relevant city ordinances are complied with.

**Fire:** Fire Station Number 1, located at 401 West Main Street, provides protection to this site. The estimated fire response time is less than five minutes, which is in keeping with recommended standards.

# Case Information



**School District:** AISD Independent School District.

The proposed zoning request is located in the Arlington Independent School District and has no impact on the schools serving this site.

**Notices Sent:**

Neighborhood

Associations:

ACTION North  
Arlington Alliance for Responsible Government  
Arlington Chamber of Commerce  
Arlington Neighborhood Council  
East Arlington Renewal  
East Arlington Review  
Far South Arlington Neighborhood Assn  
Forest Hills HOA  
Heart of Arlington Neighborhood Assn  
Northern Arlington Ambience  
Oak Hill Neighborhood  
Stratford Court HOA  
Town North Neighbors  
WeCan (West Citizen Action Network)

Property Owners: 12

Letters of Support: 0

Letter of Opposition: 0

**PLANNING AND ZONING COMMISSION SUMMARY:**

**Public Hearing: February 4, 2015**

Zoning Case PD14-19 (Woody's Backyard – 309 West Front Street

Application to change the zoning on approximately 0.678 acres from Downtown Business (DB) to Planned Development (PD) for Downtown Business (DB) uses, with a Development Plan; generally located north of West Front Street and east of North West Street.

Present in support of this case was Sherry Anderson, 1205 Duncan Court, 46013.

Present in opposition of this case was Jennifer Hurley, 208 North Oak Street, 76011.

This case was continued to the March 4, 2015 public hearing meeting per the applicant's request.

**CONTINUED**

# Itemized Allowable Uses



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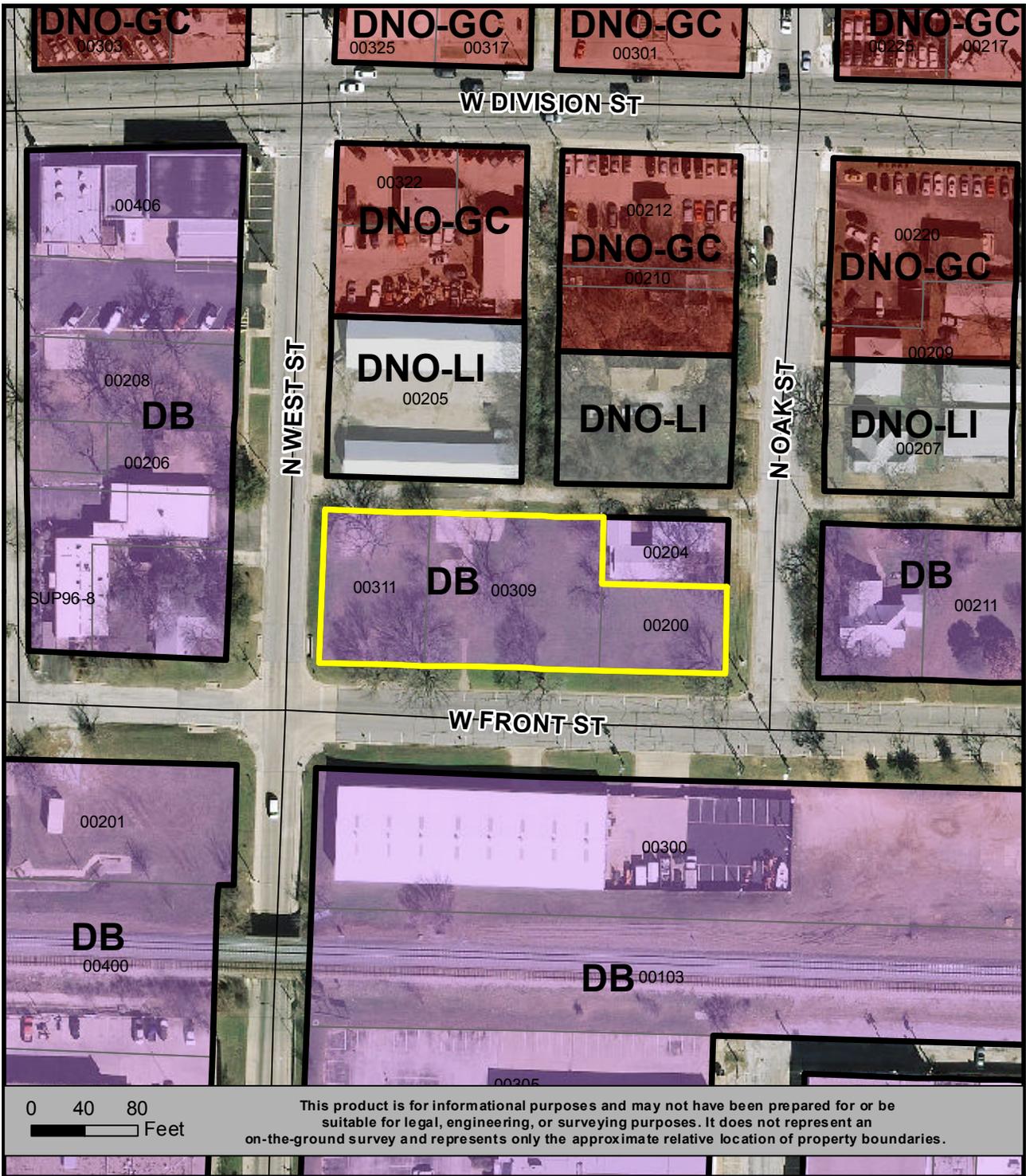
**Allowable Uses: DOWNTOWN BUSINESS**

**Permitted** – Parking, commercial, medical or scientific research lab, swimming pool, spa, and accessory sale and service, church, college, university, or seminary, public or private school, government facility, hospital, mortuary or funeral chapel, philanthropic institution, offices, public park or playground, recreation, outside, Boarding/fraternity/sorority house, or private dorm, bed and breakfast, multi-family, business school, catering service, cleaning laundry, copy center, museum or art gallery, personal household service, second hand goods store, electric utility substations, transit passenger shelter, utility lines, towers, or metering stations, radio or TV station recording studio, accessory caretakers quarters, accessory community center, private, accessory garage apartment, accessory swimming pool, private, sidewalk café, and bar.

**Specific Use Permit (SUP)** - Restaurant drive-through, multi-family, farmer's market, condominium, personal care facility, rowhouse, supervise living facility, townhouse, heliport, and utility installation.

**Special Exception (SE)** – Temporary carnival, circus, or amusement ride.

**Conditions (C)** - Veterinary clinic, auto parts accessory sales and services, gasoline sales, custom and craft work, day care, night club, private club, lodge, or fraternal organization, recreation-inside ,teen club, full service hotel, live work unit, motel, residence hotel/motel, alcohol sales, antique shop, general retail, garden shop or plant sales, open air vending, rental store, restaurant, temporary construction field office, temporary construction storage yard, accessory garage, private, accessory outside display and sales, and customarily incidental use.



**LOCATION MAP  
PD14-19**

 **PD for DB uses  
with a Development Plan  
0.678 ACRES**





**PD14-19**

North of West Front Street and west of North West Street.



View of site from West Front Street.



View east.



View west.



View south.

PLANNED DEVELOPMENT - BAR, GRILL & OUTDOOR DINING VENUE

# WOODY'S BACKYARD

309 W FRONT STREET  
ARLINGTON, TEXAS 76010



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ARCHITECT:  
JUSTIN S. GILMORE  
LEVEL 5 DESIGN GROUP

PROJECT INFORMATION:

BAR, GRILL &  
OUTDOOR  
DINING  
EXPERIENCE

WOODY'S  
BACKYARD

309 W FRONT  
STREET  
ARLINGTON,  
TEXAS 76010

PROJECT NUMBER:

14-19

ISSUE DATE:

PD - MARCH 4, 2015

REVISIONS:

SHEET NAME:

COVERSHEET

SHEET NUMBER:

G001



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fax: 817-274-8757

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LANDSCAPE  
ARCHITECTURE

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SITE TABULATIONS		
IMPERVIOUS SURFACES	18,347 SF	62%
PERVIOUS SURFACES	11,153 SF	38%
TOTAL - .678 ACRES	29,500 SF	100%

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PROJECT INFORMATION:  
**BAR, GRILL & OUTDOOR DINING EXPERIENCE**  
**WOODY'S BACKYARD**  
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 ARLINGTON, TEXAS 76010

PROJECT NUMBER: 14-19  
 ISSUE DATE: PD - MARCH 4, 2015  
 REVISIONS:

SHEET NAME:  
**SITE PLAN**

SHEET NUMBER:  
**A101**

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**1 SITE PLAN**  
 SCALE: 3/32" = 1'-0"

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PROJECT INFORMATION:

**BAR, GRILL & OUTDOOR DINING EXPERIENCE**

**WOODY'S BACKYARD**

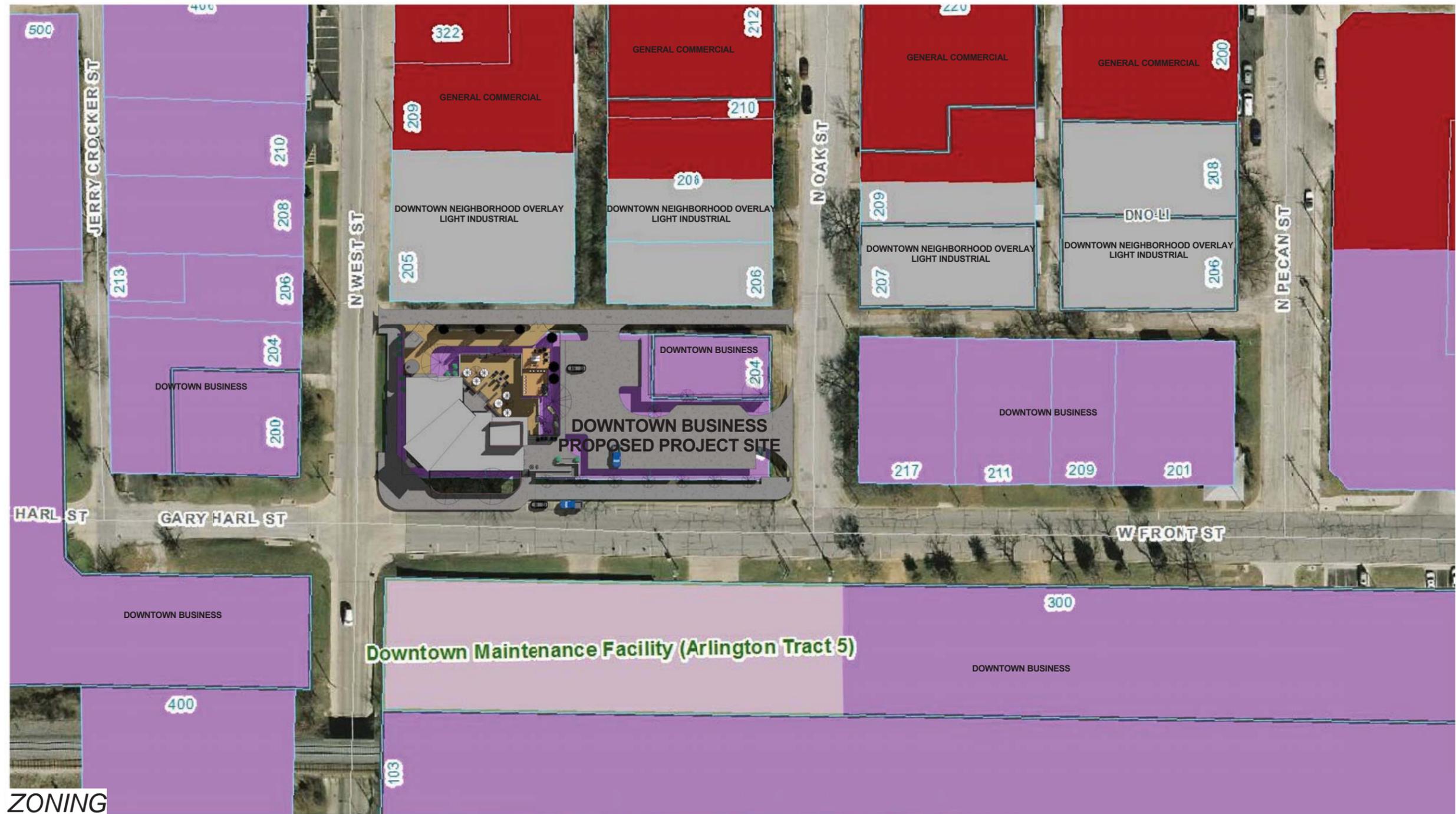
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PROJECT NUMBER: 14-19  
 ISSUE DATE: PD - MARCH 4, 2015  
 REVISIONS:

SHEET NAME:  
**ZONING PLAN**

SHEET NUMBER:  
**A102**

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**Downtown Maintenance Facility (Arlington Tract 5)**

**ZONING PLAN**

1 SCALE: 1" = 40'-0"

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PROJECT INFORMATION:

**BAR, GRILL & OUTDOOR DINING EXPERIENCE**

**WOODY'S BACKYARD**

309 W FRONT STREET  
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PROJECT NUMBER:  
 14-19

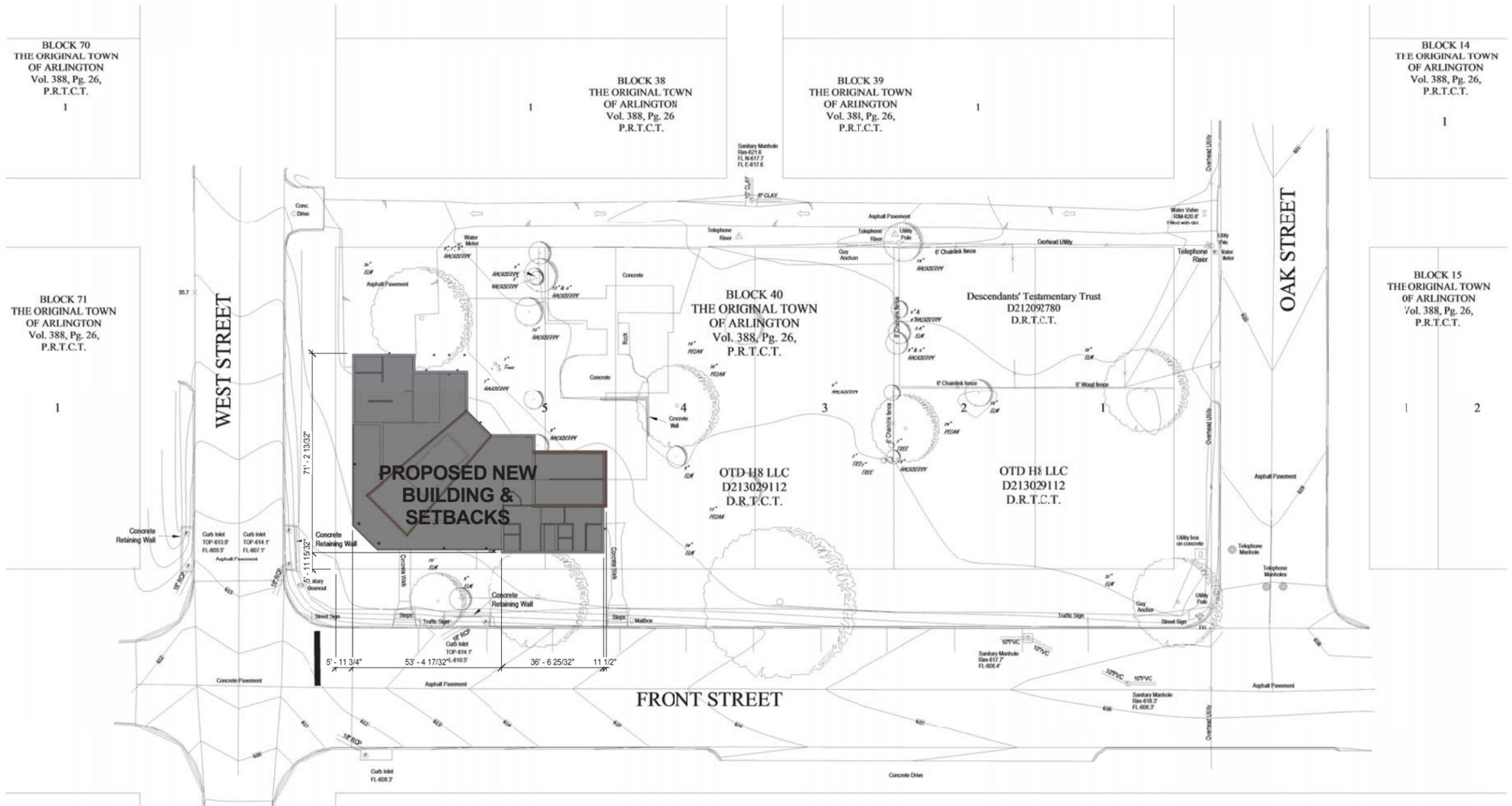
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REVISIONS:

SHEET NAME:  
**EXISTING SITE SURVEY**

SHEET NUMBER:  
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 1 2

OTD H8 LLC  
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 D.R.T.C.T.  
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OTD H8 LLC  
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 D.R.T.C.T.  
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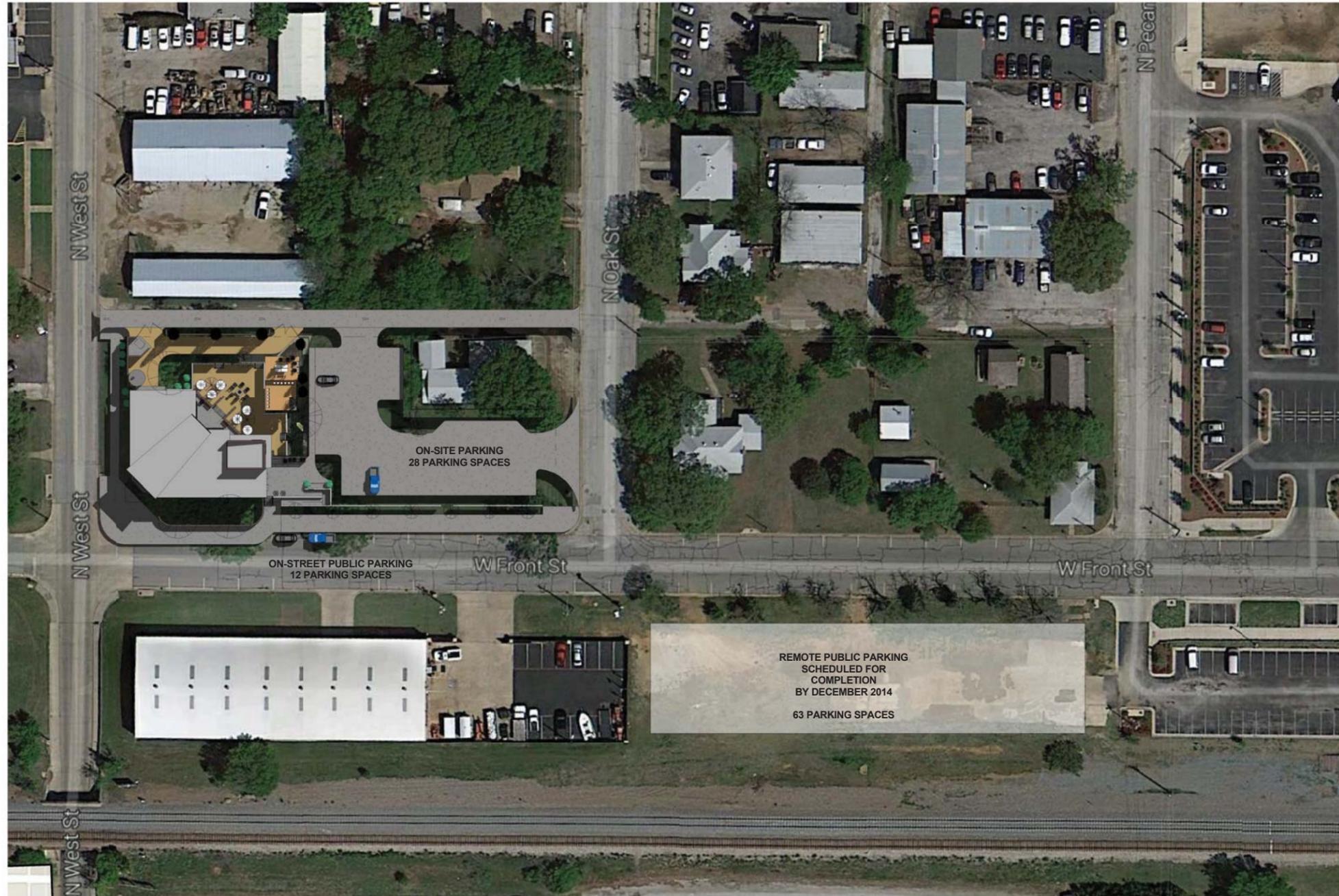
Descendants' Testamentary Trust  
 D212092780  
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BLOCK B  
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 OF ARLINGTON  
 Vol. 388, Pg. 26,  
 P.R.T.C.T.

**EXISTING SITE SURVEY**

SCALE: 1" = 20'-0"



REQUIRED PARKING	
SF OF DINING	6223
REQUIRED PARKING	70
*REQUIRED PARKING (* ADJUSTED)	23
PARKING TABULATION	
ON-SITE PARKING	28
ON STREET PARKING	12
REMOTE PUBLIC PARKING	63
TOTAL PARKING SPACES	103
PARKING NOTES	
* 1/3 PARKING DECREASE FOR "DB" OVERLAY	
1. REMOTE PARKING IS WITHIN 600'-0" OF FRONT DOOR OF RESTAURANT	
2. ALL SPACES ARE 9X18	

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ARCHITECT:  
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PROJECT INFORMATION:

**BAR, GRILL & OUTDOOR DINING EXPERIENCE**

**WOODY'S BACKYARD**

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SHEET NAME:  
**PARKING PLAN**

SHEET NUMBER:  
**A104**

**1** **PARKING PLAN**  
 SCALE: 1" = 40'-0"

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PROJECT NUMBER: 14-19  
 ISSUE DATE: PD - MARCH 4, 2015  
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SHEET NAME:  
**REFERENCE FLOOR PLAN**

SHEET NUMBER:  
**A201**

**1 FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

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**WOODY'S BACKYARD**

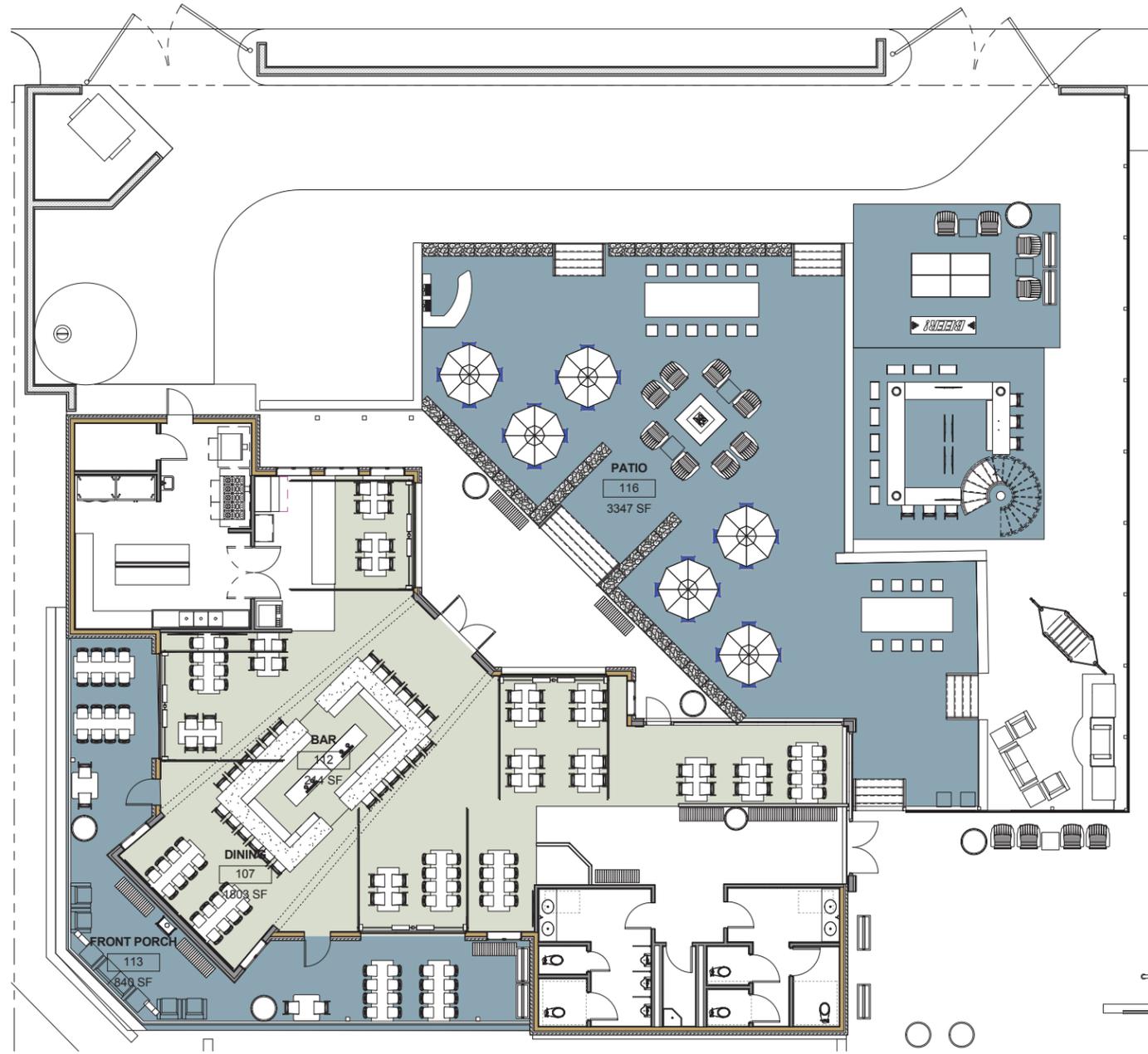
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PROJECT NUMBER: 14-19  
 ISSUE DATE: PD - MARCH 4, 2015  
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SHEET NAME:  
**DINING AREA TABULATION**

SHEET NUMBER:  
**A203**

DINING AREA	
Name	Area
BAR	214 SF
DINING	1803 SF
DINING/SERVICE: INDOOR	2017 SF
FRONT PORCH	840 SF
PATIO	3347 SF
DINING/SERVICE: OUTDOOR	4187 SF



**1** **DINING AREA PLAN**  
 SCALE: 1/8" = 1'-0"

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1 ROOF PLAN   
 SCALE: 1/8" = 1'-0"

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PROJECT NUMBER: 14-19  
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SHEET NAME:  
**ROOF PLAN**

SHEET NUMBER:  
**A205**

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EXTERIOR MATERIAL TABULATION		
EXTERIOR MATERIAL	SF	%
CEDAR CLADDING	1481	29
BRICK OR CMU MASONRY	1384	27
ALUMINUM PANEL SYSTEM GLAZING	654	13
TOTAL	5126	100

DEVIATION FROM DEVELOPMENT CODE

**ROOF PITCH**  
 \*ROOF PITCH REQUIRED 4: 12  
 -ROOF PITCH PROPOSED FOR RAINWATER COLLECTION 1: 12

**EXTERIOR MATERIALS**  
 \*NO WOOD SIDING  
 CEDAR PLANK TONGUE & GROOVE WALL SYSTEM

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PROJECT NUMBER: 14-19  
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SHEET NAME:  
**EXTERIOR ELEVATIONS**

SHEET NUMBER:  
**A401**



**2**  
**SOUTH ELEVATION**  
 SCALE: 1/4" = 1'-0"



**1**  
**EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"

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EXTERIOR MATERIAL TABULATION		
EXTERIOR MATERIAL	SF	%
CEDAR CLADDING	1481	29
BRICK OR CMU MASONRY	1384	27
ALUMINUM PANEL SYSTEM	654	13
SYSTEM GLAZING	1597	31
TOTAL	5126	100

DEVIATION FROM DEVELOPMENT CODE

**ROOF PITCH**  
 \*ROOF PITCH REQUIRED 4: 12  
 \*ROOF PITCH PROPOSED FOR RAINWATER COLLECTION 1: 12

**EXTERIOR MATERIALS**  
 \*NO WOOD SIDING  
 CEDAR PLANK TONGUE & GROOVE WALL SYSTEM

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PROJECT NUMBER: 14-19  
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SHEET NAME:  
**EXTERIOR ELEVATIONS**

SHEET NUMBER:  
**A402**

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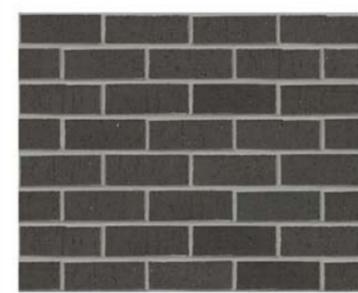
**2** NORTH ELEVATION  
 SCALE: 1/4" = 1'-0"



**1** WEST ELEVATION  
 SCALE: 1/4" = 1'-0"



**2**  
**NORTHEAST ELEVATION**  
 SCALE: 1/4" = 1'-0"



PROPOSED BRICK MASONRY



PROPOSED CEDAR CLADDING



PROPOSED CEDAR FENCING



PROPOSED MASONRY FENCING



PROPOSED CONCRETE RETAINING WALL



**1**  
**SOUTHWEST ELEVATION**  
 SCALE: 1/4" = 1'-0"

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PROJECT NUMBER: 14-19  
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SHEET NAME:  
**EXTERIOR ELEVATIONS**

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**SERVER  
STATION**

2

SCALE:



**1ST LEVEL  
DINING AREA**

1

SCALE:



**FRONT  
ENTRY**

4

SCALE:



**BAR VIEW**

3

SCALE:

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ARCHITECT:  
JUSTIN S. GILMORE  
LEVEL 5 DESIGN GROUP

PROJECT INFORMATION:

**BAR, GRILL &  
OUTDOOR  
DINING  
EXPERIENCE**

**WOODY'S  
BACKYARD**

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SHEET NAME:

**INTERIOR  
PERSPECTIVES**

SHEET NUMBER:

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FROM  
TREEHOUSE

3

SCALE:



VIEW FROM  
DRIVE

2

SCALE:



EXTERIOR  
ENTRY

4

SCALE:



UPPER  
LANDING

1

SCALE:

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DINING  
EXPERIENCE

WOODY'S  
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PROJECT NUMBER:  
14-19  
ISSUE DATE:  
PD - MARCH 4, 2015  
REVISIONS:

SHEET NAME:

SITE  
PERSPECTIVES

SHEET NUMBER:

**A405**

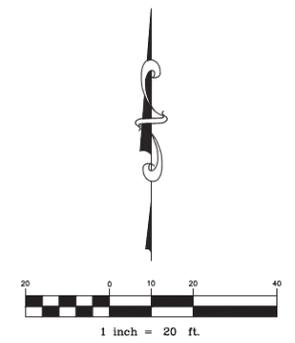
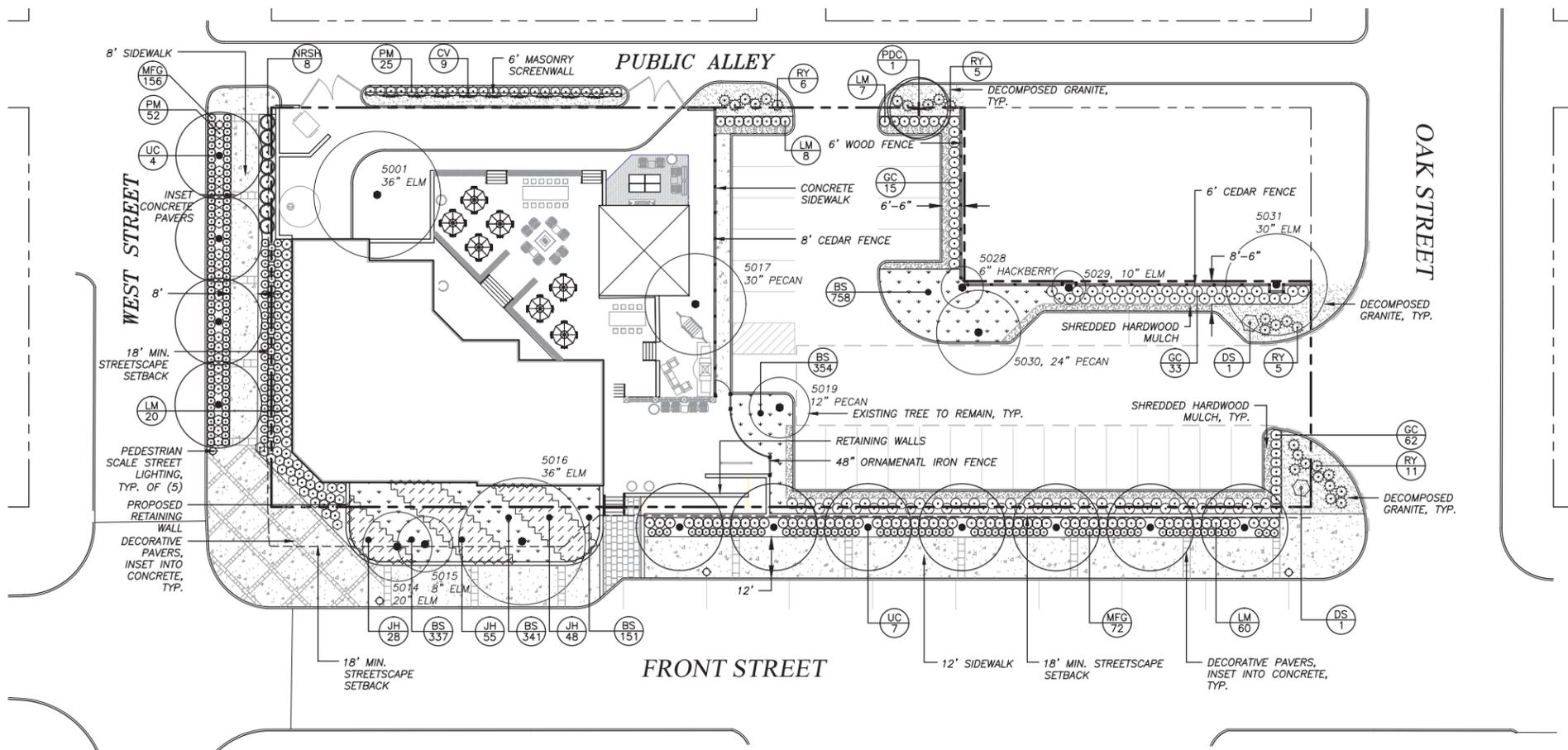
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PLANT LEGEND						
TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	UC	11	CEDAR ELM / ULMUS CRASSIFOLIA	B & B OR CONTAINER	4" CAL.	10' MIN. HT., 8' MIN. SPREAD
	PDC	1	PINK DAWN CHITALPA / X CHITALPA TASHKENTENSIS 'PINK DAWN'	B & B OR CONTAINER	4" CAL.	10' MIN. HT., 8' MIN. SPREAD
SHRUBS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	CV	9	CROSS VINE / BIGNONIA CAPREOLATA	5 GAL.		
	DS	2	DESERT SPOON / DASYLIRION WHEELERI	2 GAL.		
	GC	110	GREEN CLOUD TEXAS SAGE / 'GREEN CLOUD' TM	5 GAL.		
	LM	95	LINDHEIMER'S MUHLY / MUHLENBERGIA LINDHEIMERI	3 GAL.		
	MFG	228	MEXICAN FEATHER GRASS / NASSELLA TENUISSIMA	1 GAL.		
	NRSH	8	NELLIE R. STEVENS HOLLY / ILEX X 'NELLIE R. STEVENS'	5 GAL.		
	PM	77	PINK MUHLY / MUHLENBERGIA CAPILLARIS	2 GAL.		
	RY	27	RED YUCCA / HESPERALOE PARVIFLORA	3 GAL.		
SHRUB AREAS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	JH	131	ANDORRA JUNIPER / JUNIPERUS HORIZONTALIS 'COMPACTA'	2GAL		
GROUND COVERS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	BS	1,941	BERKELEY SEDGE / CAREX TUMULICOLA	4" POTS		

LANDSCAPE DATA		
ELEMENT	REQUIRED	PROVIDED
STREET TREES	FRONT STREET: 300" FRONTAGE = 300/30 = (10), 3" CAL. TREES REQUIRED WEST STREET: 115' FRONTAGE 115/30 = (4), 3" CAL. TREES REQUIRED MINIMUM SIZE: 3" CALIPER, 10' HEIGHT SPACING: MINIMUM 25', MAXIMUM 30'	FRONT ST. (7) NEW, 4" CALIPER TREES AND (3) EXISTING TREES WEST ST. (4) NEW, 4" CALIPER TREES MINIMUM SIZE: 4" CALIPER, 10' HEIGHT SPACING: MINIMUM 24.4', MAXIMUM 27.2'
STREETSCAPE SETBACK	MINIMUM 18' STREETSCAPE SETBACK FROM BACK OF CURB	MINIMUM 18' STREETSCAPE SETBACK FROM BACK OF CURB
STREETSCAPE SIDEWALK	STREETSCAPE SHALL INCLUDE MINIMUM 10' WIDE SIDEWALK	12' SIDEWALK ON FRONT STREET 8' SIDEWALK ON WEST STREET
STREETSCAPE PLANTING STRIP	STREETSCAPE SHALL INCLUDE MINIMUM 8' WIDE STRIP FOR STREET TREES OR PLANTERS	FRONT STREET: 5.7' PLANTING STRIP WEST STREET: 6.5' AND 6.6' PLANTING STRIPS = 13.3' TOTAL
PARKING REQUIREMENT	PER DOWNTOWN BUSINESS (DB) REGS, 27 SPACES ARE REQUIRED (SEE SITE PLAN FOR DETAILED DATA)	28 ON SITE SPACES PROVIDED
PARKING LOT TREES	ONE (1), 3" CAL. TREE PER 10 PARKING SPACES PROVIDED. PARKING SPACES PROVIDED: 28 PARKING LOT TREES REQUIRED: 1 PER 10 SPACES = (3) PARKING LOT TREES REQ'D	(3) PARKING LOT TREES, (2) EXISTING AND (1) PROPOSED

**PLANT MATERIAL NOTES:**

1. ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS, MATCHING CHARACTER, AND FULL BRANCHING STRUCTURE.
2. ALL SHRUBS TO BE FULL AND UNIFORM BY SPECIES WITH MATCHING CHARACTER AND BRANCHING STRUCTURE.
3. EACH PLANT VARIETY MUST COME FROM A SINGLE SOURCE SUPPLIER IN ORDER TO MAINTAIN A CONSISTENT APPEARANCE.
4. ALL B&B TREES MUST BE OF NURSERY STOCK CONDITION.
5. ALL CONTAINER GROWN MATERIAL MUST BE OF NURSERY STOCK CONDITIONS, WITH A WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER, TO MAINTAIN A FIRM BALL WHEN THE CONTAINER IS REMOVED, BUT SHALL NOT HAVE EXCESSIVE ROOT GROWTH ENCIRCLING THE INSIDE OF THE CONTAINER.
6. ALL PLANT MATERIAL SHALL COMPLY WITH THE MINIMUM REQUIREMENTS AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN, TEXAS ASSOCIATION OF NURSERYMEN STANDARDS AND/OR AS STATED IN THE PLANT SCHEDULE, WHICHEVER IS MORE STRINGENT.



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PROJECT INFORMATION:  
**BAR, GRILL, & OUTDOOR DINING EXPERIENCE**  
  
**WOODY'S BACKYARD**  
  
309 W FRONT STREET  
ARLINGTON, TEXAS

PROJECT NUMBER: 2756-00-01  
ISSUE DATE: FEBRUARY 27, 2015  
REVISIONS:

SHEET NAME:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**L1.01**

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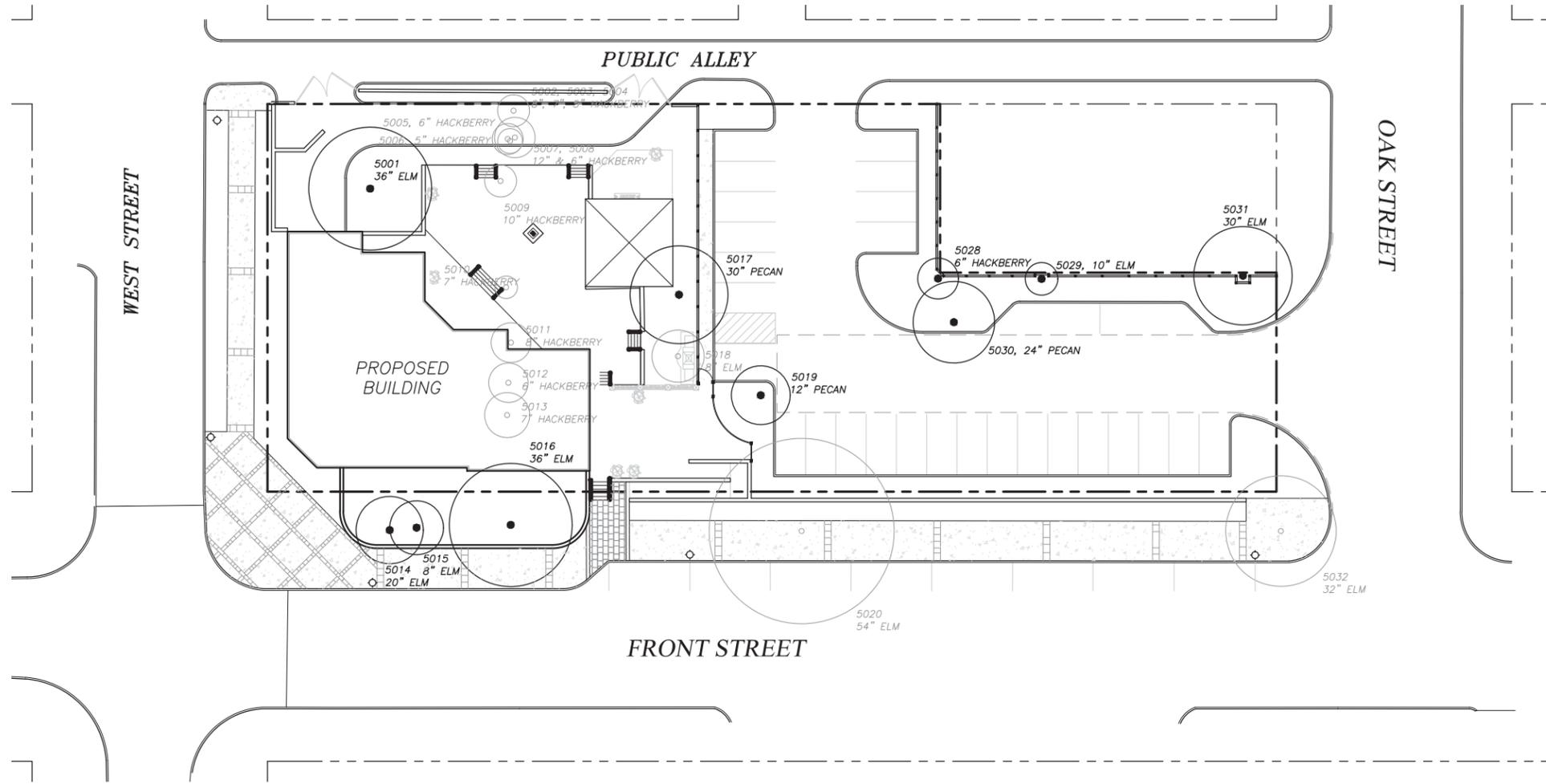
PROJECT INFORMATION:  
**BAR, GRILL, & OUTDOOR DINING EXPERIENCE**  
**WOODY'S BACKYARD**  
 309 W FRONT STREET  
 ARLINGTON, TEXAS

PROJECT NUMBER:  
2756-00-01  
 ISSUE DATE:  
FEBRUARY 27, 2015  
 REVISIONS:

SHEET NAME:  
**TREE MITIGATION PLAN**

SHEET NUMBER:  
**TM1.01**

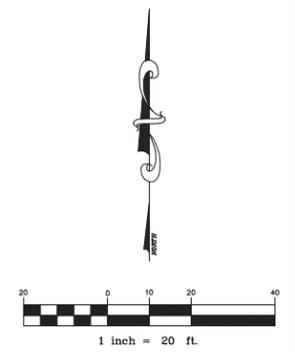
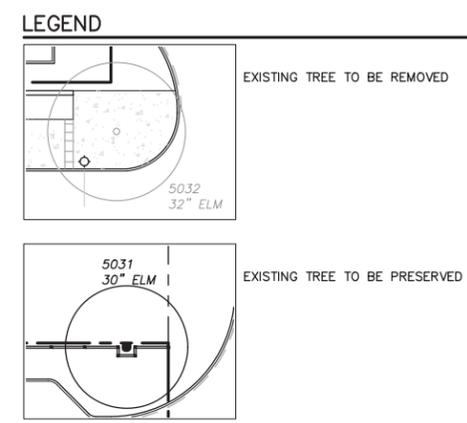
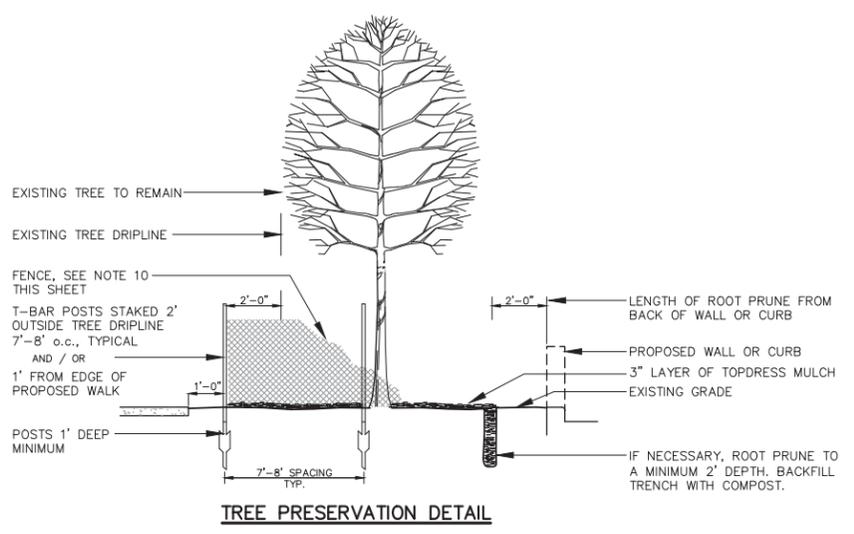
TREE MITIGATION DATA					
TAG #	SPECIES	CALIPER INCHES	PROTECTED INCHES TO BE PRESERVED (POSITIVE POINTS)	BONUS POINTS FOR NATIVE SPECIES	PROTECTED INCHES TO BE REMOVED (NEGATIVE TREE POINTS)
5001	ELM	36	36	18	
5002	HACKBERRY	8	NOT PROTECTED		
5003	HACKBERRY	7	NOT PROTECTED		
5004	HACKBERRY	5	NOT PROTECTED		
5005	HACKBERRY	6	NOT PROTECTED		
5006	HACKBERRY	5	NOT PROTECTED		
5007	HACKBERRY	12	NOT PROTECTED		
5009	HACKBERRY	6	NOT PROTECTED		
5010	HACKBERRY	10	NOT PROTECTED		
5011	HACKBERRY	7	NOT PROTECTED		
5012	HACKBERRY	8	NOT PROTECTED		
5013	HACKBERRY	6	NOT PROTECTED		
5014	ELM	20	20	10	
5015	ELM	8	8	4	
5016	ELM	36	36	18	
5017	PECAN	30	30	15	
5018	ELM	8			8
5019	PECAN	12	12	6	
5020	ELM	54	NOT PROTECTED - CONDITION		
5021	HACKBERRY	21	OFF SITE		
5022	HACKBERRY	6	OFF SITE		
5023	HACKBERRY	4	OFF SITE		
5024	ELM	8	OFF SITE		
5025	ELM	8	OFF SITE		
5026	HACKBERRY	8	OFF SITE		
5027	HACKBERRY	6	OFF SITE		
5028	HACKBERRY	6	NOT PROTECTED		
5029	ELM	10	10	5	
5030	PECAN	24	24	12	
5031	ELM	30	30	15	
5032	ELM	32			32
TOTALS:			206	103	60
NEGATIVE TREE POINT TOTAL			-60		
POSITIVE TREE POINT FROM PRESERVED TREES			+309		
POSITIVE TREE POINTS FROM PROPOSED TREES			+44		
TREE POINT TOTAL			+293		



PROPOSED TREES							
TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE	TREE POINTS
○	UC	11	CEDAR ELM / ULMUS CRASSIFOLIA	B & B OR CONTAINER	4" CAL.	10' MIN. HT., 8' MIN. SPREAD	44
+	PDC	1	PINK DAWN CHITALPA / X CHITALPA TASHKENTENSIS 'PINK DAWN'	B & B OR CONTAINER	4" CAL.	10' MIN. HT., 8' MIN. SPREAD	4
TREE POINT TOTAL FROM PROPOSED TREES							48 POINTS

**TREE PRESERVATION NOTES:**

- EXISTING TREES TO REMAIN SHALL BE PRESERVED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND TREE DRIPLINE (CANOPY).
- IF ANY PART OF THE ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION AND/OR CONSTRUCTION ACTIVITY, NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY. IF A MAJOR ROOT OR GROUP OF ROOTS IS ENCOUNTERED DURING EXCAVATION, A CERTIFIED ARBORIST SHALL BE CONSULTED/SECURED FOR RECOMMENDATIONS CONCERNING PRUNING AND/OR BRIDGING THE ROOTS (ETC.)
- GRADES/ELEVATIONS UNDER EXISTING TREES SHALL REMAIN UNDISTURBED. DO NOT PLACE FILL MATERIAL UNDER THE DRIPLINE FOR ANY LENGTH OF TIME. MAKE SURE THE CHANGES IN ADJACENT GRADES HAVE PROVISIONS TO CARRY MOISTURE AWAY FROM THE TREE.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE TREE DRIPLINE.
- TOXIC SOLUTIONS OR OTHER LIQUID CHEMICALS SHALL NOT BE DEPOSITED NEAR OR WITHIN THE LIMITS OF A TREE DRIPLINE. THIS WOULD INCLUDE, BUT NOT BE LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS, OTHER THAN THOSE OR A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT, TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE TREE DRIPLINE. NO VEHICLE AND/OR CONSTRUCTION EQUIPMENT SHOULD BE CLEANED NEAR A TREE.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PRESERVED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE AT A MINIMUM DEPTH OF THIRTY-SIX INCHES (36 IN.).
- THE UTILITY AND IRRIGATION CONTRACTOR SHALL EXERCISE CAUTION WHEN TRENCHING AROUND EXISTING TREES. HAND-DIG ALL TRENCHES WITHIN THE TREE DRIPLINE.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR FOOT (4') APPROXIMATE HEIGHT. THE PROTECTIVE FENCING WILL BE LOCATED AS INDICATED ON THE LANDSCAPE PLANS(S) TREE PRESERVATION DETAIL.



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