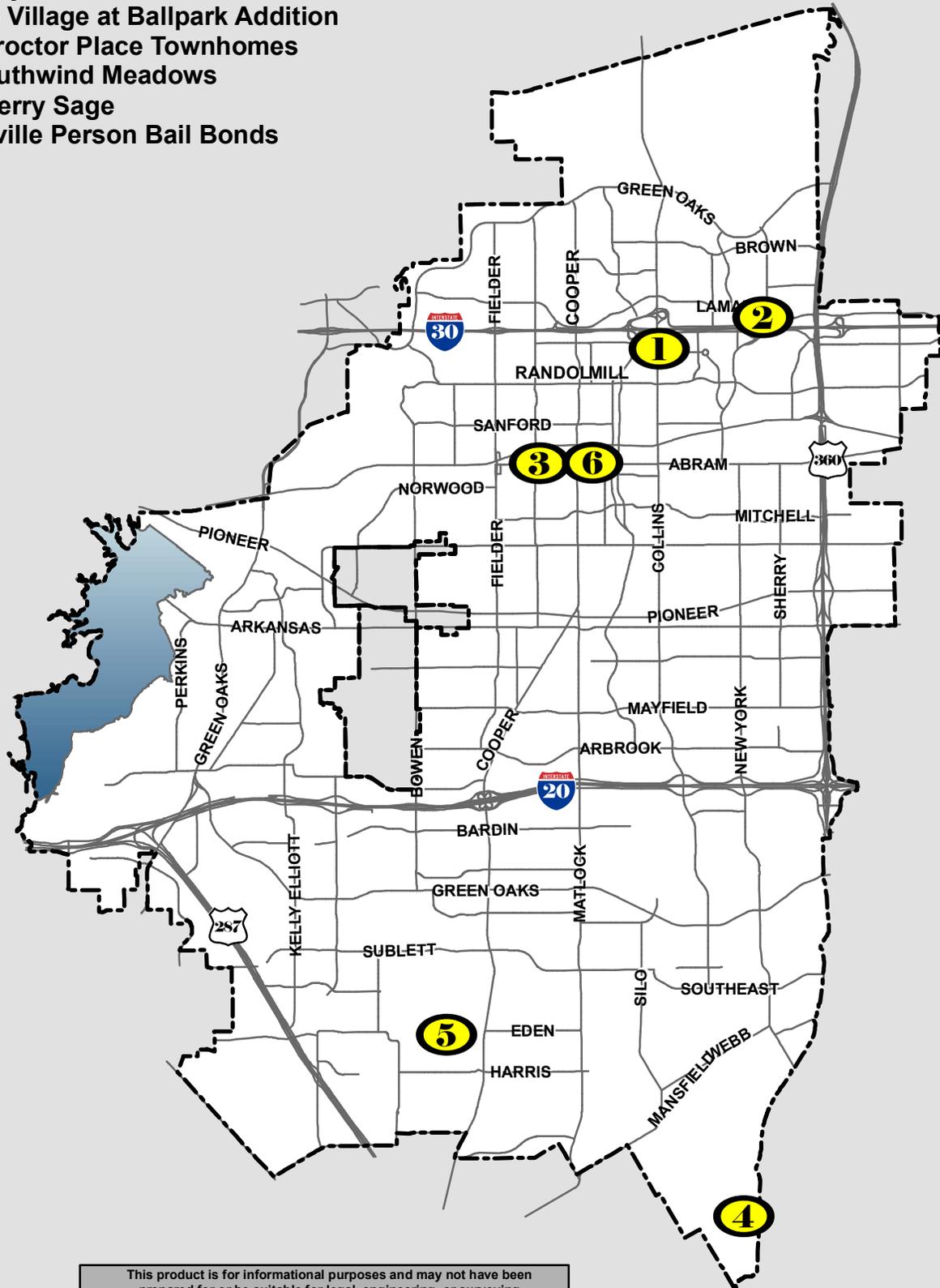


PLANNING & ZONING

May 20, 2015



1. Replat - Dalby Acres Addition
2. Replat - The Village at Ballpark Addition
3. PD14-20 - Proctor Place Townhomes
4. PD15-1 - Southwind Meadows
5. PD15-4 - Cherry Sage
6. PD15-3 - Orville Person Bail Bonds



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





AGENDA

**PLANNING AND ZONING COMMISSION
WORK SESSION**

**Council Briefing Room
101 WEST ABRAM STREET**

**MAY 20, 2015
3:30 P.M.**

I. CALL TO ORDER

II. DISCUSSION OF REGULAR SESSION AGENDA ITEMS

III. DISCUSSION OF FUTURE MEETING DATES AND TIMES

- (a) Planning and Zoning Commission Two-Hour Bus Tour – May 29, 2015
- (b) Planning and Zoning Commission Meeting on June 3, 2015

IV. ADJOURN

NOTE: City Hall is wheelchair accessible. For other accommodations or sign interpretive services, please call the Strategic Planning Division at 817-459-6667 not later than 24 hours in advance.



AGENDA

**Planning and Zoning Commission
Regular Session**

**Council Chamber
101 West Abram Street**

**MAY 20, 2015
5:30 P.M.**

Meeting order is subject to change per the Commission's Discretion

I. CALL TO ORDER

II. PLEDGE

III. APPROVAL OF MINUTES

- A. Minutes of May 6, 2015 P&Z Meeting

IV. PLAT CONSENT AGENDA AND PUBLIC HEARING FOR PLATS

- A. Replat - Dalby Acres Addition, Lots 1R2 and 4R2; Zoned Entertainment District Overlay Community Commercial (EDO-CC) generally located north of Skyline Drive and east of North Collins Street with the approximate addresses being 1505 North Collins Street, 911 and 915 Skyline Street.
- B. Replat - The Village at Ballpark Addition, Lot 3R1, Zoned Entertainment District Overlay-Community Commercial (EDO-CC); generally located south of East Lamar Boulevard and east of Ballpark Way with the approximate address being 2140 East Lamar Boulevard.

NOTE: City Hall is wheelchair accessible. For other accommodations or sign interpretive services, please call the Strategic Planning Division at 817-459-6652 not later than 24 hours in advance.

V. PUBLIC HEARING FOR ZONING CASES

- A. Zoning Case PD14-20
(Proctor Place Townhomes – 901 West Abram Street)

Application to change the zoning on approximately 0.447 acres from Downtown Neighborhood Overlay – Planned Development (DNO-PD) for General Commercial (GC) uses limited to a private parking lot, with a Concept Brief to Downtown Neighborhood Overlay – Planned Development (PD) for Residential Multi-family – 22 (RMF-22) uses, with a Development Plan; generally located north of West Abram Street and west of Proctor Place.

- B. Zoning Case PD15-1
(Southwind Meadows - 944, 1000, 1010, 1020, and 1030 Ragland Road)

Application to change the zoning on approximately 48.2 acres from Planned Development (PD) for Residential Single Family – 5 (RS-5), Office Commercial (OC), and Community Commercial (CC) uses, with a Development Plan to Planned Development (PD) for Residential Single Family – 5 (RS-5) and limited Community Commercial (CC) uses, with a Development Plan.

- C. Zoning Case PD15-4
(Cherry Sage - 2300 Cherry Sage Drive)

Application to change the zoning on approximately 0.470 acres from Planned Development – Commercial Adjacency (PD-CA) for Residential Single Family – 15 (RS-15) uses, with a Development Plan to Planned Development (PD) for Residential Single Family – 7.2 (RS-7.2) uses, with a Development Plan; generally located north of Eden Road and west of Fox Glen Drive.

- D. Zoning Case PD15-3
(Orville Person Bail Bonds – 622 West Main Street, Suite 109)

Application to change the zoning on approximately 0.319 acres from Downtown Business (DB) to Planned Development (PD) for Downtown Business (DB) uses plus a Bail Bond Service in Suite 109, with a Development Plan; generally located south of Main Street and east of South Cooper Street.

VI. MISCELLANEOUS

- A. Reports from Boards/Commissions Liaisons
- B. Reports from Staff and Announcements
- C. Discussion of Future Meeting Dates and Times

VII. ADJOURN



AGENDA

Planning and Zoning Commission

Monthly Bus Tour

**May 29, 2015
8:00 A.M.**

8:00 a.m. Planning and Zoning Commission Two-Hour Bus Tour of various metroplex developments.

A quorum of the Commission may be present. No formal action will be taken.

Staff Report



Replat (Dalby Acres Addition, Lot 1R3)

Planning and Zoning Meeting Date: 5-20-15

Document Being Considered: Plat

RECOMMENDATION

Consider replat on the consent agenda.

PRIOR BOARD OR COUNCIL ACTION

On May 6, 2015, the Planning and Zoning Commission recommended approval of SUP15-1 by a vote of 7-0-0.

ANALYSIS

The applicant, Berger Engineering, LLC., proposes to combine Lots 1R2 and 4R2 in the Dalby Acres Addition, approximately 1.8073 acres in size, to create one lot: Lot 1R3. The subject property is currently occupied by a Chick-fil-A restaurant on Lot 1R2 and a commercial building on Lot 4R2. Chick-fil-A proposes to demolish both buildings and develop the newly created lot with a new larger Chick-fil-A restaurant.

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the subdivision regulations.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Property Location: Generally located north of Skyline Drive and east of North Collins Street with the approximate addresses being 1505 North Collins Street, 911 and 915 Skyline Street.

Council District: 1

Current Zoning: Entertainment District Overlay-Community Commercial (EDO-CC)

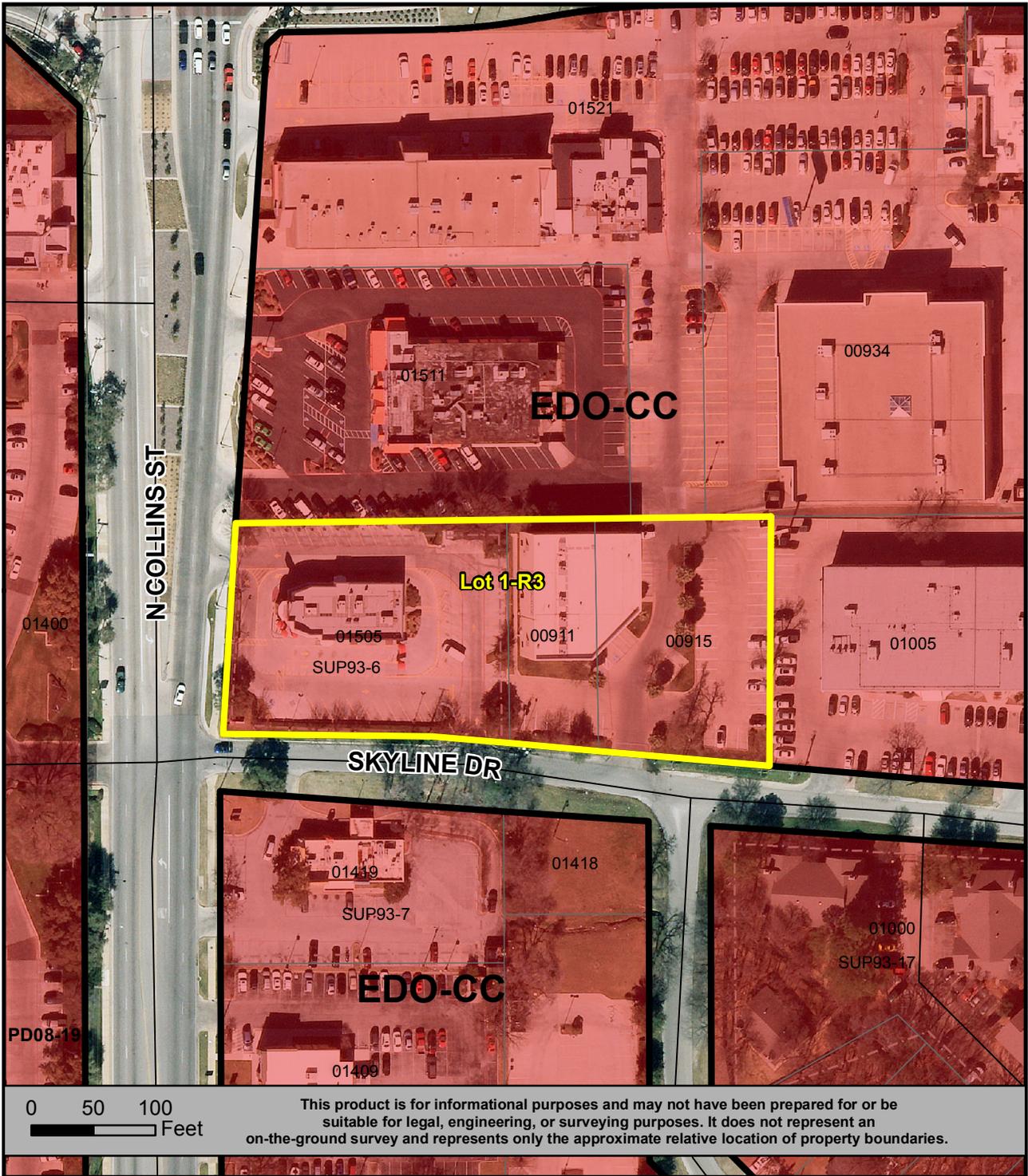
ATTACHED

- i. Location Map
- ii. 11 x 17 Plat

STAFF CONTACT(S)

Gincy Thoppil, AICP
Development Planning Manager
Community Development and Planning
817-459-6662
Gincy.Thoppil@arlingtontx.gov

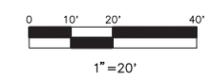
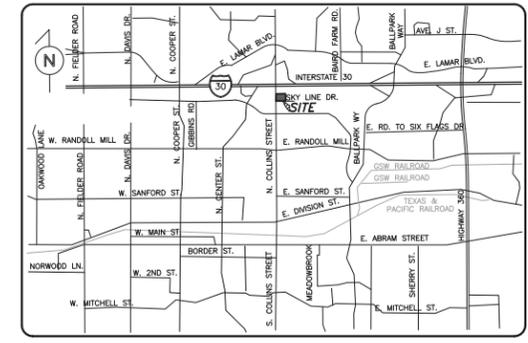
Jennifer Pruitt, AICP, LEED AP
Principal Planner
Community Development and Planning
817-459-6138
Jennifer.Pruitt@arlingtontx.gov



LOCATION MAP

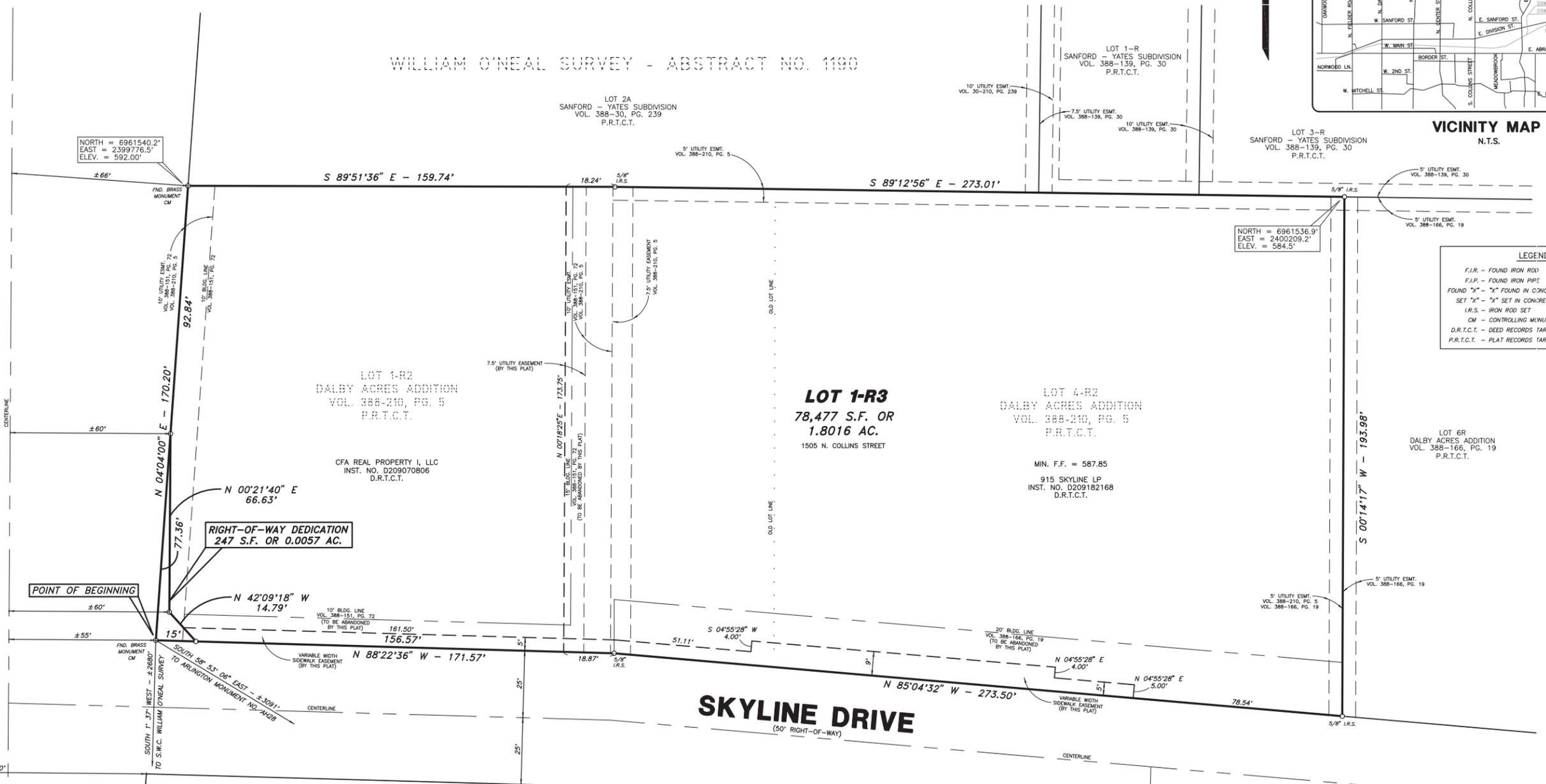
**DALBY ACRES ADDITION
REPLAT**





WILLIAM O'NEAL SURVEY - ABSTRACT NO. 1190

NORTH COLLINS STREET (F.M. 1571)
(VARIABLE WIDTH RIGHT-OF-WAY)



LEGEND

- F.I.R. - FOUND IRON ROD
- F.I.P. - FOUND IRON PIPE
- FOUND "X" - "X" FOUND IN CONCRETE
- SET "X" - "X" SET IN CONCRETE
- I.R.S. - IRON ROD SET
- CM - CONTROLLING MONUMENT
- D.R.T.C.T. - DEED RECORDS TARRANT COUNTY TEXAS
- P.R.T.C.T. - PLAT RECORDS TARRANT COUNTY TEXAS

LOT 382-A
R.W. BAGAN ADDITION
INST. NO. D212009079
P.R.T.C.T.

- NOTES:**
1. THE PURPOSE OF THIS PLAT IS TO COMBINE LOT 1-R2 & 4-R2 INTO 1 LOT.
 2. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW, AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
 3. BEARINGS SHOWN HEREON ARE BASED UPON THE AMENDED PLAT FOR LOTS 1-R2 & 4-R2, DALBY ACRES ADDITION RECORDED IN VOLUME 388-210 PAGE 5 OF THE PLAT RECORDS OF TARRANT COUNTY, TEXAS.
 4. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY - FEDERAL INSURANCE ADMINISTRATION - NATIONAL FLOOD INSURANCE PROGRAM - FLOOD INSURANCE RATE MAP - F.I.R.M. - FOR TARRANT COUNTY TEXAS & INCORPORATED AREAS, COMMUNITY PANEL NO. 48439C0240 K, MAP REVISED SEPTEMBER 25, 2009, THE PROPERTY SHOWN HEREON LIES WITHIN ZONE "X" (OTHER AREAS).
 5. 5/8" IRON RODS SET AT ALL LOT CORNERS UNLESS OTHERWISE NOTED.

ENGINEER:
BURGER ENGINEERING, LLC
17103 PRESTON ROAD, SUITE 180N
DALLAS, TEXAS 75248
(972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.

SURVEYOR:
BLUE SKY SURVEYING & MAPPING CORPORATION
TBPLS REG. #10105700
11015 MIDWAY ROAD
DALLAS, TEXAS 75229
(214) 358-4500
CONTACT: DAVID R. PETREE, R.P.L.S.

OWNER LOT 1-R2:
CFA REAL PROPERTY I, LLC
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
CONTACT: JOHN MARK WOOD

OWNER LOT 4-R2:
915 SKYLINE LP
3721 W. 4TH STREET
FORT WORTH, TEXAS 76107

NEW HAVEN STREET
(50' RIGHT-OF-WAY)

LOT 1-R, BLOCK D
TIMBERDALE ADDITION
VOL. 388-135, PG. 33
P.R.T.C.T.

REPLAT
LOT 1-R3
DALBY ACRES ADDITION
BEING A REPLAT OF LOTS 1-R2 & 4-R2,
RECORDED IN VOLUME 388-210, PAGE 5
WILLIAM O'NEAL SURVEY - ABSTRACT NO. 1190
OF THE PLAT RECORDS OF TARRANT COUNTY, TEXAS
AN ADDITION TO THE CITY OF ARLINGTON,
TARRANT COUNTY, TEXAS

MAY, 2015
1 LOT

THIS PLAT IS RECORDED IN DOCUMENT # _____ DATE: _____

OWNERS CERTIFICATE

STATE OF TEXAS}
COUNTY OF TARRANT}

WHEREAS CFA REAL PROPERTY I, LLC AND 915 SKYLINE LP ARE THE OWNERS OF A 1.8073 ACRE TRACT OF LAND SITUATED IN THE WILLIAM O'NEAL SURVEY, ABSTRACT NO. 1190, BEING A 0.898 ACRE TRACT OF LAND DESCRIBED IN A SPECIAL WARRANTY DEED TO CFA REAL PROPERTY I, LLC AND RECORDED IN INSTRUMENT NUMBER D209070806 OF THE DEED RECORDS OF TARRANT COUNTY, TEXAS AND BEING PARCEL OF LAND DESCRIBED IN A SPECIAL WARRANTY DEED TO 915 SKYLINE LP AND RECORDED IN INSTRUMENT NUMBER D209182168 OF THE DEED RECORDS OF TARRANT COUNTY, TEXAS AND BEING KNOWN AS LOTS 1-R2 AND 4-R2 OF THE DALBY ACRES ADDITION, AN ADDITION TO THE CITY OF ARLINGTON, TARRANT COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 388-210, PAGE 5 OF THE PLAT RECORDS OF TARRANT COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A BRASS MONUMENT FOUND FOR CORNER IN THE EAST RIGHT-OF-WAY LINE OF NORTH COLLINS STREET (F.M. 157) (A VARIABLE WIDTH RIGHT-OF-WAY), SAME BEING THE NORTH RIGHT-OF-WAY LINE OF SKYLINE DRIVE (50' RIGHT-OF-WAY) AND BEING THE SOUTHWEST CORNER OF SAID LOT 1-R2 OF THE DALBY ACRES ADDITION;

THENCE NORTH 04' 04' 00" EAST, DEPARTING THE SAID NORTH RIGHT-OF-WAY LINE OF SKYLINE DRIVE AND ALONG THE SAID EAST RIGHT-OF-WAY LINE OF NORTH COLLINS STREET (F.M. 157) AND THE WEST LINE OF SAID LOT 1-R2 OF THE DALBY ACRES ADDITION, FOR A DISTANCE OF 170.20 FEET TO A BRASS MONUMENT FOUND FOR CORNER SAME BEING THE NORTHWEST CORNER OF SAID LOT 1-R2 OF THE DALBY ACRES ADDITION SAME BEING THE SOUTHWEST CORNER OF LOT 2A OF THE SANFORD - YATES SUBDIVISION, AN ADDITION TO THE CITY OF ARLINGTON, TARRANT COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 388-30, PAGE 239 OF THE PLAT RECORDS OF TARRANT COUNTY, TEXAS;

THENCE SOUTH 89' 51' 36" EAST, DEPARTING THE SAID EAST RIGHT-OF-WAY LINE OF NORTH COLLINS STREET (F.M. 157) AND ALONG THE COMMON LINE OF SAID LOT 1-R2 OF THE DALBY ACRES ADDITION AND SAID LOT 2A OF THE SANFORD - YATES SUBDIVISION, FOR A DISTANCE OF 159.74 FEET TO A 5/8" IRON ROD SET FOR CORNER;

THENCE SOUTH 89' 12' 56" EAST, CONTINUING ALONG THE COMMON LINE OF SAID LOT 1-R2 OF THE DALBY ACRES ADDITION AND SAID LOT 2A OF THE SANFORD - YATES SUBDIVISION, FOR A DISTANCE OF 273.01 FEET TO A 5/8" IRON ROD SET FOR CORNER SAME BEING THE NORTHEAST CORNER OF SAID LOT 4-R2 OF THE DALBY ACRES ADDITION SAME BEING THE NORTHWEST CORNER OF LOT 6R OF THE DALBY ACRES ADDITION, AN ADDITION TO THE CITY OF ARLINGTON, TARRANT COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 388-166, PAGE 19 OF THE PLAT RECORDS OF TARRANT COUNTY, TEXAS AND BEING IN THE SOUTH LINE OF LOT 3-R OF THE SANFORD - YATES SUBDIVISION, AN ADDITION TO THE CITY OF ARLINGTON, TARRANT COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 388-139, PAGE 30 OF THE PLAT RECORDS OF TARRANT COUNTY, TEXAS;

THENCE SOUTH 00' 14' 17" WEST, DEPARTING THE SAID SOUTH LINE OF LOT 3-R OF THE SANFORD - YATES SUBDIVISION AND ALONG THE COMMON LINE OF SAID LOT 4-R2 OF THE DALBY ACRES ADDITION AND SAID LOT 6R OF THE DALBY ACRES ADDITION, FOR A DISTANCE OF 193.98 FEET TO A 5/8" IRON ROD SET FOR CORNER AND BEING THE SOUTHEAST CORNER OF SAID LOT 4-R2 OF THE DALBY ACRES ADDITION SAME BEING THE SOUTHWEST CORNER OF SAID 6R OF THE DALBY ACRES ADDITION AND BEING IN THE SAID NORTH RIGHT-OF-WAY LINE OF SKYLINE DRIVE;

THENCE NORTH 85' 04' 32" WEST, ALONG THE SOUTH LINE OF SAID LOT 4-R2 OF THE DALBY ACRES ADDITION AND SAID NORTH RIGHT-OF-WAY LINE OF SKYLINE DRIVE, FOR A DISTANCE OF 273.50 FEET TO A 5/8" IRON ROD SET FOR CORNER;

THENCE NORTH 88' 22' 36" WEST, ALONG THE SOUTH LINE OF SAID LOT 1-R2 OF THE DALBY ACRES ADDITION AND SAID NORTH RIGHT-OF-WAY LINE OF SKYLINE DRIVE, FOR A DISTANCE OF 171.57 FEET TO THE POINT OF BEGINNING AND CONTAINING 78,724 SQUARE FEET OR 1.8073 ACRES OF LAND, MORE OR LESS.

MAINTENANCE STATEMENT:

THE CITY OF ARLINGTON IS NOT RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, OR USE OF THE FOLLOWING:

- * PRIVATE STORM DRAIN SYSTEMS, LOCATED ON LOT 1-R3 AND THEIR ASSOCIATED PRIVATE DRAINAGE EASEMENTS.
* PRIVATE ACCESS EASEMENTS AND ASSOCIATED IMPROVEMENTS.
* ANY STORM WATER TREATMENT FACILITY (IDENTIFIED AS A BEST MANAGEMENT PRACTICE(S) (BMPs) (FOR STORM WATER QUALITY IN THE ACCEPTED STORM WATER MANAGEMENT SITE PLAN FOR THIS DEVELOPMENT) AND ITS ASSOCIATED DRAINAGE EASEMENTS.

HEREINAFTER COLLECTIVELY REFERED TO AS "IMPROVEMENTS", DEVELOPED AND CONSTRUCTED BY DEVELOPER OR HIS PREDECESSORS, OR TO BE DEVELOPED AND CONSTRUCTED BY DEVELOPER OR HIS SUCCESSORS, DEVELOPER WILL INDEMNIFY, DEFEND AND HOLD HARMLESS THE CITY OF ARLINGTON, ITS OFFICERS, EMPLOYEES, AND AGENTS FROM ANY DIRECT OR INDIRECT LOSS, DAMAGE, LIABILITY OR EXPENSE AND ATTORNEY'S FEES FOR ANY NEGLIGENCE ARISING OUT OF THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, CONDITION OR USE OF THE IMPROVEMENTS, INCLUDING ANY NONPERFORMANCE OF THE FOREGOING. DEVELOPER WILL REQUIRE ANY SUCCESSOR IN INTEREST OF ALL OR PART OF THE PROPERTY, INCLUDING ANY PROPERTY OWNERS ASSOCIATION TO ACCEPT FULL RESPONSIBILITY AND LIABILITY FOR THE IMPROVEMENTS, INCLUDING ANY PROPERTY LIABILITY FOR THE IMPROVEMENTS, ALL OF THE ABOVE SHALL BE COVENANTS RUNNING WITH THE LAND. DEVELOPER SHALL IMPOSE THESE COVENANTS UPON LOT 1-R3, ABUTTING, ADJACENT OR SERVED BY THE IMPROVEMENTS. THE COVENANTS SHALL INCLUDE THE FULL OBLIGATION AND RESPONSIBILITY OF MAINTAINING AND OPERATING SAID IMPROVEMENTS, ACCESS TO THE IMPROVEMENTS IS GRANTED TO THE CITY FOR ANY PURPOSE RELATED TO THE EXERCISE OF GOVERNMENTAL SERVICES OR FUNCTIONS, INCLUDING BUT NOT LIMITED TO, FIRE AND POLICE PROTECTION, INSPECTION AND CODE ENFORCEMENT.

BY: CFA REAL PROPERTY I, LLC
A GEORGIA LIMITED LIABILITY COMPANY

By:
NAME:
TITLE:

BY: CFA REAL PROPERTY I, LLC
A GEORGIA LIMITED LIABILITY COMPANY

By:
NAME:
TITLE:

BY: 915 SKYLINE LP,
A TEXAS LIMITED PARTNERSHIP

By:
NAME:
TITLE:

ENGINEER:
BURGER ENGINEERING, LLC
17103 PRESTON ROAD, SUITE 180N
DALLAS, TEXAS 75248
(972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.

SURVEYOR:
BLUE SKY SURVEYING & MAPPING CORPORATION
TBPLS REG. #10105700
11015 MIDWAY ROAD
DALLAS, TEXAS 75229
(214) 358-4500
CONTACT: DAVID R. PETREE, R.P.L.S.

KNOW ALL MEN BY THESE PRESENTS:

THAT CFA REAL PROPERTY I, LLC & 915 SKYLINE LP, THROUGH THEIR UNDERSIGNED AUTHORITY, DO HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED REAL PROPERTY AS LOT 1-R3, DALBY ACRES ADDITION, AN ADDITION TO THE CITY OF ARLINGTON, TARRANT COUNTY, TEXAS, AND DOES HEREBY DEDICATE TO THE PUBLIC'S THE STREETS AND EASEMENTS SHOWN THEREON, EXCEPT FOR THE PRIVATE EASEMENTS SHOWN HEREON.

PURSUANT TO SECTION 12.002 OF THE TEXAS PROPERTY CODE, AS AMENDED, I HAVE OBTAINED ORIGINAL TAX CERTIFICATES FROM EACH TAXING UNIT WITH JURISDICTION OVER EACH PARCEL OF REAL PROPERTY IN SAID SUBDIVISION INDICATING THAT NO DELINQUENT AD VALOREM TAXES ARE OWED ON THE REAL PROPERTY WHICH IS THE SUBJECT OF THE PLAT OR REPLAT WE HAVE SUBMITTED TO THE CITY OF ARLINGTON, TARRANT COUNTY, TEXAS FOR FILING AND RECORDING WITH THE TARRANT COUNTY CLERK'S OFFICE.

WITNESS MY HAND THIS DAY OF, 2015

BY: CFA REAL PROPERTY I, LLC
A GEORGIA LIMITED LIABILITY COMPANY

By:
NAME:
TITLE:

WITNESS MY HAND THIS DAY OF, 2015

BY: CFA REAL PROPERTY I, LLC
A GEORGIA LIMITED LIABILITY COMPANY

By:
NAME:
TITLE:

WITNESS MY HAND THIS DAY OF, 2015

BY: 915 SKYLINE LP,
A TEXAS LIMITED PARTNERSHIP

By:
NAME:
TITLE:

STATE OF
COUNTY OF

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS DAY OF, 2015.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS MY COMMISSION EXPIRES

STATE OF
COUNTY OF

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS DAY OF, 2015.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS MY COMMISSION EXPIRES

STATE OF
COUNTY OF

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS DAY OF, 2015.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS MY COMMISSION EXPIRES

SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:

THAT I, DAVID R. PETREE, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON AS SET WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE OF THE CITY OF ARLINGTON.

PRELIMINARY

DAVID R. PETREE, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 1890

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DAVID R. PETREE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS DAY OF, 2015.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS MY COMMISSION EXPIRES

NOTES:

- 1. THIS PROPERTY MAY BE SUBJECT TO CHARGES RELATED TO THE IMPACT FEES AND THE APPLICANT SHOULD CONTACT THE CITY REGARDING ANY APPLICABLE FEES DUE.
2. VISIBILITY TRIANGLES SHALL BE PROVIDED AT ALL PUBLIC OR PRIVATE STREET OR DRIVEWAY INTERSECTIONS IN ACCORDANCE WITH CURRENT CITY ORDINANCE. ALL LANDSCAPING (NOTHING OVER 2' IN HEIGHT AS MEASURED FROM THE TOP OF THE CURB) WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY ORDINANCE.
3. THE CITY OF ARLINGTON RESERVES THE RIGHT TO REQUIRE MINIMUM FINISH FLOOR ELEVATIONS ON ANY LOT WITHIN THIS SUBDIVISION.
4. THE CITY OF ARLINGTON WILL ONLY BE RESPONSIBLE FOR THE PERMANENT PIPE SYSTEM, WITHIN THE PUBLIC DRAINAGE EASEMENT. THE CITY OF ARLINGTON WILL NOT BE RESPONSIBLE FOR OTHER AMENITIES, INCLUDING BUT NOT LIMITED TO PAVING AND FENCES WITHIN THE DRAINAGE EASEMENT, AND FOR GENERAL MAINTNANCE AND MOWING.
5. THIS PLAT DOES NOT ALTER OR REMOVE EXISTING DEED RESTRICTIONS, IF ANY ON THIS PROPERTY.

APPROVED BY THE CITY OF ARLINGTON PLANNING AND ZONING

COMMISSION ON, 2015

CHAIRMAN - PLANNING AND ZONING COMMISSION

SECRETARY - PLANNING AND ZONING COMMISSION

REPLAT
LOT 1-R3
DALBY ACRES ADDITION
BEING A REPLAT OF LOTS 1-R2 & 4-R2,
RECORDED IN VOLUME 388-210, PAGE 5
WILLIAM O'NEAL SURVEY - ABSTRACT NO. 1190
OF THE PLAT RECORDS OF TARRANT COUNTY, TEXAS
AN ADDITION TO THE CITY OF ARLINGTON,
TARRANT COUNTY, TEXAS

MAY, 2015
1 LOT

THIS PLAT IS RECORDED IN DOCUMENT # DATE:

Staff Report



Replat (The Village at Ballpark Addition Lot 3R1)	
Planning and Zoning Meeting Date: 5-20-15	Document Being Considered: Plat

RECOMMENDATION

Consider replat on the consent agenda.

PRIOR BOARD OR COUNCIL ACTION

On January 20, 2015, the City Council approved SUP14-6 by a vote of 9-0-0.

ANALYSIS

The applicant, Cumulus Design, represented by Paul Cragun, proposes to revise Lot 3R of the Village at Ballpark Addition, approximately 2.502 acres in size. This revision is to include added Water Easements and move the Access Easement on the property. The subject site is currently undeveloped; however, SUP14-6 was approved at this location for the proposed Aloft Hotel, which is currently in the plan review process.

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the subdivision regulations.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

<u>Property Location:</u>	Generally located south of East Lamar Boulevard and east of Ballpark Way with the approximate address being 2140 East Lamar Boulevard.
<u>Sector:</u>	North
<u>Council District:</u>	1
<u>Current Zoning:</u>	Entertainment District Overlay-Community Commercial (EDO-CC)

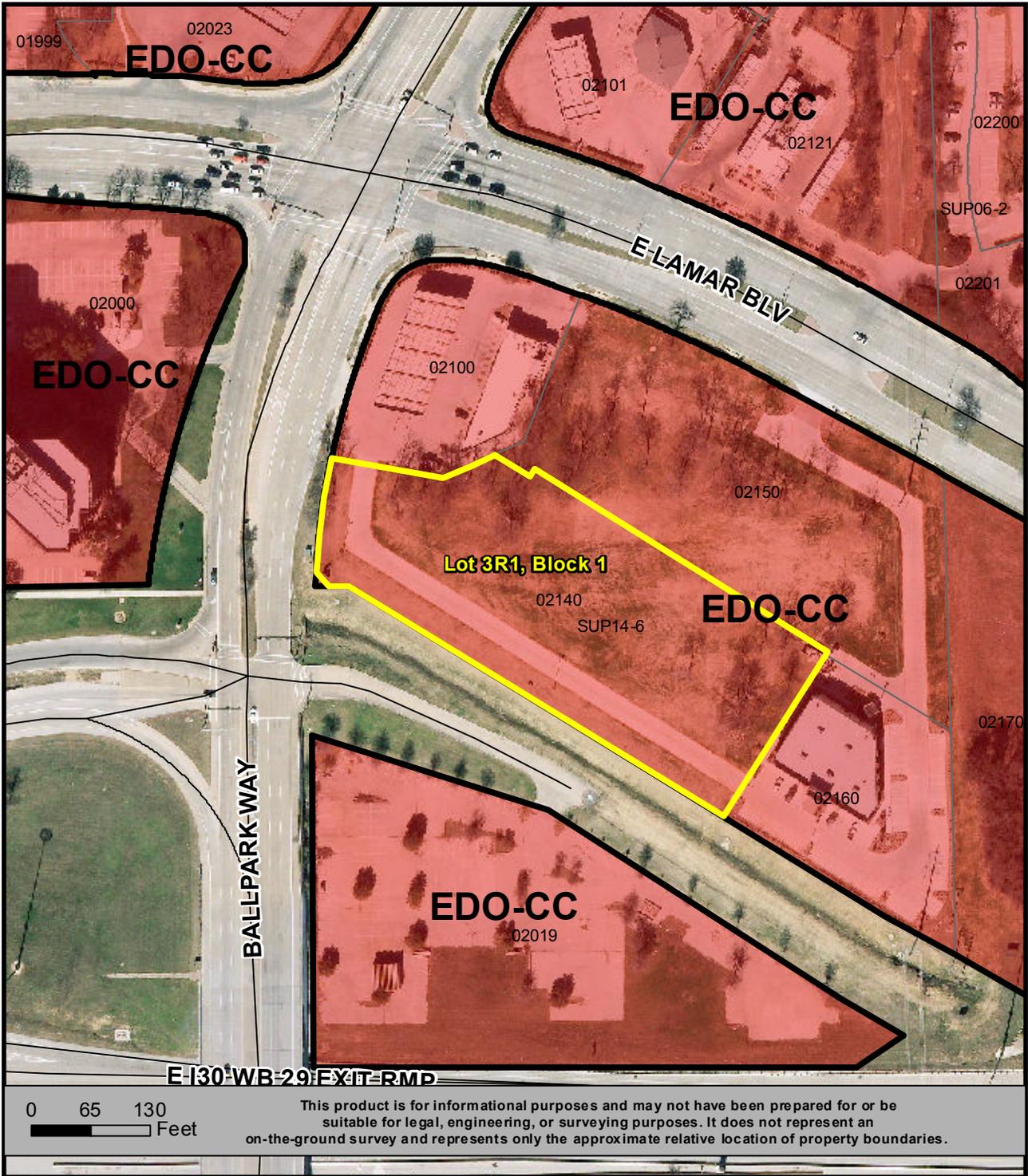
ATTACHED

- i. Location Map
- ii. 11 x 17 Plat

STAFF CONTACT(S)

Gincy Thoppil, AICP
Development Planning Manager
Community Development and Planning
817-459-6662
Gincy.Thoppil@arlingtontx.gov

Shon Brooks
Senior Planner
Community Development and Planning
817-459-6514
Shon.Brooks@arlingtontx.gov



LOCATION MAP

**THE VILLAGE AT BALLPARK ADDITION
REPLAT**



Notes

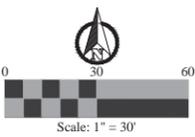
- 1. Elevations, if any are based on NAVD 1988 per GPS observations using the Texas RTK Network. The site benchmark is a mag nail with a washer stamped "JPH LAND SURVEYING" set concrete curb on the south right of way line of Brinker Court approximately 145.00 feet southeasterly from the intersection of Brinker Court and Ballpark Way Elevation = 543.30'

MONUMENTS / HORIZONTAL & VERTICAL DATUMS / BEARING BASIS
CRS 1/2" rebar stamped "JPH Land Surveying" set
MNS Mag nail & washer stamped "JPH Land Surveying" set
TBM Site benchmark (see vicinity map for general location)

Owner
The Whitestone Hotels Holdings, LLC
2009 Cottonwood Valley Circle South
Irving, Texas 75038

Surveyor
JPH Land Surveying, Inc.
807 Bluebonnet Drive, Suite C
Keller, Texas 76248

Legend of Abbreviations
D.R.T.C.T. - Deed Records, Tarrant County, Texas
O.P.R.T.C.T. - Official Public Records, Tarrant County, Texas



This is to certify that I, Jewel Chadd, a Registered Professional Land Surveyor of the State of Texas, having platted the above subdivision on the ground and that all lot corners, angle points and points of curvature have been properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

PRELIMINARY: THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.
~RELEASED FOR REVIEW TO THE CITY OF ARLINGTON ON MARCH 18, 2015

Jewel Chadd
Registered Professional
Land Surveyor No. 5754

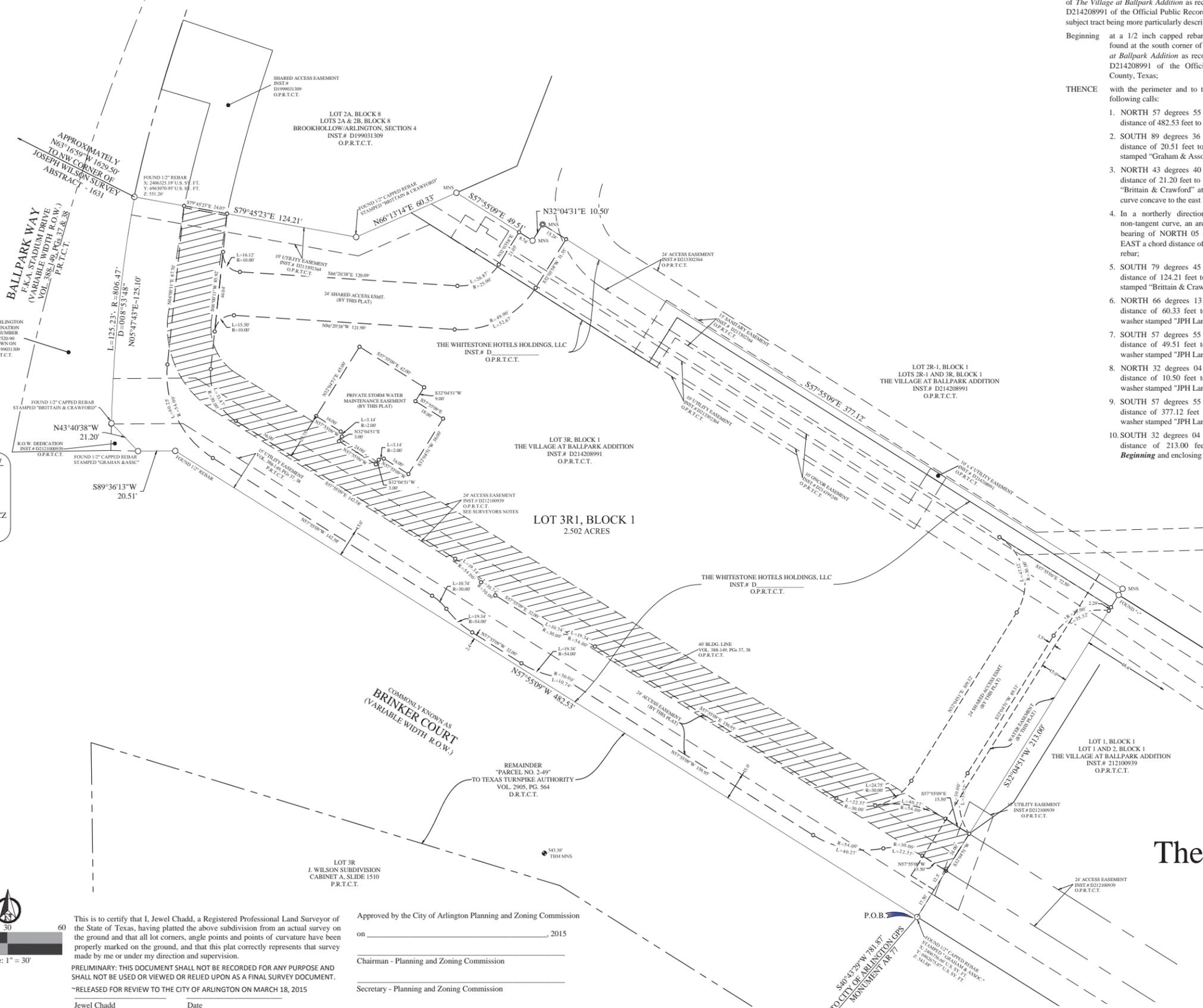
Approved by the City of Arlington Planning and Zoning Commission

on _____, 2015

Chairman - Planning and Zoning Commission

Secretary - Planning and Zoning Commission

JPH Job No.
2014.050.001 2140 E. LAMAR BLVD., Arlington - Plat.dwg
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807 Bluebonnet Drive, Suite C Keller, Texas 76248
Telephone (817) 431-4971 www.jphlandsurveying.com
TBPLS Firm #100195-00



WHEREAS, The Whitestone Hotels Holdings, LLC, according to the deeds to said The Whitestone Hotels Holdings, LLC recorded under Instrument Numbers _____ & _____ of the Official Public Records of Tarrant County, Texas, is the sole owner of that certain tract situated in the Joseph Wilson Survey, Abstract No. 1631, City of Arlington, Tarrant County, Texas, said tract being all of Lot 3R, Block 1 of The Village at Ballpark Addition as recorded under Instrument Number D214208991 of the Official Public Records of Tarrant County, Texas; the subject tract being more particularly described as follows:

Beginning at a 1/2 inch capped rebar stamped "Graham & Assoc." found at the south corner of Lot 3R, Block 1 of The Village at Ballpark Addition as recorded under Instrument Number D214208991 of the Official Public Records of Tarrant County, Texas;

THENCE with the perimeter and to the corners of said Lot 3R, the following calls:

- 1. NORTH 57 degrees 55 minutes 09 seconds WEST, a distance of 482.53 feet to a found 1/2 inch rebar;
- 2. SOUTH 89 degrees 36 minutes 13 seconds WEST, a distance of 20.51 feet to a found 1/2 inch capped rebar stamped "Graham & Assoc.";
- 3. NORTH 43 degrees 40 minutes 38 seconds WEST, a distance of 21.20 feet to a 1/2 inch capped rebar stamped "Brittain & Crawford" at the beginning of a non-tangent curve concave to the east having a radius of 806.47 feet;
- 4. In a northerly direction, along the arc of the said non-tangent curve, an arc length of 125.23 feet (a chord bearing of NORTH 05 degrees 47 minutes 43 seconds EAST a chord distance of 125.10 feet) to a found 1/2 inch rebar;
- 5. SOUTH 79 degrees 45 minutes 23 seconds EAST, a distance of 124.21 feet to a found 1/2 inch capped rebar stamped "Brittain & Crawford";
- 6. NORTH 66 degrees 13 minutes 14 seconds EAST, a distance of 60.33 feet to a set Mag nail with a metal washer stamped "JPH Land Surveying";
- 7. SOUTH 57 degrees 55 minutes 09 seconds EAST, a distance of 49.51 feet to a set Mag nail with a metal washer stamped "JPH Land Surveying";
- 8. NORTH 32 degrees 04 minutes 31 seconds EAST, a distance of 60.33 feet to a set Mag nail with a metal washer stamped "JPH Land Surveying";
- 9. SOUTH 57 degrees 55 minutes 09 seconds EAST, a distance of 377.12 feet to a set Mag nail with a metal washer stamped "JPH Land Surveying";
- 10. SOUTH 32 degrees 04 minutes 51 seconds WEST, a distance of 213.00 feet returning to the Place of Beginning and enclosing 2.502 acres.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS

That The Whitestone Hotels Holdings, LLC, acting by and through the undersigned, its duly authorized agent does hereby adopt this plat designated as The Village at Ballpark Addition, Lot 3R1, Block 1, an addition in the City of Arlington, Tarrant County, Texas. This plat does not alter or remove existing deed restrictions, and does hereby dedicate to the public's use the street, easements, and marks shown thereon except the private easements shown thereon. I hereby certify that no deed restriction exists upon the property including within this plat that is in a platted subdivision at the present time wherein a lot thereof is limited by deed restriction authorizing residential use but restricting same to not more than two residential units per lot. I further certify that this property does not alter or remove existing deed restrictions or covenants, if any, on this property.

Pursuant to Section 12.002 of the Texas Property Code, as amended, I have obtained original tax certificates from each taxing unit with jurisdiction over each parcel of real property in said subdivision indicating that no delinquent ad valorem taxes are owed on the real property which is the subject of the plat or replat I have submitted to the City of Arlington, Tarrant County, Texas for filing and recording with Tarrant County Clerk's Office.

By: _____
Name: _____
Title: _____

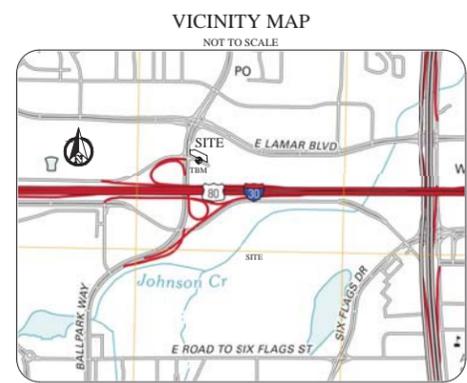
STATE OF _____
COUNTY OF _____

This Instrument was acknowledged before me on this _____ day of _____, 2015 by The Whitestone Hotels Holdings, LLC known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration therein expressed and in the capability therein stated, on behalf of said corporation.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME: _____

MY COMMISSION EXPIRES: _____



Replat
of
The Village at Ballpark Addition
Lot 3R1, Block 1
being a revision of
Lot 3R, Block 1
OF
The Village at Ballpark Addition
Instrument Number D214208991
O.P.R.T.C.T.
City of Arlington, Texas
Prepared March 2015
1 Lot

Staff Report



Zoning Case PD14-20 (Proctor Place Townhomes)

Planning and Zoning Meeting Date: 5-20-15

Document Being Considered: Ordinance

RECOMMENDATION

Following the public hearing, consider Zoning Case PD14-20, with a Development Plan.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

Request

The applicant requests to change the zoning on approximately 0.447 acres addressed at 901 West Abram Street, and generally located north of West Abram Street and west of Proctor Place.

Current zoning: Downtown Neighborhood Overlay – Planned Development (DNO-PD) for General Commercial (GC) uses limited to a private parking lot, with a Concept Brief

Requested zoning: Downtown Neighborhood Overlay – Planned Development (DNO-PD) for Residential Multi-family – 22 (RMF-22) uses, with a Development Plan

Existing Site Conditions

The subject site is undeveloped. The existing planned development was for the construction of a surface parking lot. There are several large trees on site, the majority of which will be removed for the proposed multi-family development.

Adjacent Land Uses

The subject site is within the Downtown Neighborhood Overlay (DNO) District. It is surrounded by properties zoned for General Commercial (GC) uses to the north, Office Commercial (OC) uses to the south, and Residential Multi-family-22 (RMF-22) uses to the east and west, all of which are also within the DNO. The adjacent uses to the north and south are offices while multi-family uses are to the east and west. The student housing development 'Arlington Lofts', a five-story 169-unit multi-family complex, is currently under construction on the east side of Proctor Place, directly across the street from the proposed development. The proposed development utilizes similar building materials and landscaping to complement their neighbor.

Proposed Development Plan

The applicant proposes to construct a 10-unit market-rate, multi-family residential complex on the subject site. There will be a single point of vehicular access from the 20-foot wide alley, which is proposed to be improved to the extent of their western property line with this development. The allowed density in the DNO in the requested RMF-22 zoning district for multi-family projects is 40 units per acre, which would account to 18 units on the subject site.

The proposed complex will be built to resemble townhomes with a 7.5-foot setback from the Proctor Place property line to give an urban feel to the development. It will be a three-story building fronting Proctor Place and will feature front porch areas and balconies for each unit.

The front entrances are directly from the street. Each unit will also have a garage and a back door.

The building will feature three primary exterior building materials: cementitious fiberboard, stucco, and brick. The primary roofing material will be composite shingles with the roofs over balconies comprised of standing seam metal. On the front façade at the entrance of each unit, there will be a combination of full brick columns and rounded stone columns with a brick base. Patios on the first level will have half brick walls four-feet tall to provide an outdoor seating area on the street front for the residents. Balconies on the second and third levels will have metal railings. All front doors will have transom windows above it. Multiple windows on the front and rear façades will provide natural light for the units.

Each unit will have three bedrooms. The Unified Development Code (UDC) requires 2.5 parking spaces per three-bedroom unit. Thus, 25 parking spaces are required for the development. The UDC also requires that 50 percent of the parking be covered spaces, including 20 percent being garages. Therefore, there should be at least five garages and eight other covered parking spaces for a total of 13 covered parking spaces. The applicant proposes to provide 26 off-street and four on-street parking spaces, of which 10 will be garages. In addition to parking for automobiles, the DNO also requires bicycle parking be 10 percent of the required automobile parking spaces. Therefore, three bicycle parking spaces are required. The applicant will provide the required bicycle parking in front of the complex on Proctor Place on an island between the on-street parking spaces.

The DNO has a requirement for a minimum 18-foot streetscape along the entire right-of-way adjacent to any public street right-of-way. The streetscape is measured starting from the back of the curb to the property line. If the existing right-of-way or required right-of-way dedication is less than 18 feet from the back of curb to the property line, the additional area shall be provided on private property through a landscape easement. The setback is to include a minimum eight-foot wide strip for street trees or planters, spaced between 25 and 30 feet apart on center, and a 10-foot wide sidewalk. This is a small site which only has nine feet from the back of curb to the property line and 7.5 feet from the property line to the building. The applicant will provide the 16.5-foot area as streetscape with the 7.5 feet from the property line to the building being in a landscape easement along Proctor Place. Due to space limitations, the applicant proposes a six-foot wide sidewalk.

The applicant is requesting the following deviations from the UDC:

1. Perimeter Streetscape in the Downtown Neighborhood Overlay (DNO).
 - i. Reduce the minimum 18-foot streetscape along Proctor Place to a 16.5-foot streetscape.
 - ii. Reduce the required 10-foot wide sidewalk to a 6-foot wide sidewalk along Proctor Place.
 - iii. Remove the tree spacing requirement. Reduce the number of required trees along Proctor Place from seven to five.
2. Maximum length of a multi-family building.

Increase the maximum length of a multi-family building from 180 feet to 192 feet long.
3. Covered parking.

Reduce the covered parking requirement from 13 (50 percent) to 10 (40 percent).

Landscaping and Screening

The applicant proposes to use four-inch caliper, 10-foot tall Cedar Elm trees along the Proctor Place street frontage and four-inch caliper, 10-foot tall Chinquapin Oak along Abram Street. The applicant will also use four-inch caliper, 10-foot tall Crepe Myrtle, Shumard Oak, and Possumhaw Holly trees on the site. Other plantings on the subject site include shrubs such as Cedar Sage, Dwarf Chinese Holly, Dwarf Wax Myrtle, Red Yucca, and Gulfstrea Nandina, as well as ground cover which include Asian Jasmine, Big Blue Liriope, and Mexican Feathergrass. Also being proposed is the preservation of several existing trees on site and mitigation for the trees being removed which are on the approved plant list.

The applicant will provide an eight-foot tall masonry wall to screen the dumpster enclosure on the site as well as four-foot tall shrubs around the wall. Also being proposed is an eight-foot tall wall along Abram Street comprised of masonry and metal fencing with brick columns and stone caps. The wall will serve as a screening component for the parking in the rear of the building while also being an aesthetically pleasing feature for the development along Abram Street. Along the western property line, the applicant proposes an eight-foot double-sided stockade wood fence with steel posts. The first eight feet of the wall on the western property line leading from Abram Street will be masonry material that matches the material on the wall along Abram Street.

Comprehensive Plan

The Comprehensive Plan 2015, *99 Square Miles*, designates this area as the Downtown/University Neighborhood for high intensity development. A mix of residential uses and mixed-use buildings are encouraged. The Downtown Master Plan specifically states that areas of downtown designated for commercial development should be converted to residential zoning to create the base of customers to support the commercial activity in a viable downtown. The proposed townhouse development is consistent with the strategies in these City plans, as it provides a new use to otherwise vacant land in downtown Arlington, it provides an additional housing style option for residents, and can contribute to giving downtown the residents needed to sustain commercial businesses.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:

- i. Case Information
- ii. Itemized Allowable Uses
- iii. Location Map
- iv. Photos
- v. Development Plan (5 pages)

Under separate cover:

None

Available in the City Secretary’s office:

None

CITY COUNCIL DATE

June 16, 2015

STAFF CONTACTS

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Nathaniel Barnett, AICP
Senior Planner
Community Development and Planning
817-459-6670
Nathaniel.Barnett@arlingtontx.gov

Case Information



Applicant: Dodson Capital, LLC represented by Ryan Dodson

Property Owner: Ryan Dodson – Dodson Capital, LLC

Sector Plan: Central

Council District: 5

Allowable Uses: All uses as itemized in attachment ii.

Development History: The subject site is currently platted as Lot 21R, Block 1 of the Arlington Heights Addition.

Previous zoning cases in the general vicinity in the past five years include:

Case No.	Location	Request	Disposition
PD13-5	815 W Abram St	Development plan	Multi-family (student housing)
PD13-4	719 W Abram St	DNO-RMF-22	Bed and Breakfast
PD10-5	1001 UTA Blvd	Development plan	Mixed use (student housing)
PD10-1	1121 UTA Blvd	Development plan	Multi-family (student housing)

Transportation: The proposed development has one point of access which is from the alley leading to Proctor Place.

Thoroughfare	Existing	Proposed
Proctor Place	50-foot, 2-lane undivided Local road	50-foot, 2-lane undivided Local road

Traffic Impact: The proposed zoning change will not increase the average peak hour trips. There will be no significant impact to the adjacent roadway systems.

Water & Sewer: Sanitary sewer is available to this site within the Proctor Place right-of-way. Water is available to this site within the Abram Street right-of-way.

Drainage: This site is located in the Johnson Creek drainage basin. This site has no portion within the FEMA floodplain. No significant

Case Information



drainage impacts are expected to result from development of this site as long as all relevant city ordinances are complied with.

Fire: Fire Station Number 1, located at 401 West Main Street, provides protection to this site. The estimated fire response time is less than five minutes, which is in keeping with recommended standards.

School District: Arlington Independent School District.

The proposed zoning request is located in the Arlington Independent School District and has minimal impact on the schools serving this site.

Notices Sent:
Neighborhood Associations:

- ACTION North
- Arlington Alliance for Responsible Government
- Arlington Chamber of Commerce
- Arlington Downs Townhouse Association
- Double Y Wooded Estate Addition
- East Arlington Review
- Far South Arlington Neighborhood Association
- Fielder Park Neighborhood Association
- Forest Hills Home Owners Association
- Heart of Arlington Neighborhood Association
- Northern Arlington Ambience
- Norwood Neighborhood Association
- Oak Hill Neighborhood
- Pine Grove Home Owners Association
- Sherwood Knoll Addition
- Stratford Court Home Owners Association
- Town North Neighbors
- WeCan (West Citizen Action Network)

Property Owners: 13
Letters of Support: 0
Letter of Opposition: 0

Itemized Allowable Uses

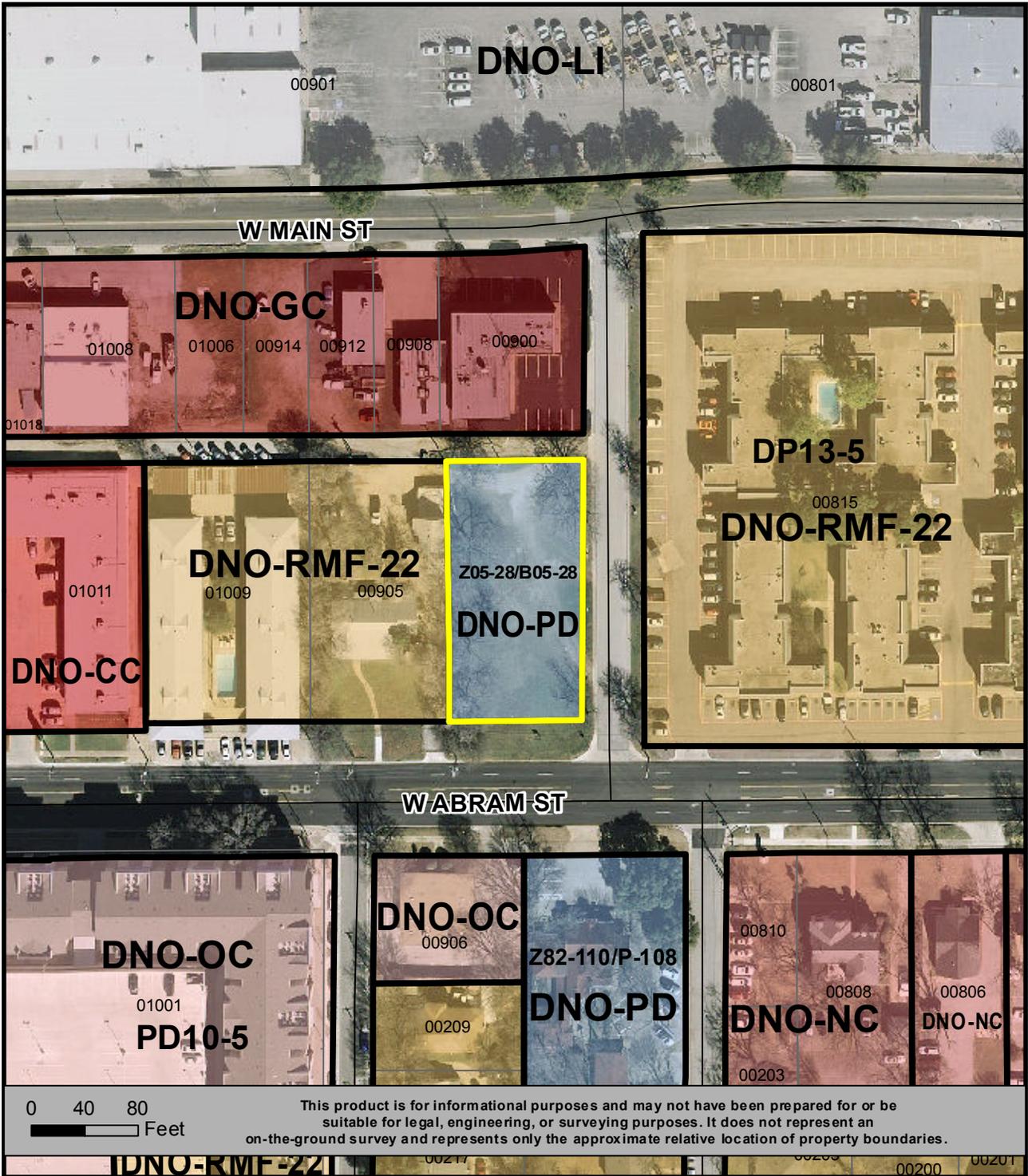


Allowable Uses: RESIDENTIAL MULTI-FAMILY – 22

Permitted – Dwelling-duplex, Dwelling-townhouse, Assisted living facility \leq 6 residents, Assisted living facility $>$ 7 residents, Community home for disabled persons, Foster family home, Foster group home, Art gallery or museum, Domestic violence shelter, Government administration and civic buildings, Religious assembly, Public or private school, Community garden, Public park or playground, Day care center, Golf course, Electric utility substation, Utility lines, towers or metering station, accessory Community center (private), garage (private), and accessory swimming pool (private).

Specific Use Permit (SUP) - Philanthropic institution (other than listed), Cemetery, Bed and breakfast inn, Private club, lodge or fraternal organization, Country club, Marina, Airport or landing field, Gas well, Telecommunication Facilities Towers \leq 75 ft., Stealth towers \leq 100 ft., Telecommunication Facilities Towers $>$ 75 ft., Stealth towers $>$ 100 ft.

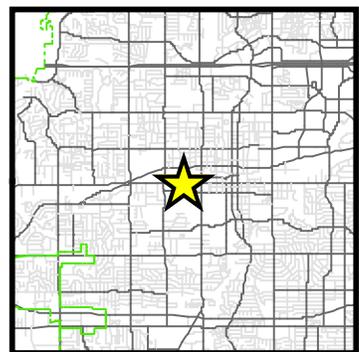
Conditions (C) – Dwelling-live/work, Dwelling-Multi-family, Boarding house/fraternity or sorority house/private dorm, Independent senior living facility, Nursing home, Telecommunication Facilities Building-mounted antennae and towers, Alternative energy system, garage apartment, and home-based business.



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

LOCATION MAP
PD14-20

Planned Development for RMF-22 uses
0.447 ACRES



PD14-20

North of West Abram Street and west of Proctor Place.



View of site looking north.



View east.



West of subject site.



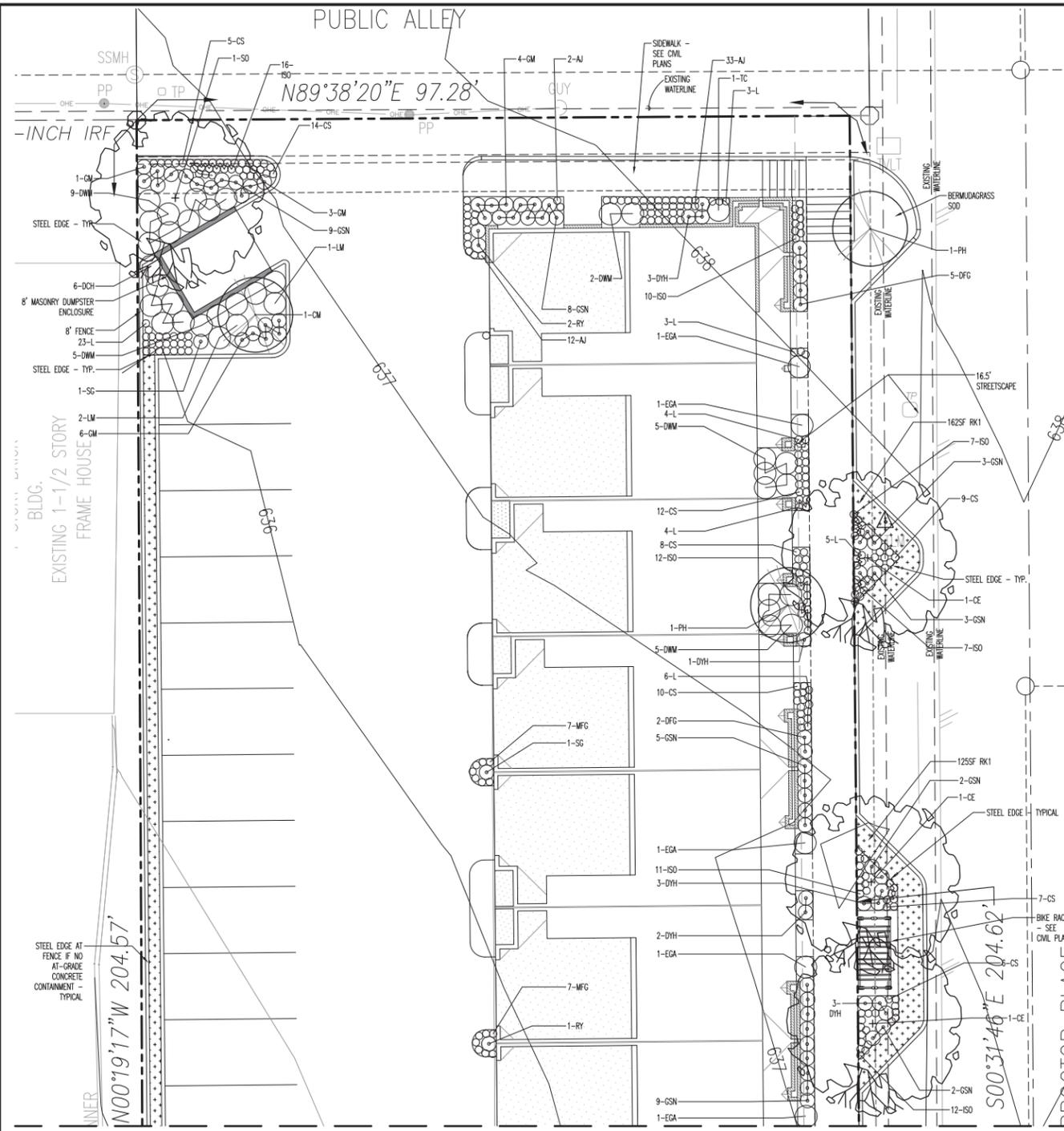
View south.



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PROCTOR TOWNHOMES MULTI FAMILY PERSPECTIVE

ARLINGTON, TEXAS



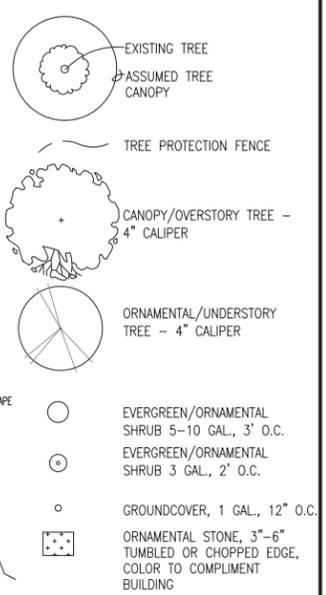
GENERAL NOTES

SEE SHEETS L1.0 FOR TREE PROTECTION AND REMOVAL.
 SEE SHEET L1.0 FOR TREE PROTECTION NOTES.
 SEE SHEET L1.0 FOR ADDITIONAL LANDSCAPE AND GRASS ESTABLISHMENT NOTES.

No.	DESCRIPTION	DATE
5		
4		
3		
2		
1		

REVISIONS

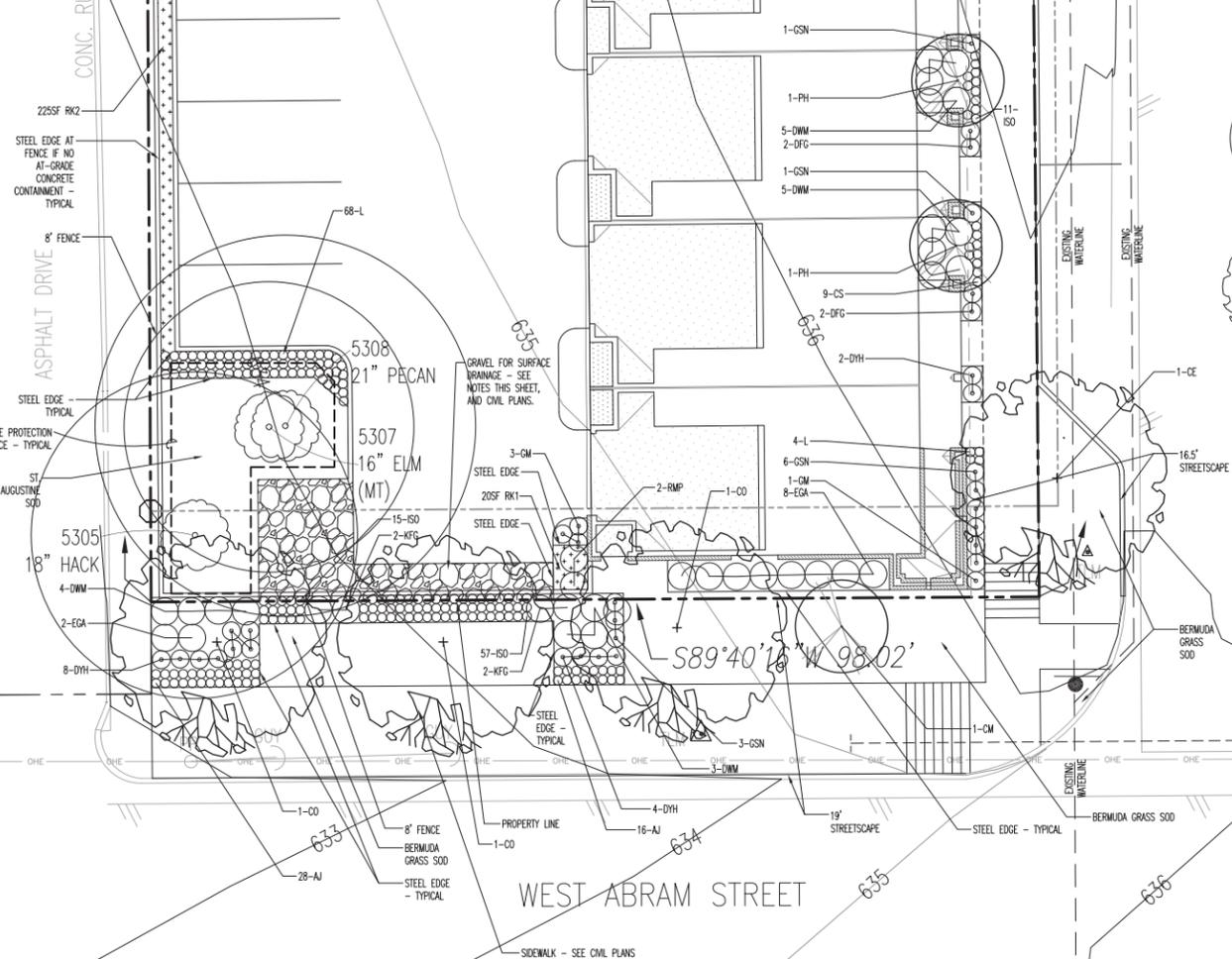
PLANT AND MATERIALS KEY



SURFACE DRAINAGE NOTES:

1. SURFACE DRAINAGE SHALL SHEET FLOW OVER STONE INFILTRATION SYSTEM, ORNAMENTAL GRASSES AND TURF TO WEST ABRAM STREET.
2. GRAVEL FOR SURFACE DRAINAGE INFILTRATION SYSTEM SHALL BE 2"-6" DIAMETER STONES ON NON-WOVEN FILTER FABRIC.
3. SEE CIVIL DRAWINGS.

MATCHLINE - SEE THIS SHEET



PLANT LEGEND (CONTINUED)

SYM	QTY	COMMON NAME	LATIN NAME	MINIMUM SIZE	COMMENTS
GROUNDCOVER					
AJ	91	ASIAN JASMINE	TRACHELOSPERMUM ASIATICUM	1 GAL., 6" HEIGHT AT INSTALLATION	PLANT 1' OC., FULL IN POT
L	120	BIG BLUE LIRIOPE	LIRIOPE MUSCARI 'BIG BLUE'	1 GAL., 9" HEIGHT AT INSTALLATION	PLANT 1' OC., FULL IN POT
MFG	31	MEXICAN FEATHERGRASS	STIPA TENUISSIMA	1 GAL., 9" HEIGHT AT INSTALLATION	PLANT 1' OC.
RK1	244SF	ORNAMENTAL STONE	COLOR TO BE SELECTED BY OWNER - SEE NOTES		
RK2	225SF	ORNAMENTAL STONE	COLOR TO BE SELECTED BY OWNER - SEE NOTES		
TURF		BERMUDA GRASS, ST. AUGUSTINE GRASS:	SEE GRASS ESTABLISHMENT NOTES		

ORNAMENTAL STONE (RK1 AND RK2) NOTES:

RK1 SHALL BE 4"-6" TUMBLED STONE (ROUND EDGES). DEPTH OF STONE AREAS SHALL BE A MINIMUM OF 6". COLOR SHALL COMPLEMENT OR MATCH THE BUILDING. SUBMIT COLOR AND STONE SAMPLE FOR OWNER'S APPROVAL PRIOR TO INSTALLATION.

RK2 SHALL BE 2"-3" CHOPPED STONE (SHARP EDGE). DEPTH OF STONE SHALL BE A MINIMUM OF 4" DEPTH. COLOR SHALL COMPLEMENT OR MATCH THE BUILDING. SUBMIT SAMPLE FOR OWNER'S APPROVAL PRIOR TO INSTALLATION.

ORNAMENTAL STONE SHALL BE INSTALLED ON NON-WOVEN FILTER FABRIC ON TOP OF COMPACTED SUBGRADE. FILTER FABRIC SHALL NOT BE VISIBLE THROUGH STONE OR AT STEEL EDGE.

STONE SHALL BE CONTAINED WITH STEEL EDGING AS SHOWN ON PLANS.

PLANT LEGEND NOTES:

ALL TREES SHALL BE B & B OR CONTAINER GROWN.
 MULTI-TRUNK TREES SHALL BE 3-5 CANES.
 ALL SHRUBS SHALL HAVE A FULL AND UNIFORM HEAD AND BE SIMILAR SHAPE AND SIZE WITHIN SPECIES.

PLANT LEGEND

SYM	QTY	COMMON NAME	LATIN NAME	MINIMUM SIZE	COMMENTS
TREES					
CE	4	CEDAR ELM	ULMUS CRASSIFOLIA	4" CAL., 12' HT., 6" SPREAD AT INSTALLATION	SINGLE STRAIGHT TRUNK
CM	2	CREPE MYRTLE 'DALLAS'	LAGERSTROEMIA INDICA 'DALLAS'	4" CAL., 10' HT., 6" SPREAD AT INSTALLATION	MULTI-TRUNK, MIN. 3 CANES, 2" EACH CANE
CO	3	CHINQUAPIN OAK	QUERCUS MUHLENBERGII	4" CAL., 12' HT., 6" SPREAD AT INSTALLATION	SINGLE STRAIGHT TRUNK
SO	1	SHUMARD OAK	QUERCUS SHUMARDII	4" CAL., 12' HT., 6" SPREAD AT INSTALLATION	SINGLE STRAIGHT TRUNK
PH	4	POSSUMHAW HOLLY	ILEX DECIDUA	4" CAL., 10' HT., 6" SPREAD AT INSTALLATION	MULTI-TRUNK, MIN. 3 CANES, 2" EACH CANE
SHRUBS, PERENNIALS, VINES AND ORNAMENTAL GRASS					
CS	80	CEDAR SAGE	SALVIA ROEMERIANA	1 GAL., 9" HEIGHT AT INSTALLATION	PLANT 1' OC.
DCH	6	DWARF CHINESE HOLLY	ILEX CORNUTA 'NANA'	5 GAL., 24" HEIGHT AT INSTALLATION	PLANT 3' OC.
DFG	10	DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	3 GAL., 15" HEIGHT AT INSTALLATION	PLANT 2' OC.
DWM	34	DWARF WAX MYRTLE	MYRICA PUSILLA	5 GAL., 24" HEIGHT AT INSTALLATION	PLANT 3' OC.
DYH	26	DWARF YAUPON HOLLY	ILEX VOMITORIA 'NANA'	5 GAL., 24" HEIGHT AT INSTALLATION	PLANT 3' OC.
EGA	47	EDWARD GOUCHER ABELIA	ABELIA GRANDIFLORA 'EDWARD GOUCHER'	5 GAL., 24" HEIGHT AT INSTALLATION	PLANT 3' OC.
GM	18	GULF MUHLY	MUHLENBERGII CAPILLARIS	3 GAL., 15" HEIGHT AT INSTALLATION	PLANT 2' OC.
GSN	52	GULFSTREAM NANDINA	NANDINA DOMESTICA 'GULFSTREAM'	3 GAL., 15" HEIGHT AT INSTALLATION	PLANT 2' OC.
ISO	158	INLAND SEA OATS	CHASMANTHIUM LATIFOLIUM	1 GAL., 12" HEIGHT AT INSTALLATION	PLANT 1' OC.
LM	3	LINDHEIMER'S MUHLYGRASS	MUHLENBERGIA LINDHEIMERI	5 GAL., 24" HEIGHT AT INSTALLATION	PLANT 3' OC.
RMP	2	MARIE PAVIE ROSE	ROSA X 'MARIE PAVIE'	5 GAL., 24" HEIGHT AT INSTALLATION	PLANT 3' OC.
RY	3	RED YUCCA	HESPERALOE PARVIFOLIA	3 GAL., 15" HEIGHT AT INSTALLATION	PLANT 2' OC.
SG	4	AUTUMN SAGE	SALVIA GREGGII	3 GAL., 15" HEIGHT AT INSTALLATION	PLANT 2' OC.
TC	1	TURK'S CAP	MALVAVISCUS ARBOREUS VAR. DRUMMONDII	5 GAL., 24" HEIGHT AT INSTALLATION	PLANT 3' OC.
KFG	4	KARL FORESTER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FORESTER'	5 GAL., 24" HEIGHT AT INSTALLATION	PLANT 3' OC.

akm la
 LANDSCAPE ARCHITECT
 P.O. BOX 17850 / FORT WORTH, TEXAS 76102
 2328 PRIMROSE AVENUE / FORT WORTH, TEXAS 76111
 ALIS@AKMLA.COM / 817.875.1839



THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS
 8213 SHOAL CREEK BOULEVARD, SUITE 107
 AUSTIN, TEXAS 78758
 TELEPHONE: 512.458.4126
 HAS JURISDICTION OVER THE INDIVIDUAL LICENSED UNDER THE LANDSCAPE ARCHITECTS REGISTRATION LAW, ARTICLE 249C, VERNON'S TEXAS CIVIL STATUTES.

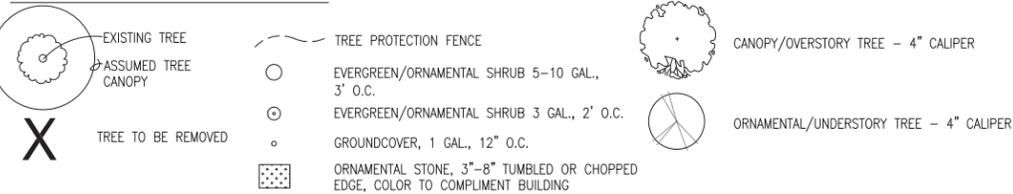
DI SCIULLO-TERRY, STANTON & ASSOCIATES, INC.
 ENGINEERING AND SURVEYING
 908 WEST MAIN STREET • ARLINGTON, TEXAS 76013
 (817) 275-3361
 ESTABLISHED 1953 FIRM NUMBER F-615

LANDSCAPE PLAN for ZONING
 DODSON DEVELOPMENT
 PROCTOR PLACE TOWNHOMES
 LOT 21R, BLOCK 1,
 ARLINGTON HEIGHTS ADDITION
 ARLINGTON, TARRANT COUNTY, TEXAS

DESIGNER: AKM SCALE: DATE: MARCH 23, 2015 SHEET: L1.1
 DRAWN: AKM 1"=10' PROJECT No.: E-1035
 CHECKED: AKM



PLANT AND MATERIALS KEY



NOTE:
 PROPOSED PLANT MATERIAL SHALL BE FROM THE CITY OF ARLINGTON UDC APPROVED PLANT LIST. CANOPY OVERSTORY TREES SHALL BE FROM THE TREE PRESERVATION AND REPLACEMENT SCHEDULE, BONUS TREE LIST.

EXISTING TREE DATA

TREE NUMBER	TREE SIZE/SPECIES	LOCATION	STATUS	TREE POINTS	COMMENTS
5300	16" TREE	NE CORNER, SIDEWALK	REMOVE		ASH
5301	18" TREE	NE CORNER, SIDEWALK	REMOVE		ASH
5302	24" PECAN	E SIDEWALK	REMOVE	-24	D/D/D
5303	36" CATALPA	SE R-O-W	REMOVE		
5304	9" HACKBERRY	S R-O-W	REMOVE		
5305	18" HACKBERRY	SW CORNER	REMAIN		
5306	12" HACKBERRY (MT)	W PROP LINE	REMOVE		POOR COND., GUY WIRE
5307	16" ELM (MT)	SW CORNER	REMAIN	-16*	TRUNKS OF 5307, 5308 GROWN TOGETHER, VERIFY CRZ
5308	21" PECAN	SW CORNER	REMAIN	-21*	
5309	19" ELM (MT)	W PROP LINE	REMOVE	-19	
5310	21" PECAN	P.LOT	REMOVE	-21	
5311	12" HACKBERRY	P.LOT DRIVE AISLE	REMOVE		POOR COND., CHAIN
5312	9" HACKBERRY	W PROP LINE, P.LOT	REMOVE		
5313	24" PECAN	P. SPC.	REMOVE	-24	
5314	22" HACKBERRY	NORTH DRIVE AISLE	REMOVE		
SUBTOTAL				-125	

* TREES ARE SCHEDULED TO REMAIN, HOWEVER INCLUDED IN REQUIRED MITIGATION DUE TO ENCROACHMENT IN CRZ.
 PROPOSED TREES: 8- 4" CALIPER BONUS TREES (@ 6.0 POINTS) = +48 CANOPY MITIGATION POINTS
 REQUIRED OFF-SITE OR FEE-IN-LIEU MITIGATION: 77 POINTS TO MITIGATE.

LANDSCAPE NOTES

CONTRACTOR SHALL STAKE ALL TREE LOCATIONS AND BED CONFIGURATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ALLOW A MINIMUM OF 72 HOURS NOTICE TO THE LANDSCAPE ARCHITECT.

CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONTRACTOR OR SUBCONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED IN A TIMELY MANNER AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL ADVISE THE OWNER OF ANY CONDITION FOUND ON-SITE OR OFF-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.

ALL SHRUB AND GROUNDCOVER BEDS SHALL HAVE A MINIMUM OF FOUR INCHES (4") HARDWOOD BARK MULCH. SEE LANDSCAPE DETAILS.

TREES SHALL BE LOCATED A MINIMUM OF TWO FEET (2') FROM ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF TWO FEET (2') FROM ALL PAVED AREAS. TREES SHALL NOT BE LOCATED IN UTILITY EASEMENTS. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET (5') FROM ALL FIRE HYDRANTS. ROOT BARRIER SHALL BE PROVIDED FOR A MINIMUM OF 6' LENGTH WHERE PROPOSED TREE IS WITHIN 5' OF A PAVED AREA OR UNDERGROUND UTILITY.

CONTRACTOR SHALL MAINTAIN LANDSCAPE AREAS IN A NEAT AND ORDERLY MANNER UNTIL FINAL ACCEPTANCE BY THE OWNER. MAINTENANCE SHALL CONSIST OF WEEDING, WATERING, MOWING AND EDGING, SPRAYING, FERTILIZING, GARBAGE AND DEBRIS REMOVAL, TEMPORARY EROSION CONTROL AND EROSION REPAIR AT A MINIMUM. NO TOPPING OF ORNAMENTAL TREES SHALL BE PERFORMED PRIOR TO INSTALLATION NOR WHILE ON-SITE.

MINIMUM ONE PUNCH LIST WALK THROUGH SHALL BE REQUIRED PRIOR TO FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. CONTACT LANDSCAPE ARCHITECT MINIMUM 1 WEEK PRIOR TO SITE VISIT.

TREES, SHRUBS AND GROUNDCOVER SHALL BE FROM THE RECOMMENDED TREE AND PLANT LIST FOR THE CITY OF ARLINGTON. GROUNDCOVER MAY INCLUDE ORNAMENTAL STONE AND DECOMPOSED GRANITE PER CITY APPROVAL.

CONTRACTOR SHALL REMOVE FROM THE SITE AND REPLACE WITHIN TWO WEEKS OF WRITTEN NOTICE BY THE OWNER ANY PLANT MATERIAL WHICH IS CONSIDERED TO BE DAMAGED, DESTROYED, REMOVED, DEAD, TURNS BROWN OR DEFOLIATES. CONTRACTOR SHALL REPLACE PLANT MATERIAL WITH SIMILAR SIZE AND VARIETY PLANT MATERIALS WHICH MEET ALL PLANT LIST SPECIFICATIONS.

PLANTS SHALL CONFORM WITH THE STATE OF TEXAS REGULATIONS FOR NURSERY INSPECTIONS, RULES AND RATINGS.

AT TIME OF PLANTING, ALL PLANTS SHALL NORMAL GROWTH, AND SHALL BE HEALTHY, SOUND, VIGOROUS AND FREE OF DISEASE, INSECT INFESTATION OR OBJECTIONABLE DISFIGUREMENTS. ALL TRUNKS SHALL BE FREE OF EXCESSIVE ABRASIONS OR FRESH ABRASIONS. ALL PLANTS SHALL HAVE NORMALLY WELL-DEVELOPED BRANCHING STRUCTURES AND VIGOROUS AND FIBROUS ROOT SYSTEMS WHICH ARE NOT ROOT- OR POT-BOUND.

SITE SHALL BE IRRIGATED WITH AN AUTOMATIC IN-GROUND IRRIGATION SYSTEM MEETING CURRENT TCEQ AND CITY OF ARLINGTON IRRIGATION REGULATIONS. CONTRACTOR SHALL ENSURE NO OVERSPRAY ON STREETS AND WALKWAYS. CONTRACTOR SHALL OBTAIN A PERMIT FROM THE CITY FOR THE IRRIGATION SYSTEM. PERMIT AND IMPACT FEES SHALL BE PAID BY THE CONTRACTOR TO THE CITY FOR THE IRRIGATION METER PRIOR TO A PERMIT RELEASE.

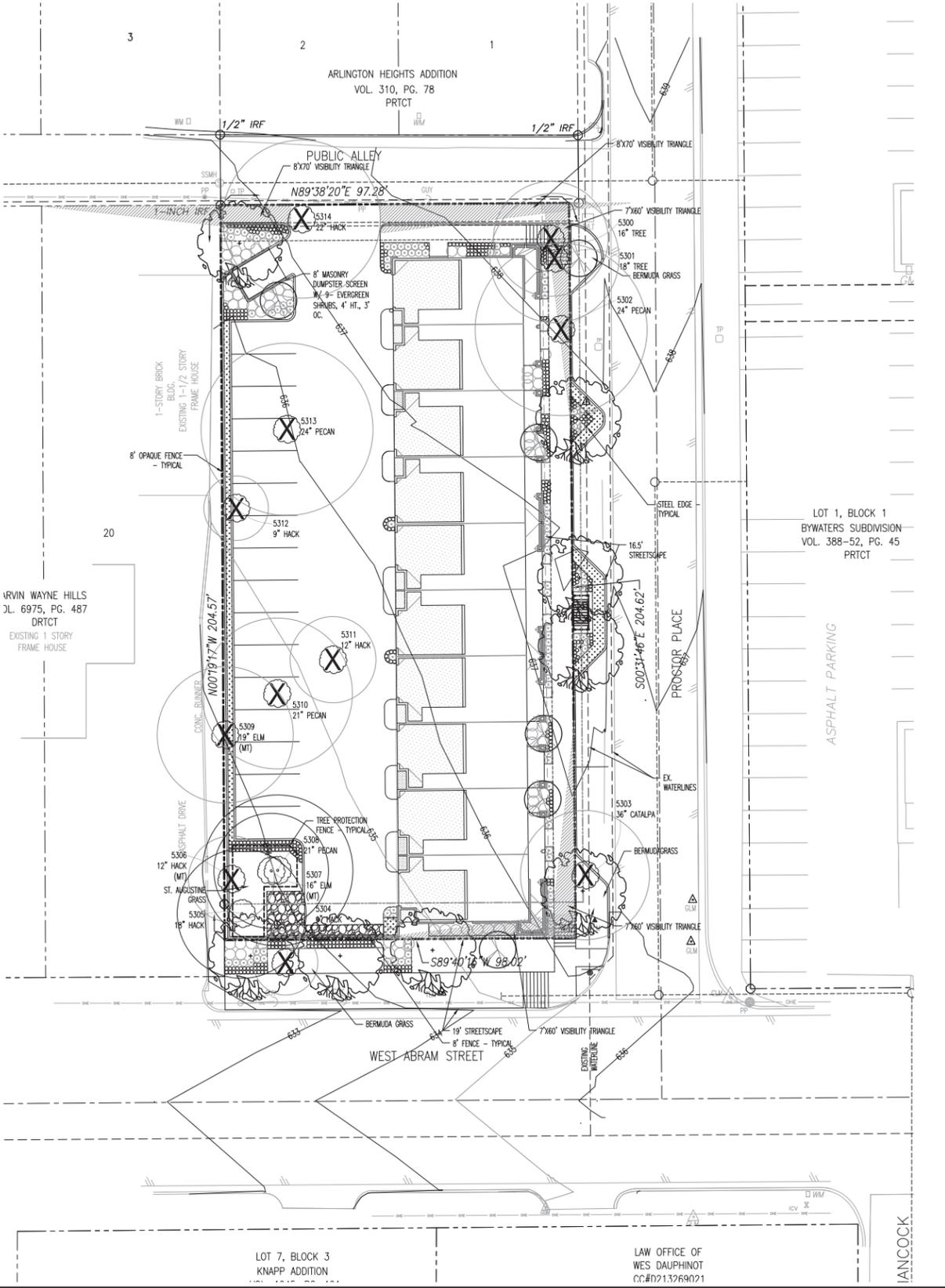
CONTRACTOR SHALL GUARANTEE PLANTS FOR A PERIOD OF ONE YEAR AFTER INSPECTION AND ACCEPTANCE. CONTRACTOR SHALL PROVIDE ONE YEAR MAINTENANCE ON PLANT MATERIALS.

CONTRACTOR SHALL NOTIFY OWNER/LANDSCAPE ARCHITECT 72 HOURS PRIOR TO SCHEDULED START OF PLANT INSTALLATION.

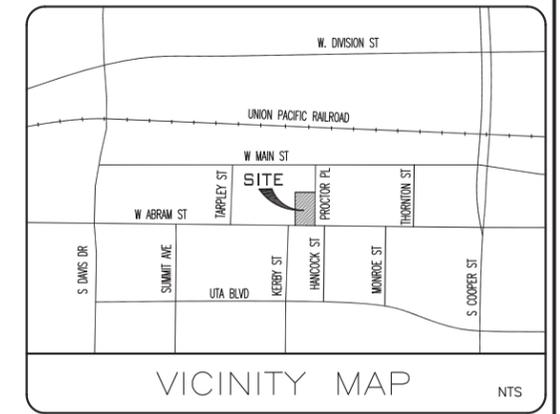
CONTRACTOR SHALL PROVIDE COPIES OF ORIGINAL INVOICES SHOWING PLANT SIZES AND SPECIES DELIVERED TO SITE (PRICE MAY BE DELETED), UPON DELIVERY OF PLANT MATERIALS. PLANT MATERIALS WHICH DO NOT MEET PLANT LIST SIZE, SPECIES AND GROWTH HABIT SHALL BE REJECTED. REJECTED PLANTS SHALL BE IMMEDIATELY REMOVED FROM SITE BY THE CONTRACTOR, UNLESS PRIOR WRITTEN AUTHORIZATION HAS BEEN RECEIVED.

STEEL EDGING SHALL BE PLACED BETWEEN TURF AND GROUNDCOVER OR SHRUB BEDS AS INDICATED ON THE DRAWINGS.

INSTALL STEEL EDGING PER MANUFACTURER'S RECOMMENDATIONS.



No.	DESCRIPTION	DATE
5		
4		
3		
2		
1		



GRASS ESTABLISHMENT NOTES

CONTRACTOR SHALL ESTABLISH GRASS IN ALL NEWLY DEVELOPED AND DISTURBED AREAS NOT OTHERWISE PLANTED WITH TREES, SHRUBS OR GROUNDCOVER. ALL AREAS WITHIN THE PROPERTY LINE SHALL RECEIVE NEWLY ESTABLISHED GRASS.

CONTRACTOR SHALL PROVIDE AN ESTABLISHED STAND OF GRASS AT TIME OF POSSESSION BY OWNER.

CONTRACTOR SHALL ESTABLISH BERMUDAGRASS SOD OR ST. AUGUSTINE SOD AS DIRECTED.

BOTTOM OF SWALES, SLOPES 3:1 AND STEEPER, DISTURBED AREAS IN THE RIGHT-OF-WAY, AND DISTURBED AREAS OUTSIDE OF THE PROPERTY LINE REGARDLESS OF LOCATION, SHALL BE SODDED WITH BERMUDAGRASS SOD.

PROVIDE TEMPORARY IRRIGATION AS REQUIRED TO ESTABLISH OFF-SITE GRASS. SEE GRADING PLANS FOR LIMITS OF DISTURBED AREA/GRADING.

NO SPECIES OF GRASS SHALL BE INSTALLED WHEN THE GROUND IS FROZEN NOR WHEN THE TEMPERATURE REMAINS OR IS FORECASTED TO REMAIN 32°F OR LOWER FOR A 48 HOUR PERIOD OR LONGER.

SITE DATA

TOTAL SITE AREA: ±0.447 ACRES (±19,478 SF)
PARKING SPACES PROVIDED: 26 ONSITE (INCLUDING 10 INTERIOR), 4 OFFSITE: TOTAL 30
PARKING SPACES REQUIRED: 25
ZONED: DNO-PD

GENERAL NOTES

SEE SHEET L1.1 FOR PLANTING PLAN.
 SEE CIVIL PLANS FOR SITE LAYOUT, GRADING AND PROPOSED UTILITIES.

ALL TRENCHING WITHIN 5' OF THE DRIPLINE REQUIRES ADVANCED APPROVAL BY THE CITY FORESTER. CONTACT CITY FORESTER PRIOR TO TRENCHING WITHIN 5' OF CANOPY OF EXISTING TREES.

ALL ROOTS 2" AND LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH PRUNING COMPOUND WITHIN TWO (2) HOURS OF INITIAL EXPOSURE.

FOR IRRIGATION, ANY LATERAL LINE OR MAINLINE TRENCHES WHICH ENROACH IN THE DRIPLINE OF EXISTING TREES SHALL BE HAND DUG.

FOR UTILITIES, ANY LINES WHICH CANNOT BE ALTERED TO FALL OUTSIDE THE CANOPY OF EXISTING TREES SHALL BE INSTALLED BY BORING A MINIMUM OF 24" BELOW GRADE.



akm la
 LANDSCAPE ARCHITECT
 P.O. BOX 17850 / FORT WORTH, TEXAS 76102
 2328 PRIMROSE AVENUE / FORT WORTH, TEXAS 76111
 ALIS@AKMLA.COM / 817.875.1839



THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS
 8213 SHOAL CREEK BOULEVARD, SUITE 107
 AUSTIN, TEXAS 78758
 TELEPHONE: 512.458.4126
 HAS JURISDICTION OVER THE INDIVIDUAL LICENSED UNDER THE LANDSCAPE ARCHITECTS REGISTRATION LAW, ARTICLE 249C, VERNON'S TEXAS CIVIL STATUTES.

DI SCIULLO-TERRY, STANTON & ASSOCIATES, INC.
 ENGINEERING AND SURVEYING
 908 WEST MAIN STREET • ARLINGTON, TEXAS 76013
 (817) 275-3361
 ESTABLISHED 1953 FIRM NUMBER F-615

TREE MITIGATION AND LANDSCAPE PLAN for ZONING

DODSON DEVELOPMENT
PROCTOR PLACE TOWNHOMES
LOT 21R, BLOCK 1,
ARLINGTON HEIGHTS ADDITION
ARLINGTON, TARRANT COUNTY, TEXAS

DESIGNED: AKM	SCALE: 1"=20'	DATE: MARCH 23, 2015	SHEET: L1.0
DRAWN: AKM		PROJECT No.: E-1035	
CHECKED: AKM			



4 BUILDING TYPE 'A' END ELEVATION
SCALE: 1/8"=1'-0"



3 BUILDING TYPE 'A' END ELEVATION
SCALE: 1/8"=1'-0"



2 BUILDING TYPE 'A' REAR ELEVATION
SCALE: 1/8"=1'-0"



1 BUILDING TYPE 'A' FRONT ELEVATION
SCALE: 1/8"=1'-0"



BRICK
BUILDING ENDS, LANDSCAPE WALLS
MANUFACTURER: ACME BRICK
COLOR BLEND: HICKORY CREEK



PAINT 1
SECOND AND THIRD FLOOR STUCCO
PROJECTIONS, DOORS, BUILDING ENDS
MANUFACTURER: SHERWIN WILLIAMS
COLOR: ARCADE WHITE SW7100



PAINT 2
THIRD FLOOR STUCCO BODY, SIDING
BODY
MANUFACTURER: SHERWIN WILLIAMS
COLOR: SIMPLIFY BEIGE SW6085



PAINT 3
FIRST AND SECOND FLOOR SIDING BODY
MANUFACTURER: SHERWIN WILLIAMS
COLOR: CLASSIC LIGHT BUFF SW0050



PAINT 4
PRIMARY TRIM COLOR, ROOF
PROJECTIONS, BALCONY DOORS,
GARAGE DOORS
MANUFACTURER: SHERWIN WILLIAMS
COLOR: TRUSTY TAN SW6087



PAINT 5
BALCONY RAILINGS
MANUFACTURER: SHERWIN WILLIAMS
COLOR: URBANE BRONZE SW7048



METAL ROOFING
BALCONY ROOFS EXCLUDING END UNITS
MANUFACTURER: BERRIDGE
COLOR: ZINC GRAY



SHINGLE ROOFING
MAIN ROOF, END UNIT BALCONY ROOFS
MANUFACTURER: GAF TIMBERLINE
COLOR: MISSION BROWN

PROCTOR PLACE TOWNHOMES MATERIAL BOARD
ARLINGTON, TEXAS

Staff Report



Zoning Case PD15-1 (Southwind Meadows)

Planning and Zoning Meeting Date: 5-20-15

Document Being Considered: Ordinance

RECOMMENDATION

Following the public hearing, consider Planned Development PD15-1, with a Development Plan.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

Request

The applicant requests to change the zoning on approximately 48.2 acres addressed at 944, 1000, 1010, 1020, and 1030 Ragland Road, and generally located south of Ragland Road and west of South Watson Road.

Current zoning: Planned Development (PD) for Residential Single-Family 5 (RS-5), Office Commercial (OC), Neighborhood Commercial (NC), and Community Commercial (CC), with exclusions.

Requested zoning: Planned Development (PD) for Residential Single-Family 5 (RS-5) and Community Commercial (CC) uses, with a Development Plan

The subject property, which has PD zoning with an expired development plan, allowed for the construction of single family residential and commercial uses. The proposed rezoning will limit the development to primarily single family residential construction, and remove the majority of the commercial zoning from the previously approved PD. Only the northeast portion of the property will allow commercial uses north of the proposed Ragland Road.

Adjacent Land Uses

The adjacent property to the west is developed with single family homes and is zoned PD. The property to the south is undeveloped, and is zoned Residential Estate (RE). The property to the north is developed as a gas well site and is zoned Community Commercial (CC), an Electric Utility Substation zoned RE, and vacant property zoned General Commercial (GC). The property to the east is within the city limits of Grand Prairie, zoned agricultural, and is largely undeveloped.

Development Plan

The development plan indicates 160 single family lots and one commercial lot. The residential lots are divided into two different areas of differing lot sizes. The proposed 150 lots on the north side of Southwind Drive and adjacent to Ragland Road are to be a minimum lot size of 5,000 square feet. The ten lots located south of Southwind Drive will be a minimum of 9,600 square feet in size.

Open Space

The applicant is proposing to include four amenity lots for use by the residents throughout the development. The largest amenity lot, adjacent to Southwind Drive, provides a pool, gazebo, and amenity center building to include restrooms. A pond and fountain are proposed west of the pool. The amenity lot located in the northeast corner of Tract 3, which is located in a drainage/detention area, will include increased landscaping including four-

inch caliper shade trees and a continuation of the sidewalk interior to the development connecting to the sidewalk along South Watson Road. Six-foot tall ornamental fencing will be used for the residential lots adjacent to the amenity lots.

Trail System

A midblock amenity lot on the western edge of the proposed site would provide a new six-foot concrete trail and entrance to connect to the neighboring development's existing trail system. The trail system is also proposed to be extended to the north and connect to Ragland Road within the Oncor easement area by creating an amenity lot between Tract 1 and Tract 3.

Internal Streetscape

The development shall comply with the internal streetscape standards of the Unified Development Code as a five-foot wide sidewalk and street trees are proposed.

A landscaped traffic bulb is proposed midblock to provide a traffic calming measure. The location of the traffic bulb is placed to line up with the entrance of the amenity lot connecting the trail system to the street. This area will be landscaped with trees and shrubs in addition to turf grass.

External Streetscape

A five-foot sidewalk will continue along South Watson Road and connect to the existing sidewalk along Ragland Road.

The perimeter of the development will contain a six-foot tall brick wall, with enhanced columns spaced at 50 foot intervals and at entrances to the development. This wall will be constructed of brick unit by unit with mortar between. No compressed cement type wall is proposed. The perimeter fencing complies with the enhanced fencing requirements to prevent monotony by providing the stone columns at 50 foot intervals.

Trees planted at the perimeter of the development along South Watson Road and Ragland Road are proposed to be a minimum of four caliper inches at the time of planting. The proposed landscaped beds at the perimeter of the development are curvilinear in nature, with taller evergreen shrubs on the backside of the beds, and with shrubs and ornamental grasses in front to provide additional aesthetic appeal to the street frontage and soften the appearance of the wall.

There is no development plan submitted for the one proposed commercial lot on the north side of the proposed Ragland Road extension at this time. Any future development will need to comply with Non-Residential Design Standards of the UDC.

Comprehensive Plan Analysis

The 2015 Comprehensive Plan, *99 Square Miles*, contains goals to provide residential neighborhoods with a variety of high quality housing options for Arlington's current residents.

In addition to providing a pleasant residential neighborhood environment in the Southeast sector, the proposed development increases the supply of moderate-income housing and will offer a small number of larger lots with the ability to construct ten custom homes in Tract 4, south of Southwind Drive. While the area is established with existing residential and the proposed development is consistent the existing development, the area will benefit from the expansion of State Highway 360 and there is an opportunity to provide a broader mix of options.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:

- i. Case Information
- ii. Itemized Allowable Uses
- iii. Location Map
- iv. Photos
- v. Development Plan (9 pages)

Under separate cover:

None

Available in the City Secretary's office:

None

CITY COUNCIL DATE

June 16, 2015

STAFF CONTACTS

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Development Planning Manager
Community Development and Planning
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Gincy.Thoppil@arlingtontx.gov

Shon Brooks
Senior Planner
Community Development and Planning
817-459-6514
Shon.Brooks@arlingtontx.gov

Case Information



Applicant: Brown and Gay Engineers represented by Bo Trainor

Property Owner: Southwind Development LLC represented by Brown and Gay Engineers

Sector Plan: Southeast

Council District: 3

Allowable Uses: Residential Single-Family and Commercial

Development History: The subject site is currently unplatted.

No previous zoning cases have occurred in the general vicinity within the past five years.

Transportation: The proposed development has two points of access. One point of access is from South Watson Road. The other is from Ragland Road.

Thoroughfare	Existing	Proposed
South Watson Road	450' - 4 Lane Divided Highway	450' - 6 Lane Divided Highway, plus 2 Lane southbound and northbound frontage roads
Ragland Road	70' - 3 Lane Major Collector, including left-turn center lane	70' - 3 Lane Major Collector, including left-turn center lane

Traffic Impact: Trip generation is determined from the average rates for Single-Family Detached Housing from the 8th Edition ITE Trip Generation Manual, based on 161 dwelling units. Change in zoning will increase the average daily trips by 1541, with an addition of 124 trips during the a.m. peak hour and 165 trips during p.m. peak hour. The additional trips will not significantly impact the adjacent roadway systems. The intersection of the subdivision entrance at the beginning of the Ragland Road intersection is not a typical configuration. Further details will be needed on the layout of this intersection.

Water & Sewer: Water and sanitary sewer are available to the site through Southwind Drive, along South Watson Road north of Southwind Drive, and along Ragland Road.

Case Information



Drainage: This site is located in the Walnut Creek Drainage Basin.

This site has approximately 5 percent within the FEMA floodplain.

There is an existing drainage channel that spans from Ragland Road south to Southwind Drive, where proposed lots are located. A drainage analysis will need to provide an engineered solution for the conveyance of storm water through that area to the culvert under Southwind Drive, and for the dam overflow runoff.

No significant drainage impacts are expected to result if development complies with all relevant City ordinances.

Fire: Fire Station Number 16, located at 1503 Mansfield Webb Road, provides protection to this site. The estimated fire response time is within five minutes, which is in keeping with recommended standards.

School District: Mansfield Independent School District.

The proposed zoning request is located in the Mansfield Independent School District (MISD).

Notices Sent:

Neighborhood Associations:

- ACTION North
- Arlington Alliance for Responsible Government
- Arlington Chamber of Commerce
- Arlington Neighborhood Council
- East Arlington Renewal
- East Arlington Review
- Far South Arlington Neighborhood Association
- Forest Hills Home Owners Association
- Northern Arlington Ambience
- West Citizen Action Network (WeCan)
- Deer Creek Neighborhood Watch
- Harris Crossing HOA
- Southwind HOA

Property Owners: 86

Letters of Support: 0

Letter of Opposition: 0

Itemized Allowable Uses



Allowable Uses

Planned Development (PD) for all Residential Single-Family 5 (RS-5) uses and Community Commercial (CC) uses, with a Development Plan

Permitted (RS-5) - Dwelling, single-family detached on minimum 5,000 Square Feet, Non-Residential on minimum 15,000 square foot lots, Assisted living facility (≤ 6 residents), Community home for disabled persons, Foster family home, Foster group homes, Government administration and civic buildings helter, Religious assembly, Public or private school, Cemetery, Community garden, Public park or playground, Golf course, Utility lines, towers or metering station, garage-private, accessory swimming pool-private

Permitted (CC) - Nursing home, Art gallery or museum, Government administration and civic buildings, Domestic violence shelter, Mortuary/crematory/funeral chapel, Philanthropic institution (other than listed), Religious assembly, Business school, Public or private school, University/college/seminary, Hospital, Medical or dental office or clinic, Cemetery, Community garden, Public park or playground, Crop production, Gasoline sales, Catering service, Restaurant, Restaurant/take-out and delivery only, Office/business or professional, Telemarketing call center, Day care center, Private club/lodge/fraternal, General personal services (other than listed), Massage therapy clinic, Recreation/indoor (other than listed), Wedding chapel, Country club, Golf course, Major tourist attraction, General retail store (other than listed), Firearm sales, Pawn shop, Second-hand goods store, Swimming pool/spa and accessory sales and service, Medical or scientific research laboratory, Electric utility substation, Radio or TV station or studio, Utility lines, towers or metering station

Specific Use Permit (SUP) (RS-5) - Assisted living facility (≥ 7 residents), Philanthropic institution (other than listed), Bed and breakfast inn, Country club, Marina, Airport or landing field, Gas well, Telecommunication Facilities Towers ≤ 75 ft., Stealth towers ≤ 100 ft., Telecommunication Facilities Towers > 75 ft., Stealth towers > 100 ft.

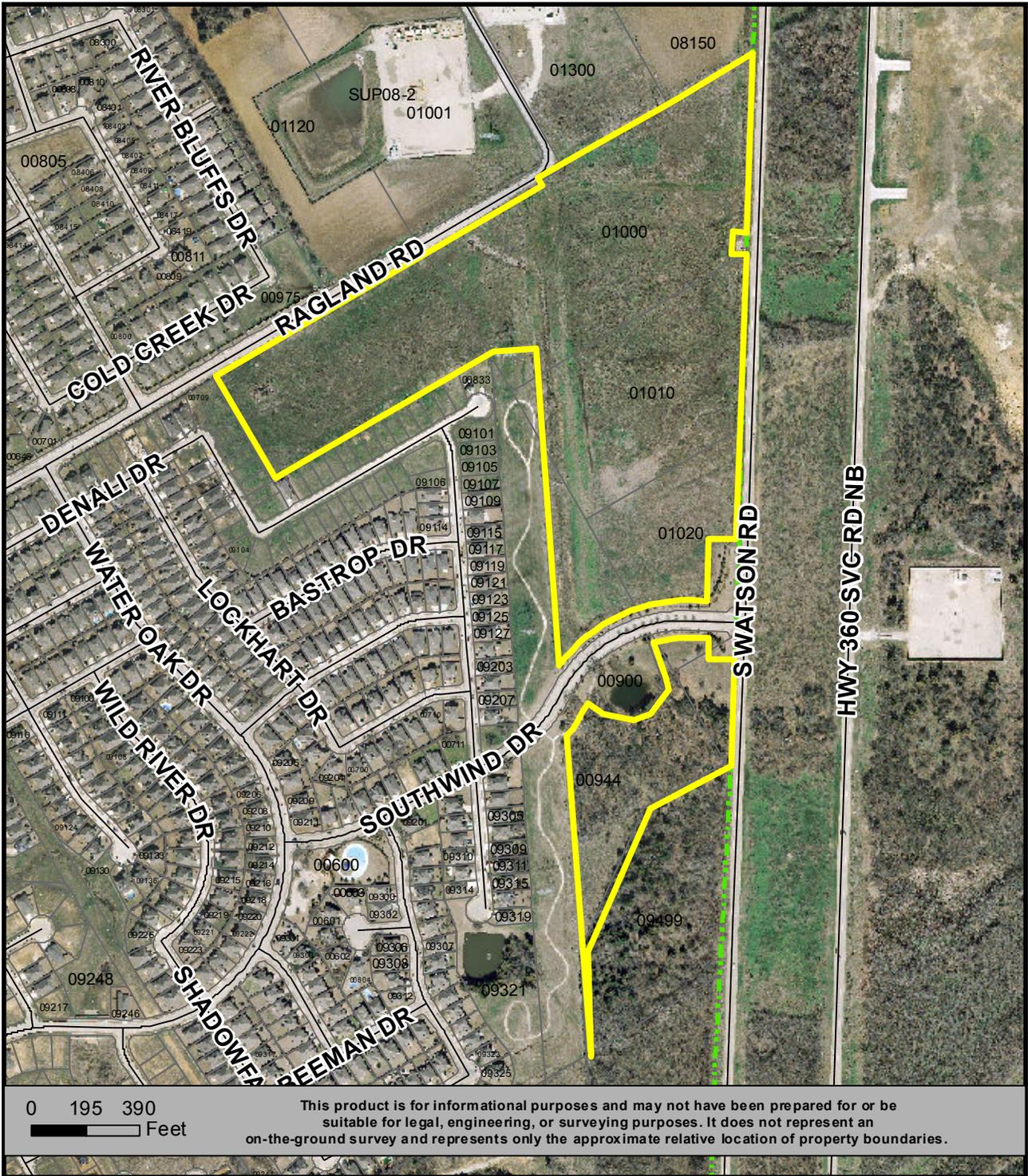
Specific Use Permit (SUP) (CC) - Halfway House, Hospital/psychiatric, Hotel/limited service, Residence hotel, Bail bond service, Banquet hall, Billiard parlor, Bowling alley, Bingo hall, Gun range, Night club, Recreation general outdoor (other than listed), Marina, Specialty paraphernalia sales, Wrecker service, Gas well, Transit passenger terminal, Utility installation other than listed, Telecommunication Facilities Towers > 75 ft., Stealth towers > 100 ft., Self-storage facility

Itemized Allowable Uses



Conditions (C) (RS-5) – Telecommunication Facilities Building-mounted antennae and towers, Nursery garden shop or plant sales, Telecommunication Facilities Building-mounted antennae and towers

Conditions (C) (CC) – Kennel/commercial, Veterinary clinic, Motor vehicle rental, Financial services, Restaurant with drive-through, Sidewalk café, Hotel/full service, Skating rink, Teen club, Theatre indoor, Building and landscaping materials and lumber sales, Nursery/garden shop or plant sales, Food processing, Custom and craft work, Telecommunication Facilities Building-mounted antennae and towers, Telecommunication Facilities Towers ≤75 ft., Stealth towers ≤100 ft.



LOCATION MAP PD15-1

**Planned Development for
RS-5 and CC uses
48.2 ACRES**



PD15-1

South of Ragland Road and west of South Watson Road



View of the subject site. View west from South Watson Road.



View of residential subdivision to West. View west.



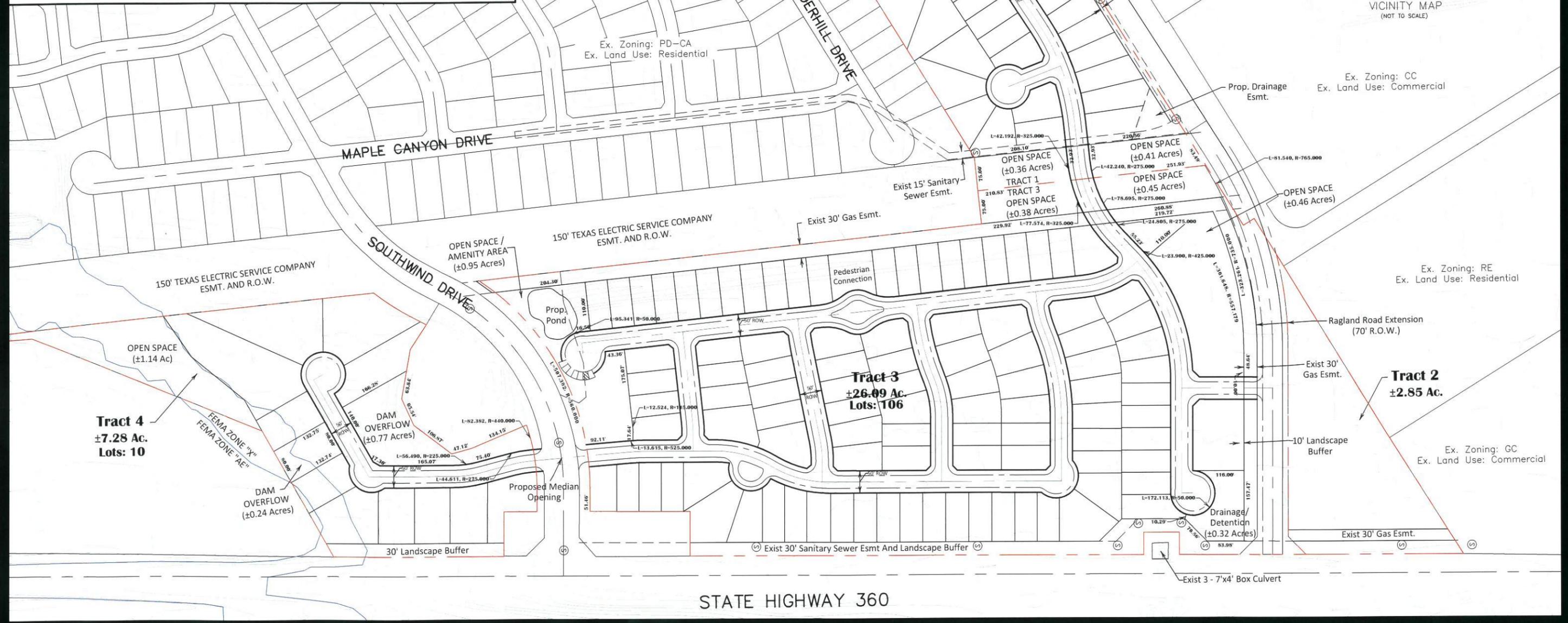
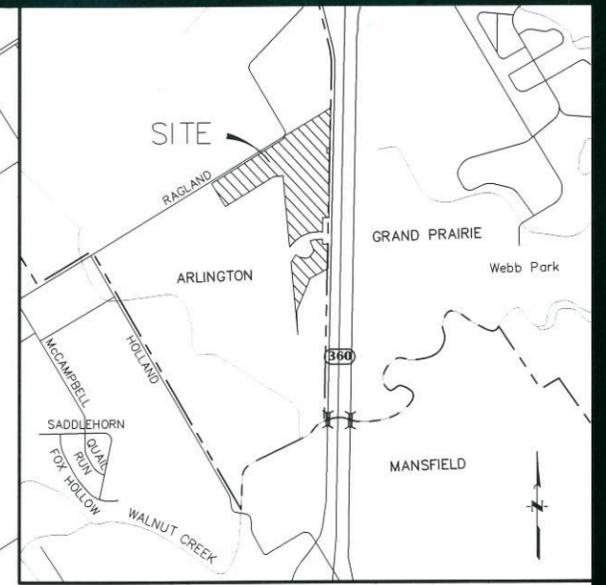
View of the adjacent electric substation. View north.

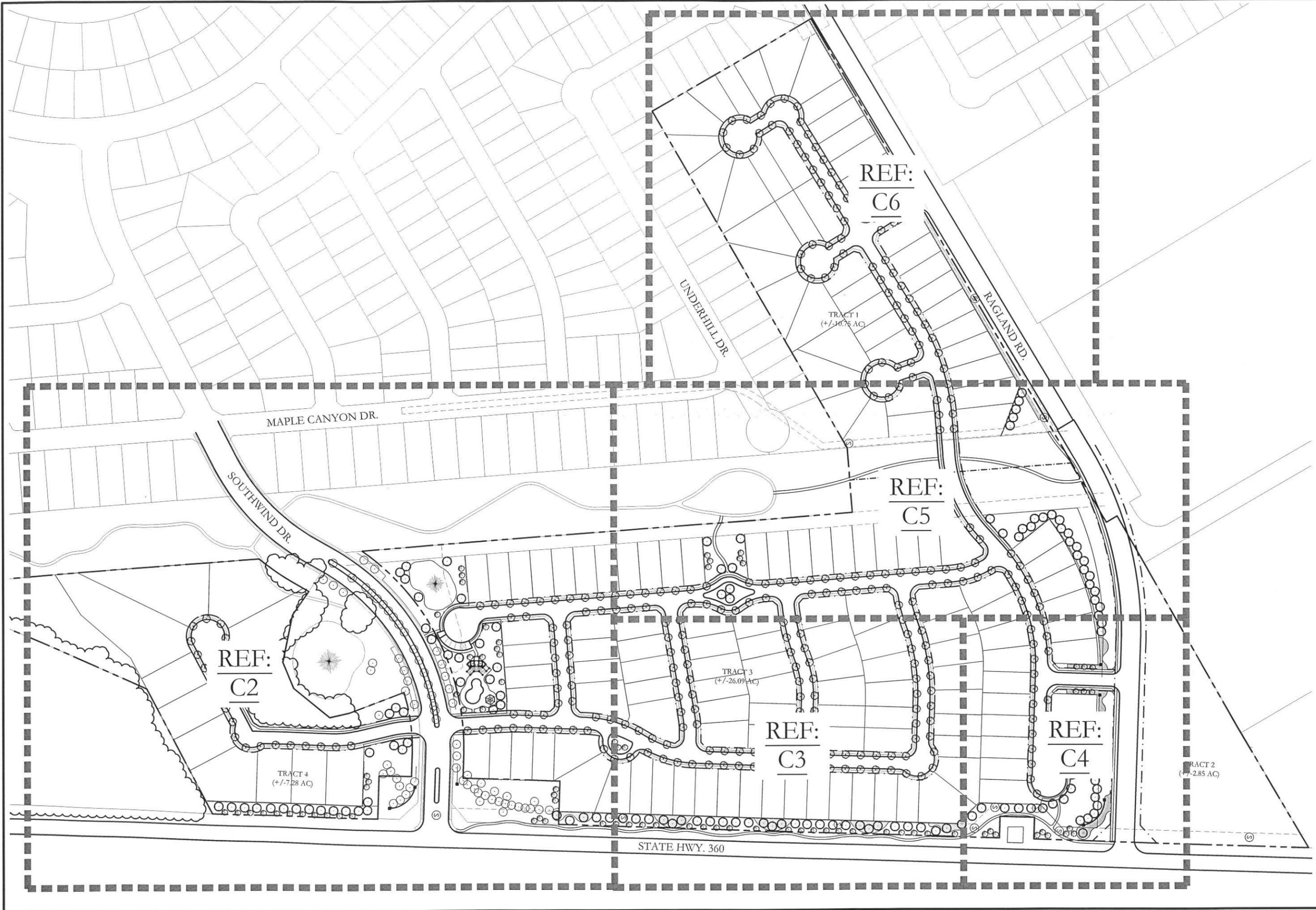


View of one of three notification signs. View west on Southwind Drive.

	Tract 1	Tract 2	Tract 3	Tract 4	Ragland ROW	Total
Area (Sq. Ft.)	468,248	124,096	1,136,425	317,058	54,325	2,100,152
Area (Acre)	10.75	2.85	26.09	7.28	1.25	48.21
# Lots	44	N/A	106	10	N/A	160
Min. Lot Dimensions	50' x 100'	N/A	50' x 100'	80' x 120'	N/A	N/A
Min. Lot Area (Sq. Ft.)	5,000	N/A	5,000	9,600	N/A	N/A
Min. Front Yard Setback (Ft.)	20	N/A	20	20	N/A	N/A
Min. Interior Side Yard Setback (Ft.)	5	N/A	5	5	N/A	N/A
Min. Exterior Side Yard Setback (Ft.)	10	N/A	10	10	N/A	N/A
Min. Interior Rear Yard Setback (Ft.)	5	N/A	5	5	N/A	N/A
Min. Exterior Rear Yard Setback (Ft.)	20	N/A	20	20	N/A	N/A
Density (DU/Ac)	4.09	N/A	4.06	1.37	N/A	3.32
Ex. Zoning	CC/RS-5	CC	CC	CC	CC	N/A
Prop. Zoning	PD	PD	PD	PD	N/A	N/A
Ex. Land Use	Agriculture	Agriculture	Agriculture	Agriculture	Agriculture	N/A
Prop. Land Use	Residential	Commercial/ Retail	Residential	Residential	N/A	N/A

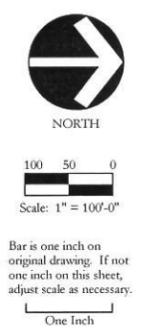
	Area
Paving - Residential Streets (Sq. Ft.)	220,317
Paving - Ragland Road (Sq. Ft.)	44,904
Open Space (Sq. Ft.)	180,520
Percent Paved Area (%)	12.96
Percent Open Area (%)	8.82
Average Residential Lot Size (Sq. Ft.)	7,129





THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.

May 4, 2015

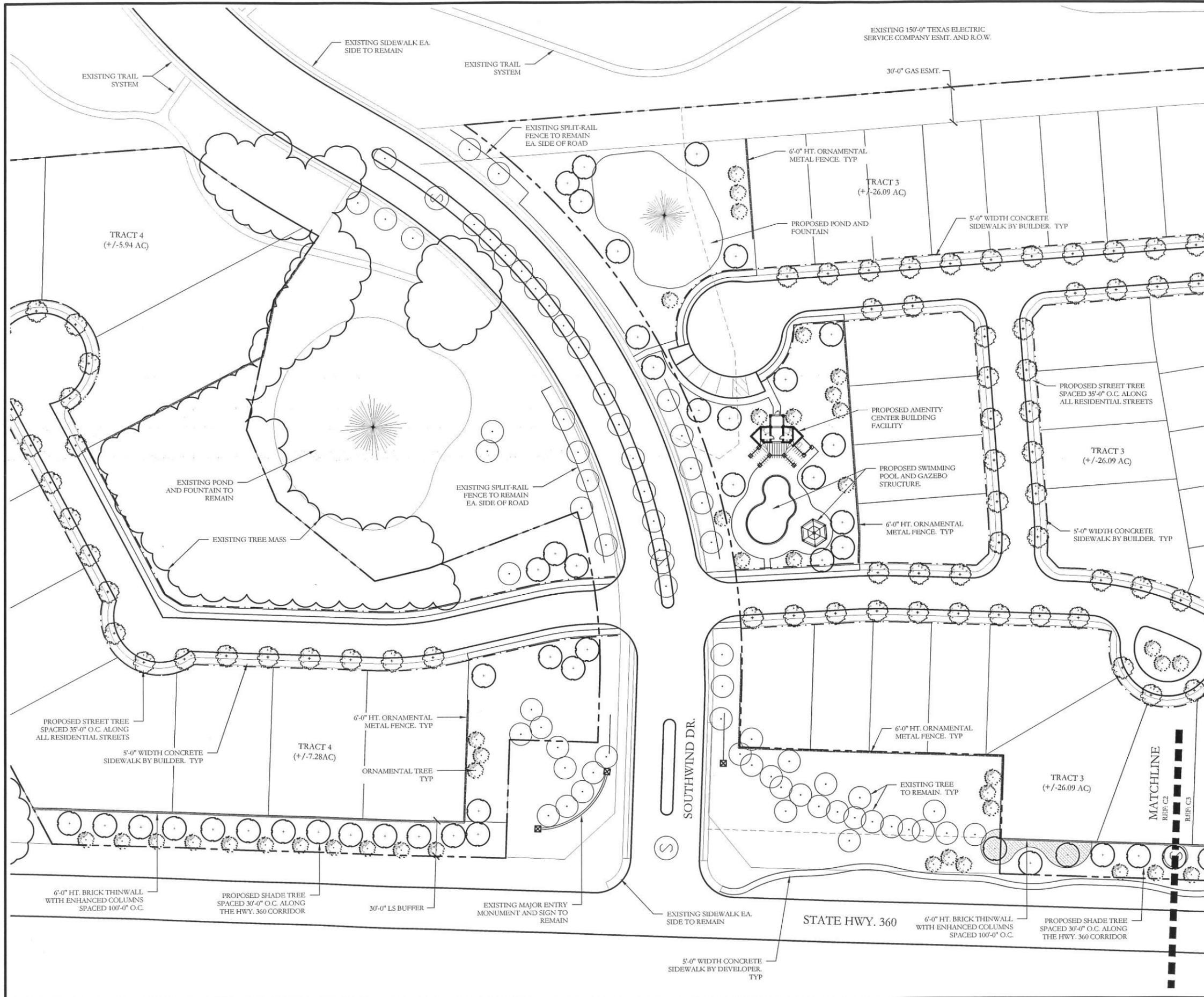


LANDSCAPE CONCEPT PLANS

Overall Layout Plan

Southwind Meadows

City of Arlington, Texas



LEGEND

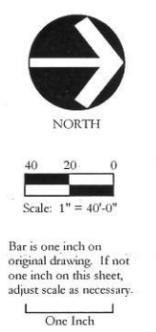
- 6'-0" HT. BRICK THINWALL WITH ENHANCED COLUMNS
- 6'-0" HT. ORNAMENTAL METAL FENCE
- ⊠ SECONDARY ENTRY MONUMENT AND SIGN BLADE
- ⊠ MAJOR ENTRY MONUMENT AND SIGN
- EXISTING TREE TO REMAIN
- PROPOSED 3" CALIPER STREET TREE
- PROPOSED 4" CALIPER SHADE TREE
- PROPOSED 2" CALIPER ORNAMENTAL TREE
- ENHANCED SHRUB AND GROUNDCOVER PLANTING
- ORNAMENTAL GRASS AND SHRUB BED
- LANDSCAPE EDGING

NOTE:
ALL DISTURBED AREAS SHALL RECEIVE 100% COVERAGE OF COMMON BERMUDA GRASS, COVERED WITH A PERMANENT IRRIGATION SYSTEM MAINTAINED BY THE HOA.

STREET TREES SHALL BE PLANTED ALONG ALL INTERNAL STREETS AT A RATE OF ONE-THREE INCH CALIPER TREE ON THIRTY-FIVE (35) FOOT CENTERS. STREET TREES SHALL BE ONE OF THE FOLLOWING SPECIES, LACEBARK ELM 20%, CEDAR ELM 20%, TEXAS ASH 20%, CHINESE PISTACHE 20%, LIVE OAK 10%, AND SOUTHERN RED OAK 10%.

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May 4, 2015

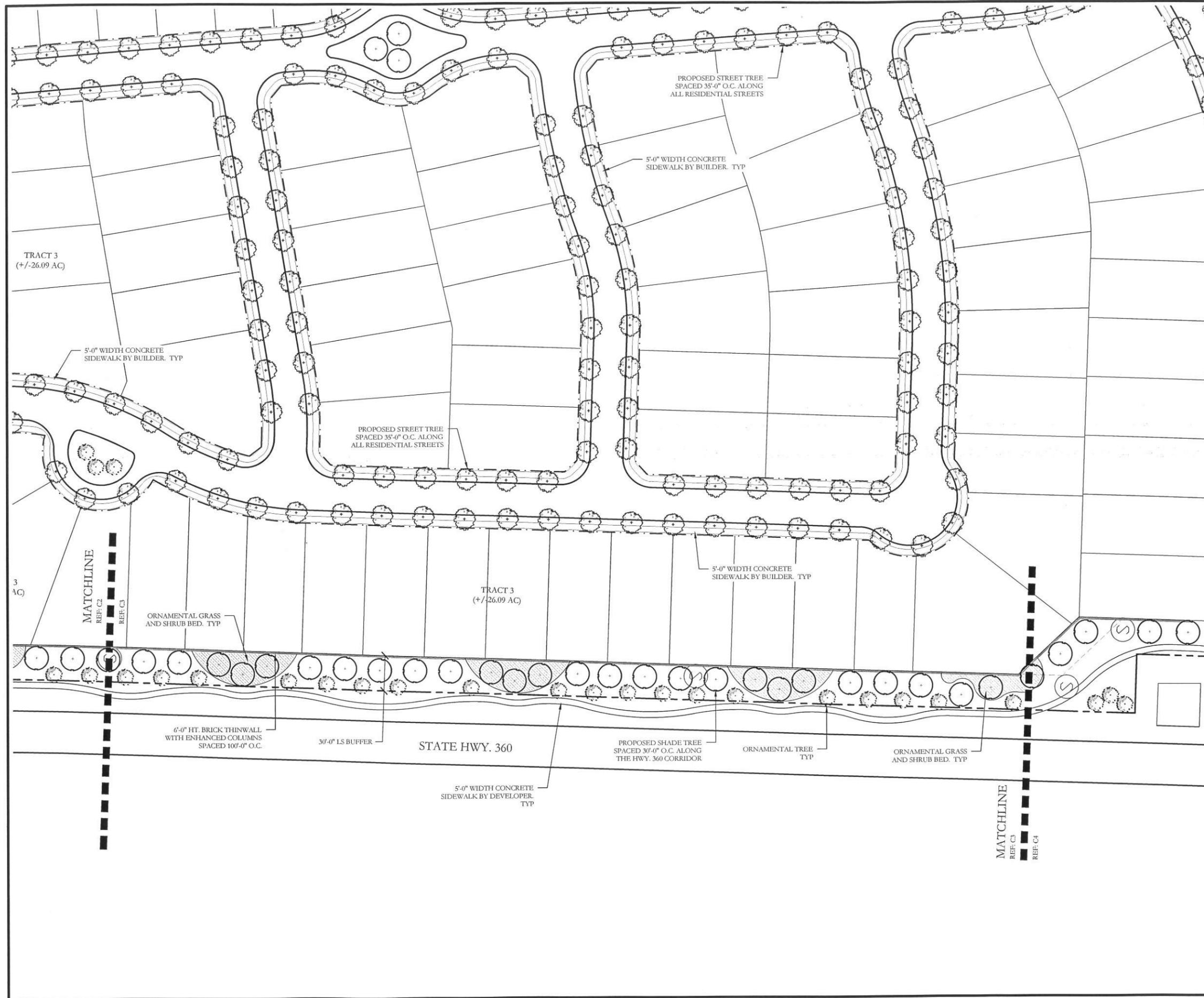


LANDSCAPE CONCEPT PLANS

Concept Plans

Southwind Meadows

City of Arlington, Texas



LEGEND

- 6'-0" HT. BRICK THINWALL WITH ENHANCED COLUMNS
- 6'-0" HT. ORNAMENTAL METAL FENCE
- SECONDARY ENTRY MONUMENT AND SIGN BLADE
- MAJOR ENTRY MONUMENT AND SIGN
- EXISTING TREE TO REMAIN
- PROPOSED 3" CALIPER STREET TREE
- PROPOSED 4" CALIPER SHADE TREE
- PROPOSED 2" CALIPER ORNAMENTAL TREE
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- ORNAMENTAL GRASS AND SHRUB BED
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CODY JOHNSON
 s.t.u.d.i.o

12217 CHATTANOOGA DR. FRISCO, TEXAS 75035
 EMAIL: CODY@CODYJOHNSONSTUDIO.COM

THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.

May 4, 2015

NORTH

Scale: 1" = 40'-0"

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

LANDSCAPE CONCEPT PLANS

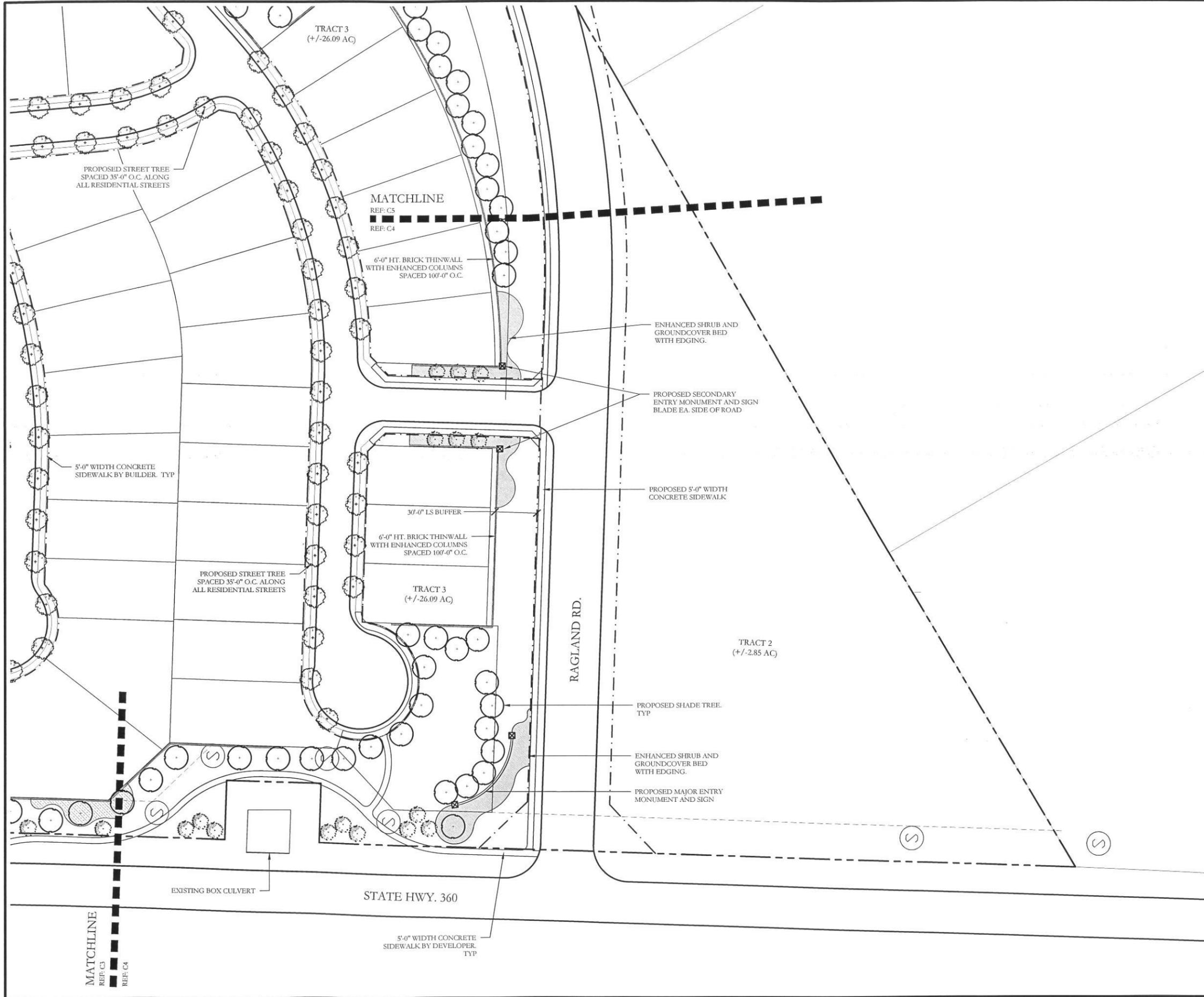
Concept Plans

Southwind Meadows

City of Arlington, Texas

CJS PROJECT NO.
JSR001

SHEET NO.
C3 of 8



LEGEND

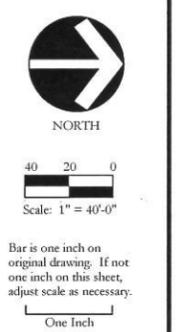
- 6'-0" HT. BRICK THINWALL WITH ENHANCED COLUMNS
- 6'-0" HT. ORNAMENTAL METAL FENCE
- SECONDARY ENTRY MONUMENT AND SIGN BLADE
- MAJOR ENTRY MONUMENT AND SIGN
- EXISTING TREE TO REMAIN
- PROPOSED 3" CALIPER STREET TREE
- PROPOSED 4" CALIPER SHADE TREE
- PROPOSED 2" CALIPER ORNAMENTAL TREE
- ENHANCED SHRUB AND GROUNDCOVER PLANTING
- ORNAMENTAL GRASS AND SHRUB BED
- LANDSCAPE EDGING

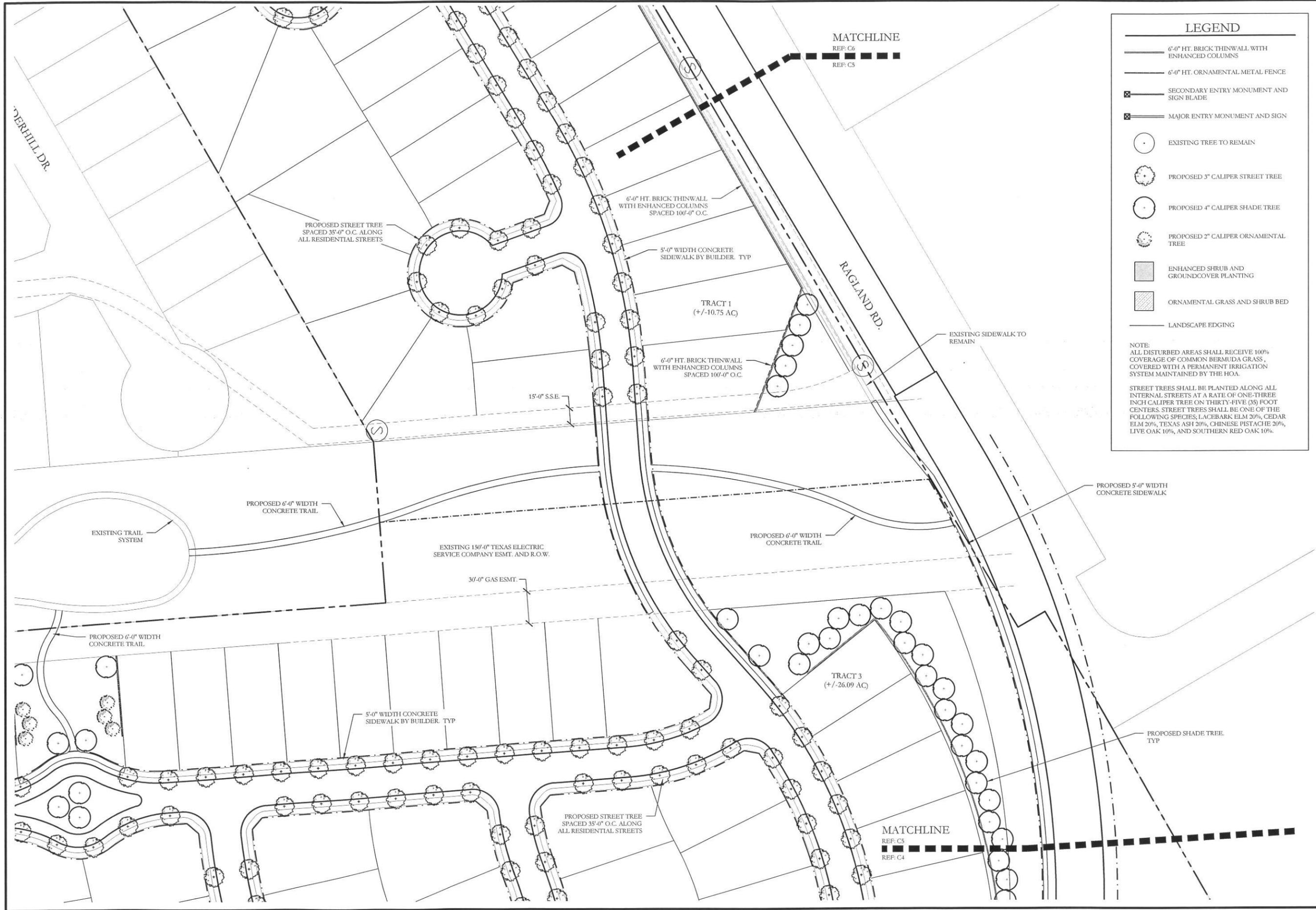
NOTE:
ALL DISTURBED AREAS SHALL RECEIVE 100% COVERAGE OF COMMON BERMUDA GRASS, COVERED WITH A PERMANENT IRRIGATION SYSTEM MAINTAINED BY THE HOA.

STREET TREES SHALL BE PLANTED ALONG ALL INTERNAL STREETS AT A RATE OF ONE-THREE INCH CALIPER TREE ON THIRTY-FIVE (35) FOOT CENTERS. STREET TREES SHALL BE ONE OF THE FOLLOWING SPECIES: LACEDARK ELM 20%, CEDAR ELM 20%, TEXAS ASH 20%, CHINESE PISTACHE 20%, LIVE OAK 10%, AND SOUTHERN RED OAK 10%.

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May 4, 2015





LEGEND

- 6'-0" HT. BRICK THINWALL WITH ENHANCED COLUMNS
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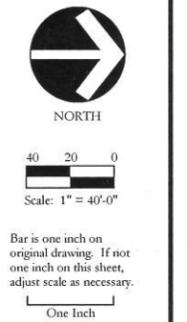
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CODY JOHNSON
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May 4, 2015



LANDSCAPE CONCEPT PLANS

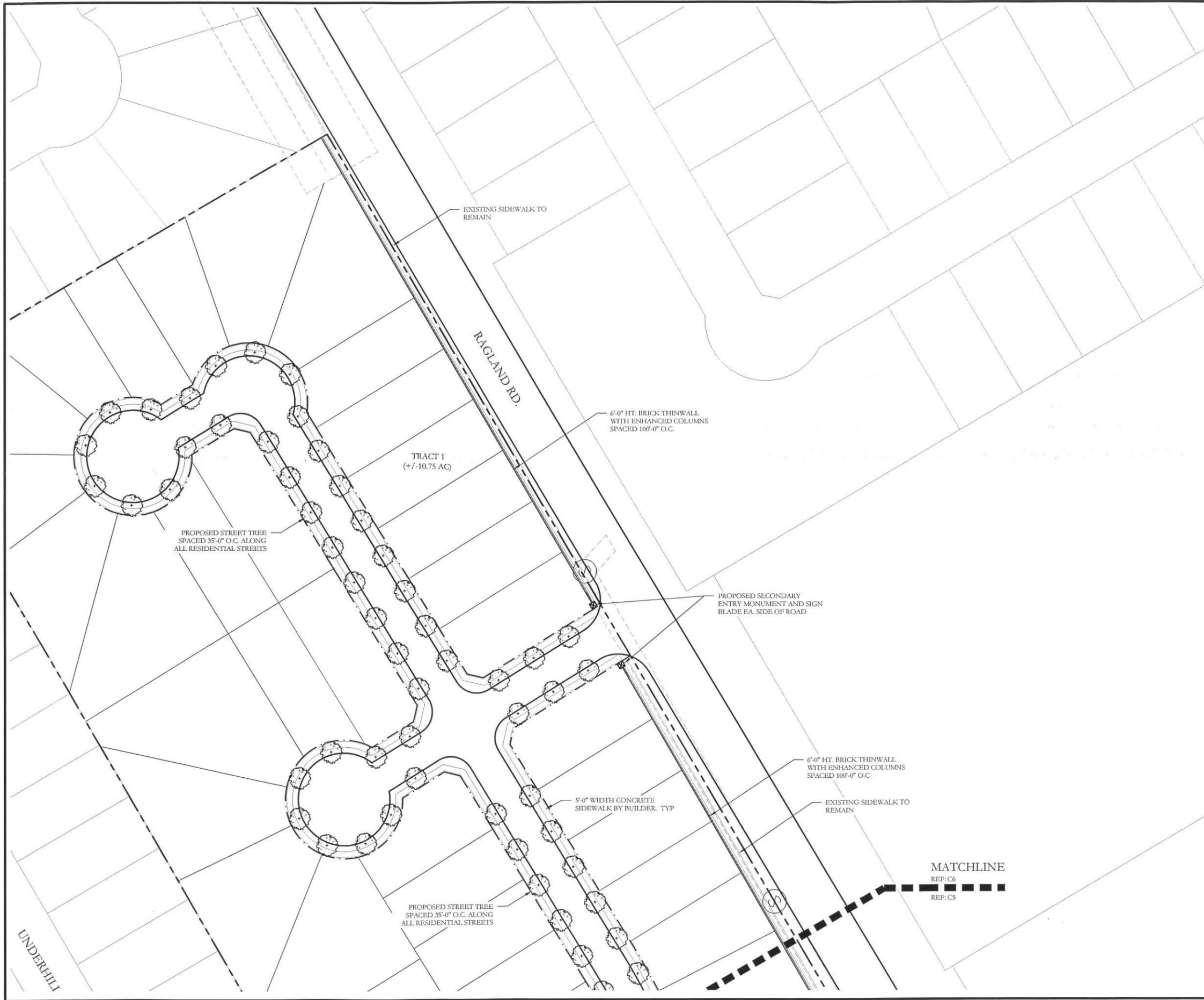
Concept Plans

Southwind Meadows

City of Arlington, Texas

CJS PROJECT NO.
JSR001

SHEET NO.
C5 of 8



LEGEND

- 6'-0" HT. BRICK THINWALL WITH ENHANCED COLUMNS
- 6'-0" HT. ORNAMENTAL METAL FENCE
- SECONDARY ENTRY MONUMENT AND SIGN BLADE
- MAJOR ENTRY MONUMENT AND SIGN
- EXISTING TREE TO REMAIN
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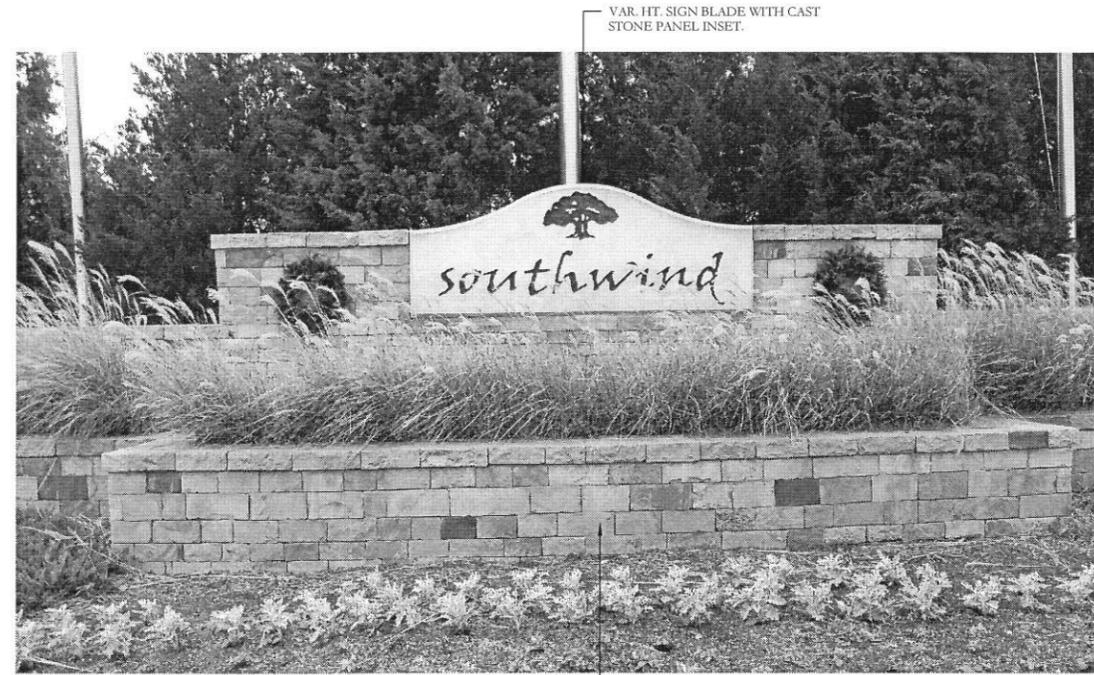
May 4, 2015

NORTH

Scale: 1" = 40'-0"

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch



1 MAJOR ENTRY MONUMENT AND SIGN PHOTO



2 BRICK THINWALL WITH ENHANCED COLUMNS PHOTO

THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.

May 4, 2015

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

LANDSCAPE CONCEPT PLANS

Concept Plans

Southwind Meadows

City of Arlington, Texas

CJS PROJECT NO.
JSR001
SHEET NO.
C7 of 8



1 SECONDARY ENTRY MONUMENT AND SIGN
PHOTO

THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.

May 4, 2015

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

LANDSCAPE CONCEPT PLANS
Concept Plans
Southwind Meadows
City of Arlington, Texas

CJS PROJECT NO.
JSR001
SHEET NO.
C8 of 8

Staff Report



Zoning Case PD15-4 (Cherry Sage)

Planning and Zoning Meeting Date: 5-20-15

Document Being Considered: Ordinance

RECOMMENDATION

Following the public hearing, consider Zoning Case PD15-4, with a Development Plan.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

Request

The applicant requests to change the zoning on approximately 0.47 acres addressed at 2300 Cherry Sage, and generally located south of Cherry Sage Drive and west of Fox Glen Drive.

Current zoning: Planned Development – Commercial Adjacency (PD-CA) for all Residential Single Family – 15 (RS-15) uses

Requested zoning: Planned Development (PD) for all Residential Single Family – 7.2 (RS-7.2) uses

Existing Site Conditions

The subject site is currently undeveloped. There are no trees or other features on the site. It is zoned as a planned development for residential uses with commercial adjacency because it was adjacent to agricultural (A) zoning. The adjacent zoning was re-classified as Residential Estate (RE) when the Unified Development Code (UDC) was adopted in June 2014, effective as of July 10, 2014. Thus, the subject site is no longer adjacent to non-residential or agricultural property.

Adjacent Land Uses

The surrounding property to the north, south, and west is zoned Residential Single Family – 7.2 (RS-7.2) and developed with single family homes. The property to the east is zoned RE and is undeveloped.

Proposed Development Plan

The applicant proposes to subdivide the site into three lots and construct a single family home on each lot. The development will fill in one of the few undeveloped areas remaining in the Fannin Farm residential subdivision. The request for the planned development is due to the minimum lot size for the proposed lots being less than the required 7,200 square feet of RS-7.2 zoning. The applicant is seeking a deviation of approximately 300 square feet, thus allowing the minimum lot size to be 6,900 square feet. The applicant proposes to build homes similar to those existing in the subdivision and in accordance with the residential design standards of the UDC.

Sector Plan

The 2015 Comprehensive Plan, *99 Square Miles*, contains goals to provide residential neighborhoods which have pleasant places to live with a variety of housing styles. Multiple types of single family housing, such as quality, well-designed detached dwellings, townhomes, condominiums, and zero lot line homes are desired. The proposed single family development is consistent with the strategies and goals in the Comprehensive Plan, as it

increases the available supply of quality housing and provides a pleasant residential neighborhood environment.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:

- i. Case Information
- ii. Itemized Allowable Uses
- iii. Location Map
- iv. Photos
- v. Development Plan (3 Pages)

Under separate cover:

None

Available in the City Secretary's office:

None

CITY COUNCIL DATE

June 16, 2015

STAFF CONTACTS

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Gincy.Thoppil@arlingtontx.gov

Nathaniel Barnett, AICP
Senior Planner
Community Development and Planning
817-459-6670
Nathaniel.barnett@arlingtontx.gov

Case Information



Applicant: Josue Cardenas

Property Owner: Hector Ruiz

Sector Plan: Southwest

Council District: 2

Allowable Uses: All uses as itemized in attachment ii.

Development History: The subject site is currently unplatted and commonly known as Tract 1 of the Mathew Maise Survey, A-1001.

No previous zoning cases have occurred in the general vicinity within the past five years.

Transportation: The proposed development has one point of access from Cherry Sage Drive.

Thoroughfare	Existing	Proposed
Cherry Sage Drive	50-foot, 2-lane undivided Local road	50-foot, 2-lane undivided Local road

Traffic Impact: The proposed zoning change will not impact the average daily trip generation.

Water & Sewer: Water and sewer services are available in Cherry Sage Drive.

Drainage: The site is located in the Rush Creek drainage basin. The site has no portion within the FEMA floodplain. No significant drainage impacts are expected to result from development of this site as long as all relevant city ordinances are complied with.

Fire: Fire Station Number 15, located at 906 Eden Road, provides protection to this site. The estimated fire response time is less than five minutes, which is in keeping with recommended standards.

School District: Mansfield Independent School District.

The proposed zoning request is located in the Mansfield Independent School District and has minimal impact on the schools serving this site.

Case Information



Notices Sent:

Neighborhood
Associations:

ACTION North
Arlington Alliance for Responsible Government
Arlington Chamber of Commerce
East Arlington Review
Fannin Farm Home Owners Association
Fannin Farms West Association, Inc.
Far South Arlington Neighborhood Association
Forest Hills Home Owners Association
Mondavi Estates Home Owners Association
Northern Arlington Ambience
Raintree Neighborhood Association
WeCan (West Citizen Action Network)

Property Owners: 19
Letters of Support: 0
Letter of Opposition: 0

Itemized Allowable Uses

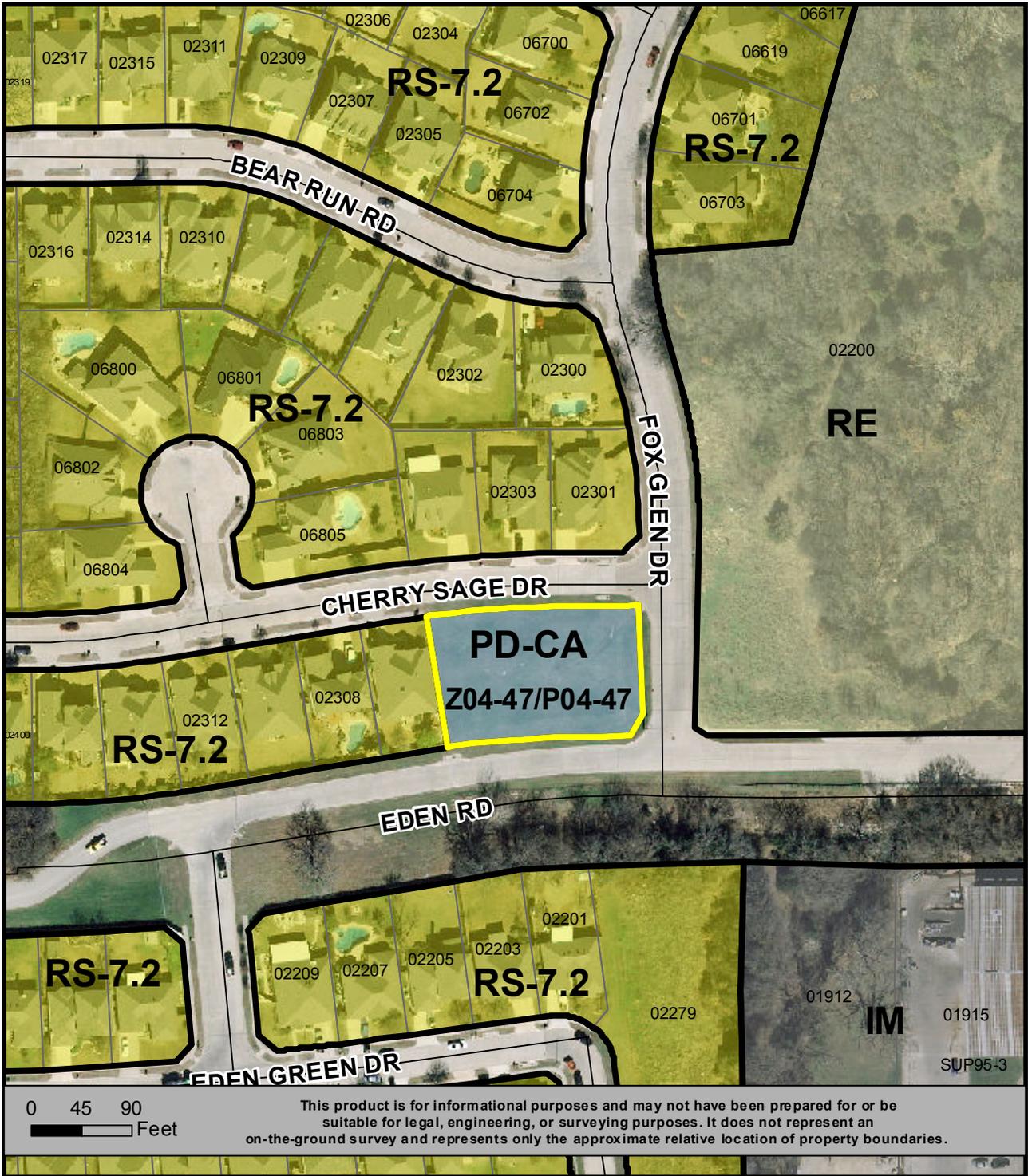


Allowable Uses: RESIDENTIAL SINGLE FAMILY-7.2

Permitted - Dwelling, single-family detached on minimum 7,200 Square Feet, Non-Residential on minimum 15,000 square foot lots, Assisted living facility (≤ 6 residents), Community home for disabled persons, Foster family home, Foster group homes, Government administration and civic buildings, Religious assembly, Public or private school, Community garden, Public park or playground, Golf course, Utility lines, towers or metering station, garage (private), and accessory swimming pool (private).

Specific Use Permit (SUP) - Assisted living facility (≥ 7 residents), Philanthropic institution (other than listed), Bed and breakfast inn, Day care center, Country club, Marina, Airport or landing field, Gas well, Telecommunication Facilities Towers ≤ 75 ft., Stealth towers ≤ 100 ft., Telecommunication Facilities Towers > 75 ft., Stealth towers > 100 ft., Community center (private), and Secondary living unit.

Conditions (C) - Telecommunication Facilities Building-mounted antennae and towers, Accessory building, Alternative energy system, Carport, and Home-based business.



LOCATION MAP
PD15-4

 **Planned Development for RS-7.2 uses**
0.470 ACRES





PD15-4

South of Cherry Sage Drive and west of Fox Glen Drive



View of subject site facing north.



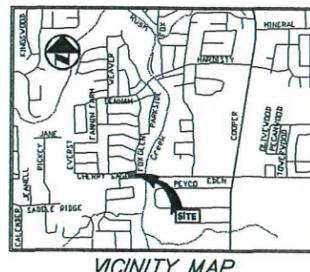
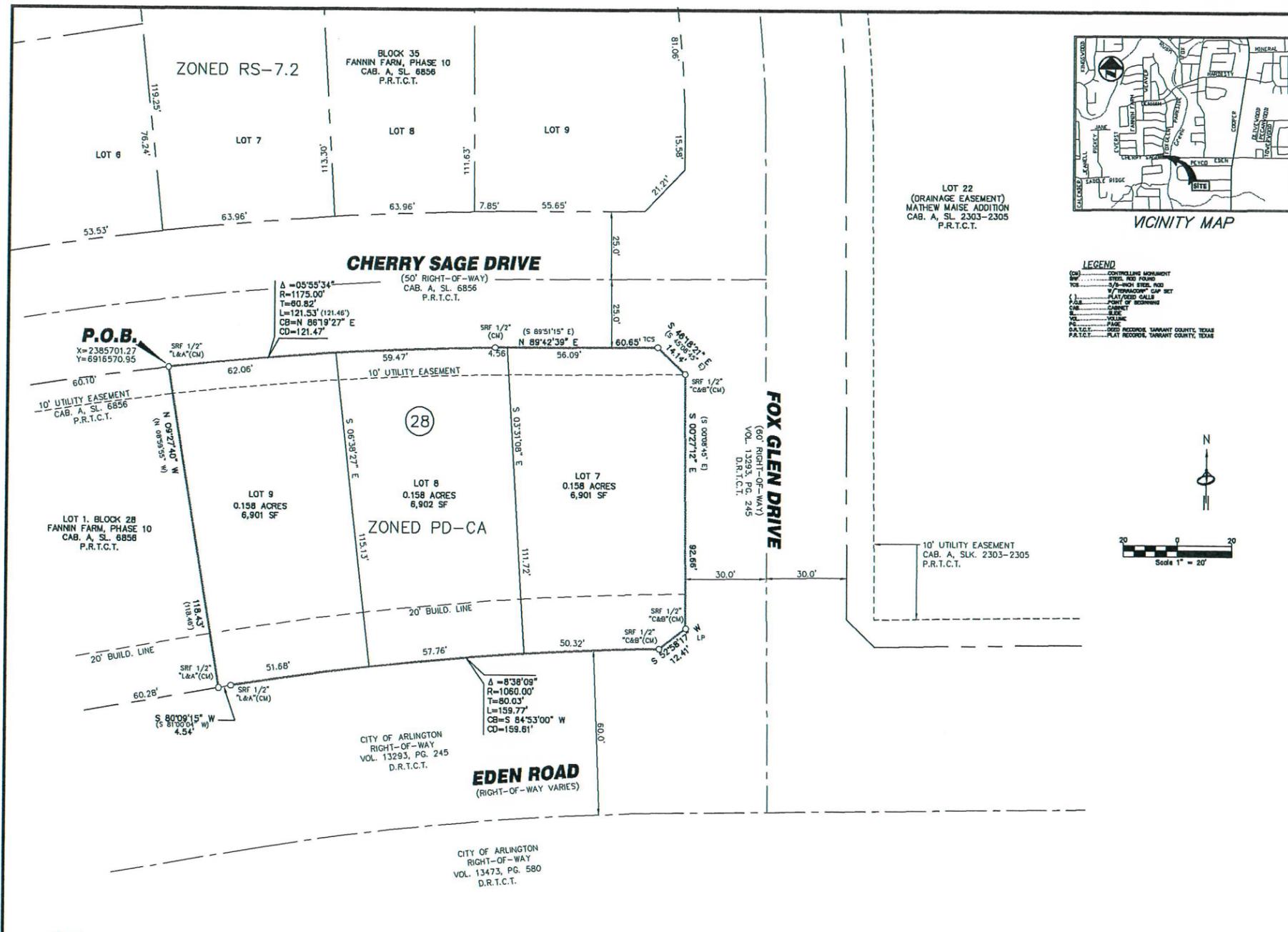
View east of undeveloped property.



View south.

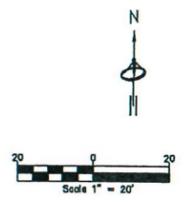


View of subject property facing west.



LEGEND

(CM)	CONTROLLING MONUMENT
SRF	STEEL ROD FOUND
YES	3/8-INCH STEEL ROD
NO	1/2-INCH STEEL ROD
(C)	PLAY/RECORD CALLS
(P)	POINT OF BEGINNING
(L)	LINE
(A)	AREA
(V)	VOLUME
(P.G.)	PAGE
(D.R.T.C.T.)	DEED RECORDS, TARRANT COUNTY, TEXAS
(P.L.T.C.T.)	PLAT RECORDS, TARRANT COUNTY, TEXAS



OWNER'S DEDICATION

WHEREAS United Construction is the owner of a 0.475 acre parcel of land situated in the Mathew Maise, Survey, Abstract No. 1001, City of Arlington, Tarrant County, Texas, said tract being the same tract conveyed in Special Warranty Deed, dated _____ by TSI Properties, L.P. to United Construction recorded in Document No. _____ of the Official Public Records of Tarrant County, Texas, said parcel being more particularly described as follows:

BEGINNING at a 1/2-inch steel rod with "L&A" cap found in the South right-of-way line Cherry Sage Drive (a 50 foot wide right-of-way), said point being the Northeast corner Lot 1, Block 28, Fannin Farm, Phase 10, an addition to the City of Arlington, Tarrant County, Texas, according to the plat thereof recorded in Cabinet A, Slide 6856 of the Plat Records of Tarrant County, Texas, said point being the beginning of a curve to concave to the South having a radius of 1175.00 feet, a central angle of 05°55'34", the long chord of which bears North 86°19'27" East for a distance of 121.47 feet;

THENCE Easterly with the said South right-of-way line of Cherry Sage Drive and said curve for an arc length of 121.53 feet to a 1/2-inch steel rod found;

THENCE North 89°42'39" East (South 89°51'15" East, deed) continuing with said South right-of-way line for a distance of 60.65 feet to a 5/8-inch steel rod with "TERRACORP" cap set at the Northwest end of a right-of-way corner clip at the intersection of said South right-of-way line and the West right-of-way of Fox Glen Drive (a 60 foot wide right-of-way);

THENCE South 46°18'21" East (South 45°08'45" East, deed) for a distance of 14.14 feet to a 1/2-inch steel rod with "C&B" cap found at the southeast end of said right-of-way corner clip and in the said West right-of-way of Fox Glen Drive;

THENCE South 00°27'12" East (South 00°08'45" East, deed) with said West right-of-way line for a distance of 92.66 feet to a 1/2-inch steel rod with "C&B" cap found at the Northeast end of a right-of-way corner clip at the intersection of said West right-of-way line of Fox Glen Drive and the North right-of-way of Eden Drive (a variable width right-of-way, 90 feet to the centerline)

THENCE South 52°58'17" West along said right-of-way corner clip for a distance of 12.41 feet to a 1/2-inch steel rod with "C&B" cap found at the Southwest end of said right-of-way corner clip and in the said North right-of-way line of Eden Drive; said point being the beginning of a non-tangent curve concave to the South, having a radius of 1060.00 feet, a central angle of 08°38'09", the long chord of which bears South 84°53'00" West for a distance of 159.61 feet;

THENCE Westerly with said North right-of-way and said curve for an arc length of 159.77 feet to a 1/2-inch steel rod with "L&A" cap found at the end of said curve;

THENCE South 80°09'15" West (South 80°00'04" West, deed) continuing with said North right-of-way line for a distance of 4.54 feet to a 1/2-inch steel rod with "L&A" cap found at the Southeast corner of the aforementioned Lot 1;

THENCE North 09°27'40" West (North 08°59'55" West, deed), departing said North right-of-way line and with the East line of said Lot 1, for a distance of 118.43 (118.46, deed) feet to the POINT OF BEGINNING and containing 20,704 square feet or 0.475 acres of land, more or less.

NOW THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS:

That the United Construction, the Owner, does hereby adopt this plat designating the herein before described property as FANNIN FARM, PHASE III, LOTS 7, 8 & 9, BLOCK 28, an addition to the City of Arlington, Tarrant County, Texas, and do hereby dedicate fee simple to the public use forever any streets, rights-of-way, and alleys shown thereon, and do hereby reserve the easements shown on this plat for the mutual use and accommodation of all public utilities desiring to use or using the same. Any public utility shall have the right to remove and keep, removed all or part of any buildings, fences, trees, shrubs or other improvements or growths in which any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easements, and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement for the purpose of constructing, reconstructing, inspecting, and patrolling, without the necessity at any time of procuring the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Arlington, Texas.

Witness our hands this ____ day of _____, 2015.

TSI Properties, L.P.

NOTARY CERTIFICATE

STATE OF TEXAS
COUNTY OF TARRANT

Before me, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing Instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

Given under my hand and seal of office, this ____ day of _____, 2015.

Notary Signature

- NOTES**
- This Survey is Issued without the benefit of a current title report and is subject to revision upon receipt thereof.
 - Selling a portion of this addition by metes and bounds is a violation of the City Subdivision Ordinance and State platting statutes and is subject to fines and withholding of utilities and building permits.
 - According to the Flood Insurance Rate Map No. 48439C0335 K, published by the Federal Emergency Management Agency, dated: September 26, 2009, the surveyed property shown hereon does not lie within any special flood hazard area inundated by the 100-year flood.
 - This property may be subject to charges related to Impact fees, and the applicant should contact the City regarding and applicable fees due.
 - This plat does not alter or remove deed restrictions or covenants, if any, on this property.
 - Visibility Triangles shall be provided at the intersections of all public and private streets in accordance with City Ordinances. All landscaping within the visibility triangles shall comply with the visibility triangle ordinance.

SURVEYOR CERTIFICATE

That I, Neil D. Culver, a Registered Professional Land Surveyor licensed in the State of Texas, do hereby certify that I have prepared this plat from an actual on the ground survey of the land and the monuments shown hereon were found and/or placed under my personal supervision and in accordance with the Platting Rules and Regulations of the City Plan Commission of the City of Arlington, Texas.

Neil D. Culver
Registered Professional Land Surveyor
No. 5211



Certificate of Approval of the Planning and Zoning Commission

This plat has been submitted to and considered by the PLANNING AND ZONING COMMISSION of the City of Arlington, and is hereby approved by such Commission. This ____ day of _____, 2015, to approve this Plat.

By: _____
Chairman
Attest

Secretary

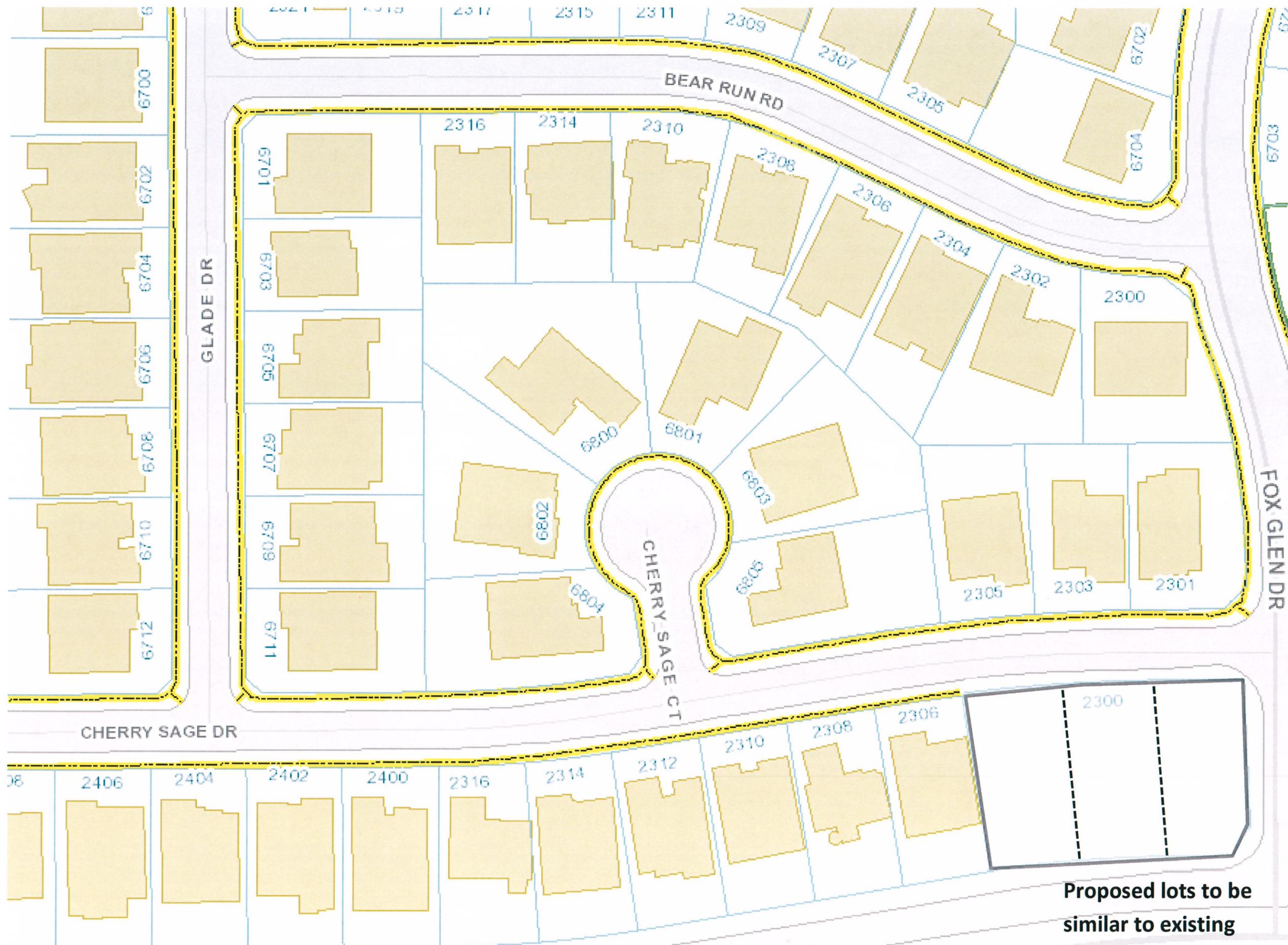
FILED DOC. No. _____, CAB. ____, SLIDE _____

United Construction
5201 Meadowbrook Drive
Fort Worth, TX 76112
817-296-3704

FINAL SURVEY
OF
**FANNIN FARM
PHASE III
LOT 7, 8 & 9, BLOCK 28**
AND BEING SITUATED IN THE
MATHEW MAISE SURVEY, ABSTRACT No. 1001
CITY OF ARLINGTON,
TARRANT COUNTY, TEXAS
0.475 ACRES / 3 LOTS

TerraCorp Associates LLC
3960 Broadway Blvd. Ste 236
Garland, TX 75043
ph. 972-805-4526, fax 972-805-4526
www.terraCorpsurvey.com TBPLS Reg No. 101858-00

DRAWING T04-111092-001.dwg



Footprints of existing lots

Proposed lots to be similar to existing



Sample of homes to be built; to comply with the Residential Design Standards of the Unified Development Code

Staff Report



Zoning Case PD15-3 (Orville Person Bail Bonds)

Planning and Zoning Meeting Date: 5-20-15

Document Being Considered: Ordinance

RECOMMENDATION

Following the public hearing, consider Zoning Case PD15-3, with a Development Plan.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

Request

The applicant requests to change the zoning on approximately 0.319 acres addressed at 622 West Main Street; generally located south of West Main Street and east of South Cooper Street.

Current zoning: Downtown Business (DB)

Requested zoning: Planned Development (PD) for Downtown Business (DB) uses plus a Bail Bond Service in Suite 109 (500 square feet), with a Development Plan

A 'Bail Bond Service' use is allowed outright in the Light Industrial (LI) and Industrial Manufacturing (IM) zoning districts. A Specific Use Permit (SUP) approval is required for this use in the Community Commercial (CC), General Commercial (GC) and Highway Commercial (HC) zoning districts. In the DB zoning district, this use is not allowed. Through this PD rezoning request, the applicant is requesting to allow this use, only in Suite 109.

Background

- On January 15, 2015, Orville Person Bail Bonds was issued a Certificate of Occupancy (CO) for Suite 109 of the building addressed at 622 West Main Street, with the zoning use listed as "office, business or professional".
- On March 19, 2015, the operator was sent a letter advising that the CO was issued in error (since the specific use in operation, which is "bail bond service", was not an allowed use in the DB zoning district) and hence will be revoked.
- On March 27, 2015, the applicant appealed the decision to revoke the CO.
- On April 14, 2015, the applicant submitted a Zoning application with the requested zoning, as well as a letter requesting to hold off on the ZBA application, until the Zoning Application was heard.

The old Zoning Ordinance allowed 'bail bond service' use in the DB zoning district with SUP approval. With the adoption of the Unified Development Code (UDC) in June 2014, this use (along with a few others) was prohibited in this zoning district.

Existing Site Conditions

The subject site is developed with an approximately 6,700 square-foot, two-story office building built in 1979 fronting Main Street. The associated parking lot with 23 spaces is located at the rear of the building.

Adjacent Land Uses

The immediate surrounding properties are zoned DB. The subject site is surrounded by commercial uses. To the north of the site across West Main Street is a bail bond service and office uses. To the south is a fast food restaurant with a drive-through as well as gasoline sales and convenience store uses. To the east is another fast food restaurant, and to the west is undeveloped land which appears to have the trash receptacle for the subject site.

The table below shows a list of all bail bond services within one mile of the subject site. A map showing these locations is also attached.

Bail Bond Service locations within one mile of subject site			
Bail Bond Service	Location	Zoning	Date of CO
Downtown Tower Properties	625 W. Main Street Suite 100	Downtown Business (DB) – SUP96-06	June 22, 2005
AA Best Bail Bonds	623 W. Division Street	Downtown Neighborhood Overlay – General Commercial (DNO-GC)	January 16, 2006
Just Bail Bonds	633 W. Division Street	Downtown Neighborhood Overlay – General Commercial (DNO-GC)	April 29, 2008
All Nite Bail Bonds	717 W Division Street Suite 103	Downtown Neighborhood Overlay - General Commercial	April 28, 2015
Derrek Sainz Sale and Service	918 W. Division Street	Downton Neighborhood Overlay – General Commercial/Light Industrial (DNO-GC/LI)	February 8, 1999

Development Plan

The applicant does not propose any changes to the existing developed site and building. Attached are photographs of the subject Suite 109 and the first floor layout with Suite 109 highlighted.

Staff Considerations

- The purpose of the DB district is to provide concentrated downtown, civic, service, office, institutional, cultural, residential, and other uses in the existing central business district. The DB district is intended to aid in the revitalization of Arlington's original downtown area, and to establish an identity for the downtown area by permitting uses that enhance its role as the unique civic and ceremonial heart of the City.
- Historically, 'Bail Bond Service' uses have not adhered to the signage and lighting regulations of the UDC.
- The proposal does not satisfy the criteria identified in the UDC, Section 10.4.3.G Planned Development Criteria.

Comprehensive Plan

The 2015 comprehensive plan, *99 Square Miles*, contains land use goals for the Downtown/ University Neighborhood area. This high-intensity area encourages a mix of residential,

retail, educational, office, civic, cultural and entertainment uses in the area. Mixed-use buildings are recommended to help maximize the potential of downtown.

The proposed 'Bail Bond Service' use is not consistent with the purpose of the DB zoning district or the strategies and goals in the Comprehensive Plan.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:

- i. Case Information
- ii. Itemized Allowable Uses
- iii. Location Map
- iv. Photos
- v. Development Plan (7 pages)
- vi. Opposition letters and petition
- vii. Copy of CO
- viii. Revocation of CO
- ix. Bail Bonds Map

Under separate cover:

None

Available in the City Secretary's office:

None

CITY COUNCIL DATE

June 2, 2015

STAFF CONTACTS

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Jennifer Pruitt, AICP, LEED AP
Principal Planner
Community Development and Planning
817-459-6138
Jennifer.Pruitt@arlingtontx.gov

Case Information



Applicant: Harrison Steck, P.C. represented by Andrew B. Piel

Property Owner: Sang Jin Lee, dba 622 Main Leasing

Council District: 5

Allowable Uses: All uses as itemized in attachment ii.

Development History: The subject site is currently platted and commonly known as the Sol Davis Addition lot 6-A.

Case No.	Location	Request	Disposition
SUP12-11	622 Main Street (Blackjack Bail Bonds)	SUP for a Bail Bond Service	No action taken

Transportation: The proposed development has one point of access from West Main Street.

Thoroughfare	Existing	Proposed
West Main Street	70-foot, 2 lanes undivided Minor Collector	70-foot, 2 lanes undivided Minor Collector

Traffic Impact: The proposed PD zoning will generate similar traffic patterns as the existing zoning and will not impact the adjacent street system.

Water & Sewer: Water and sewer utilities are available to the subject site.

Drainage: The site is located within the Johnson Creek drainage basin. No portion of this lot lies within the FEMA floodplain.

No adverse drainage impacts are anticipated to occur when City ordinances are complied with.

Fire: Central Fire Station, located at 403 West Main Street, provides protection to this site. The estimated fire response time is less than two minutes, which is in keeping with recommended standards.

School District: Arlington Independent School District.

The proposed zoning request is located in the Arlington Independent School District and has no impact on the schools serving this site.

Case Information



Notices Sent:

Neighborhood
Associations:

ACTION North
Arlington Alliance for Responsible Government
Arlington Chamber of Commerce Association
Central Arlington Property Owners, Incorporated
East Arlington Renewal
East Arlington Review
Far South Arlington Neighborhood Association
Forest Hills Home Owners Association
Heart of Arlington Neighborhood Association
Northern Arlington Ambience
Oak Hill Neighborhood
Old Town Neighborhood Association
Stratford Court Home Owners Association
Town North Neighbors
West Citizen Action Network (WECAN)

Property Owners:

11

Letters of Support:

0

Letter of Opposition:

0

Itemized Allowable Uses



Allowable Uses:

Planned Development (PD) for Downtown Business (DB) uses plus a Bail Bond Service in Suite 109, with a Development Plan

Permitted - Business school, Art gallery or museum, Government administration and civic buildings, Mortuary; crematory; funeral chapel, Philanthropic institution (other than listed), Religious assembly, Business school, Public or private school, Trade school, University;| college; seminary, Hospital, Medical or dental office or clinic, Community garden, Public park or playground, Catering service, Restaurant, Restaurant, take-out and delivery only, Bed and breakfast inn, Office, business or professional, Day care center, General personal services (other than listed), Massage therapy clinic, Private club; lodge; fraternal organization, Country club, Golf course, General retail store (other than listed), Firearm sales, Swimming pool, spa and accessory sales and service, Medical or scientific research laboratory, Transit passenger terminal, Electric utility substation, Radio or TV station or studio, Utility lines, towers or metering station, Wholesale supply business, Bail Bonds Service

Specific Use Permit (SUP) - Dwelling, multi-family, Dwelling, townhouse, Assisted living facility (≤ 6 residents), Assisted living facility (≥ 7 residents), Hospital, psychiatric, Commercial parking garage, Restaurant with drive-through, Hotel, boutique, Hotel, limited service, Residence hotel, Bowling alley, Wedding chapel, Major tourist attraction, Recreation, general outdoor (other than listed), Farmer's market, Microbrewery; microdistillery; winery, Gas well, Airport or landing field, Heliport, Electric generating plant, Utility installation other than listed, Telecommunication Facilities Towers > 75 ft., Stealth towers > 100 ft., Self-storage facility

Conditions (C) - Dwelling, live/work, Boarding house; fraternity or sorority house; private dorm, Independent senior living facility, Veterinary clinic, Financial services, Bar, Sidewalk café, Hotel, full service, Mixed-use development or building, Nightclub, Recreation, indoor (other than listed), Teen club, Theatre, indoor, Nursery, garden shop or plant sales, Open-air vending, Custom and craft work, Telecommunication Facilities Building-mounted antennae and towers, Telecommunication Facilities Towers ≤ 75 ft., Stealth towers ≤ 100 ft.



LOCATION MAP PD15-3



**Planned Development (PD) for
Downtown Business (DB)
uses plus a Bail Bond Service,
0.319 ACRES**



PD15-3

South of West Main Street and east of South Cooper Street.



View North from subject site.



View of site from West Main Street. View south.



View of south from site.



View north east from site.

ORVILLE PERSON BAIL BOND
WRITTEN STATEMENT IN SUPPORT OF PLANNED
DEVELOPMENT APPLICATION
622 WEST MAIN STREET, SUITE#109

1.01 Orville Person Bail Bond (“Applicant”) received a certificate of occupancy from the City of Arlington on January 15, 2015 has been operating at 622 West Main Street, Suite#109 for three months.

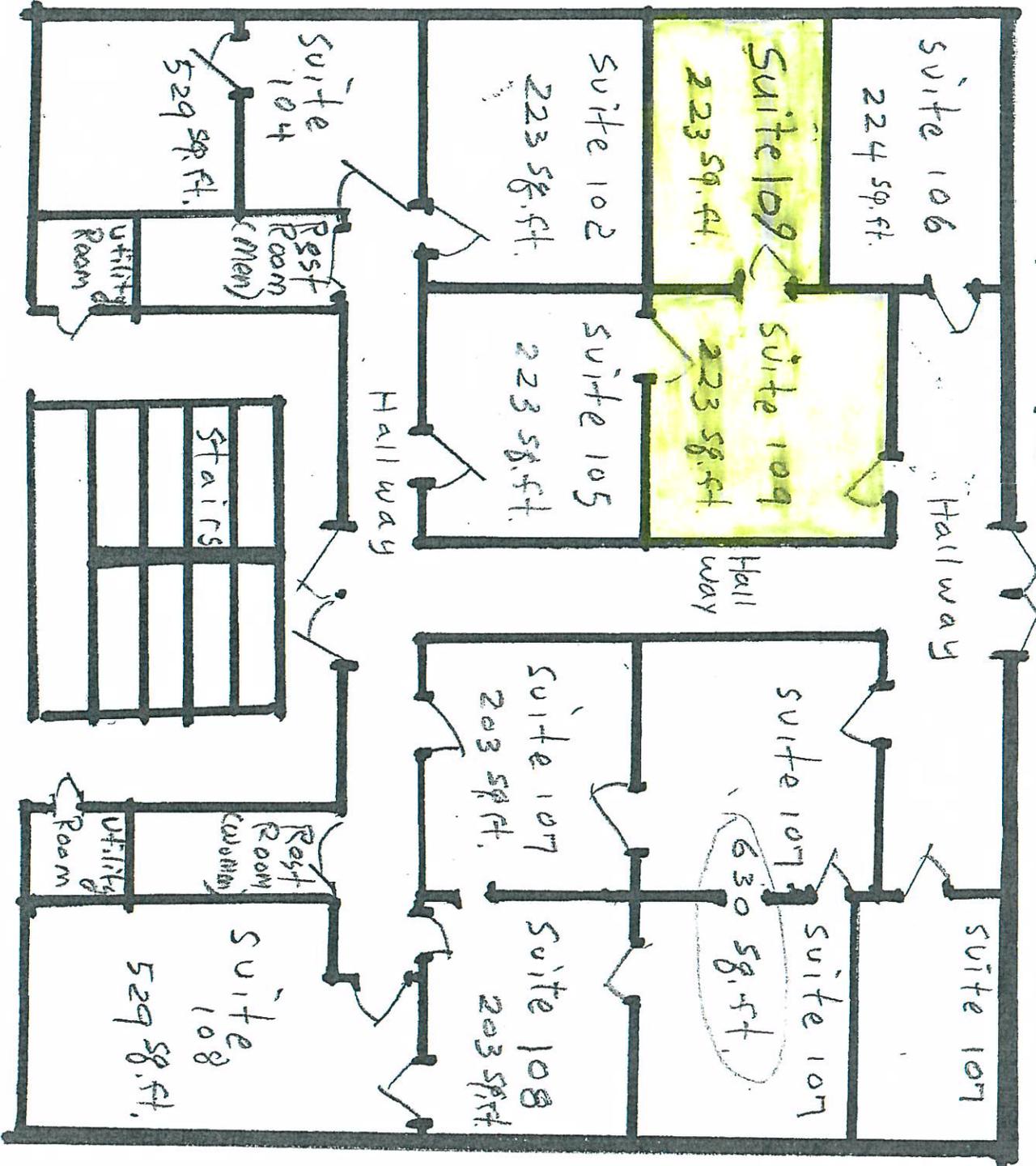
1.02 This site is located in close proximity to the Arlington City Jail, which is critical to the success of Applicant’s business. Directly across the street at 625 Main Street, two other bail bond offices operate (Just Bail and A Way Out Bail Bond), placing 622 West Main Street in very close proximity to land already zoned for the business Applicant is engaged in. Applicant’s business is not of an unusual character in its location.

1.03 As Arlington is a growing community, it needs additional bail bond services like Applicant’s to ensure healthy competition in the industry, and that the families of the increasing number of people who pass through Arlington’s justice system can obtain prompt, professional service at a reasonable price.

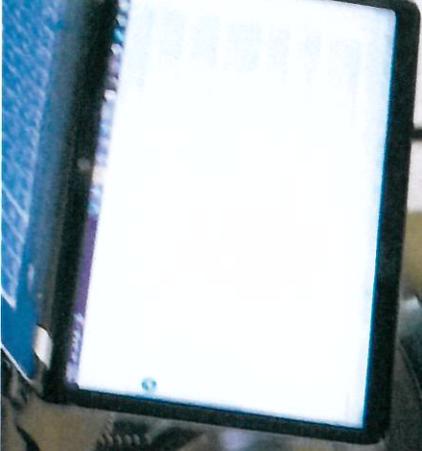
1.04 Applicant’s location is a compact, professionally finished-out office that is located in one office suite of one building that Applicant has invested over \$15,000.00 in remodeling. Applicant’s office has a waiting room and wall monitors so families don’t have to wait in the jail lobby to watch for the release of their loved ones. Applicant provides refreshments to comfort the families of inmates during what is likely one of the most stressful times in their life. Applicant has submitted five photos of the tasteful interior of its business for review.

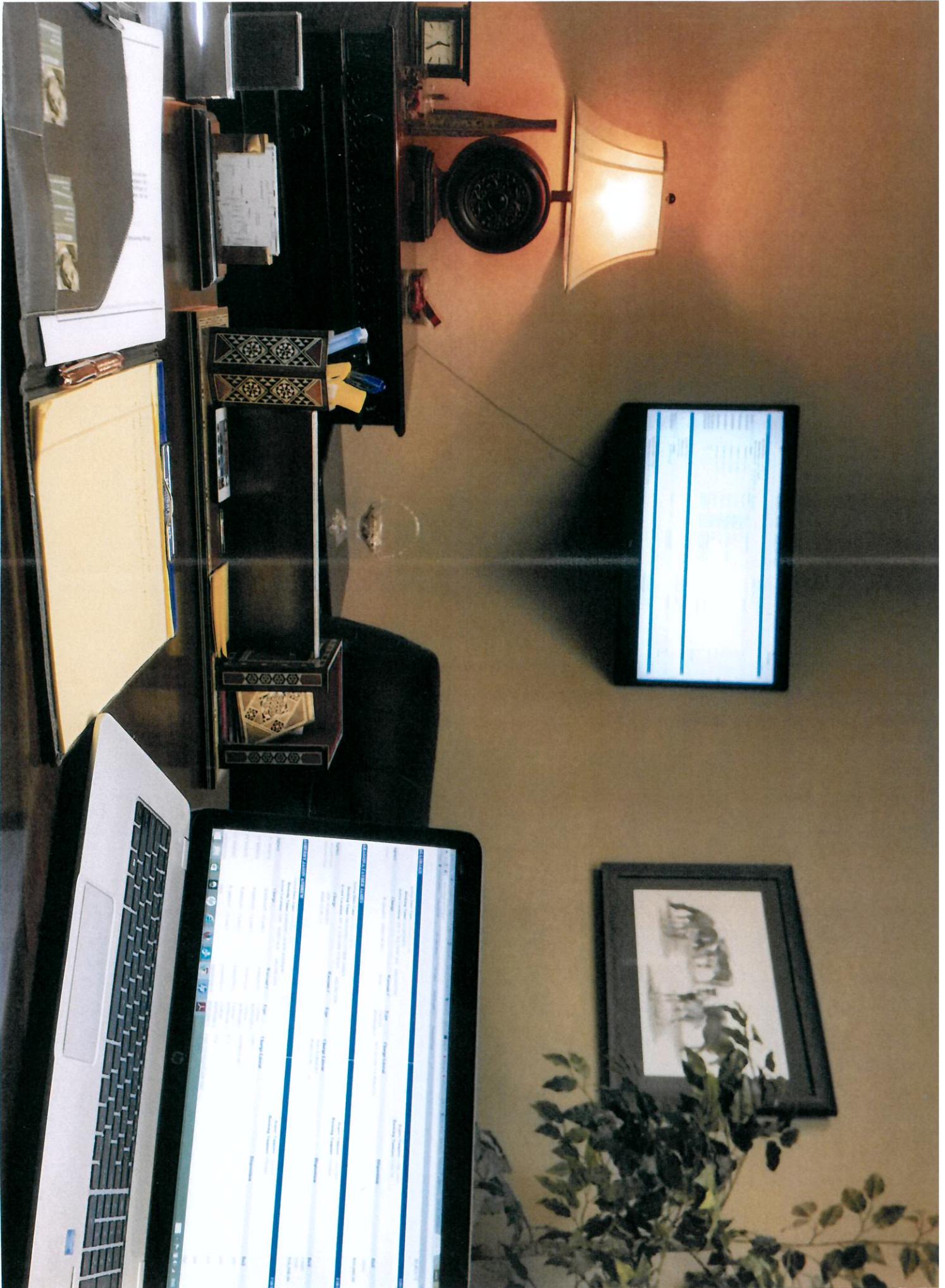
1st Floor

North















Magnolia

Strong

Phone (817) 921-3000

Fax (817) 921-3001

To: Whom it may concern

From: Tommy Springer, CPA

RE: Zoning/Variance Change Proposal (622 West Main St.)

Having lived in the Arlington area since 1977, with a brief absence only, I am particularly concerned with the transformation of our great city! We have an opportunity to equal or exceed some of the surrounding cities in the heart of the Greater Dallas Fort Worth area. Many of our neighbors have gone through the painstaking efforts to greatly improve & control the overall aura as you pass through the key areas of town. Arlington leaders need to consider the same challenges head-on!

Please accept this as a formal request to Hold Fast and continue to honor what others have started. We moved into the **Viridian** community as it immolates what I would like to see for Arlington: A community of beauty with pristine grounds! The same needs to happen in the heart of the city. We do not need to be full of uncontrolled signage whether it is another car lot or another bail bond facility. Blocks away the University of Texas at Arlington is doing their part. Should we not help carry the concept of attracting commerce of which we can be proud? The neighboring cities to the north have and our dollars leave to help support their restaurants, hotels, and tourism.

I am very much opposed to the uncontrolled directions these types of business bring which have an adverse effect on the aesthetics we need to improve, not fall back into the old habits. Please accept my comments as I am opposed to what is happening at 622 West Main. NOT a good look.

Sincerely,

A handwritten signature in cursive script that reads "Tommy Springer". The ink is dark and the signature is fluid and personal.

Tommy Springer



From: [Michael Hathcoat](#)
To: [Jennifer Pruitt](#)
Cc: [Ron Williams](#)
Subject: Fw: 622 W. Main Street zoning
Date: Tuesday, May 12, 2015 11:29:01 AM

I respectfully request that you deny the zoning application for 622 W. Main Street. While I have no issues regarding a bail bond business near the police headquarters/jail, I think that these businesses should be spread out. The City of Arlington has been attempting to revitalize the downtown area and this is not the type of business you need to do this.

Please deny the zoning request that is currently before the City.

Thank you.

Michael Hathcoat

From: [Mike Power](#)
To: [Bridgett White](#); [Jennifer Pruitt](#); [Jim Paraion](#); [Gincy Thoppil](#); [Lana Wolff](#)
Cc: ron@rewcsc.com; ron@rewcsc.com
Subject: Deny Zoning for 622 West Main Street
Date: Tuesday, May 12, 2015 6:39:31 PM

Arlington Planning and Zoning Members;

I would appreciate the City of Arlington reject a zoning request that would allow 622 West Main Street to be a Bail Bond business.

We have lived in Arlington for 30 years and are impressed with the continuing development of both downtown Arlington and the adjacent UTA campus. That development must continue.

There is a place for all kinds of businesses, which is why there is zoning. But everything in its proper place. It makes no sense to allow Bail Bond companies with their garish advertising to blight downtown Arlington.

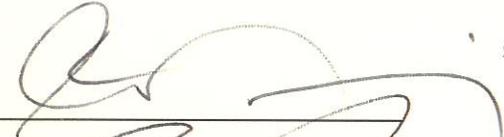
Please keep the area between Collins and Cooper and south of the Union Pacific as an attractive area without another bail bond business.

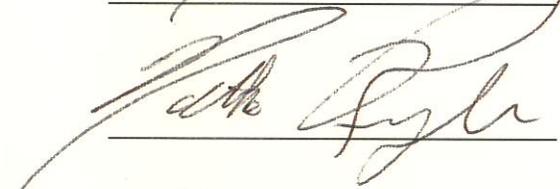
T. Michael Power
2315 Rolling Hills Trail
Arlington, TX 76011

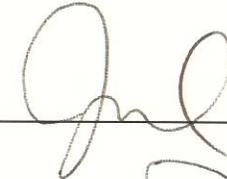
May 7, 2015

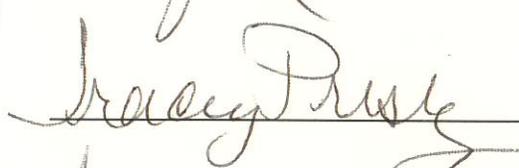
City of Arlington

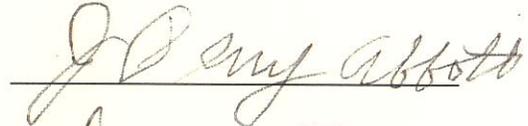
We, the undersigned are tenants in the "No. 6 Main Place" office building at 609-623 West Main Street Arlington, TX 76010. Across the street from us in the building at 622 West Main Street, there is a bail bonds business that has recently opened. It is our understanding that this type of business is not allowed at this location and that they are operating without a certificate of occupancy. We feel that the flashing lights and signs that are displayed will detract from the appearance and quality of the neighborhood. It is also our understanding that the business has applied for a zoning variance. We are concerned about the negative impact that this type of business will have on our business and its customers and we strongly oppose the issuance of a variance. Please consider our request to not allow an expansion of these types of businesses in this close proximity of our location. Thank you.

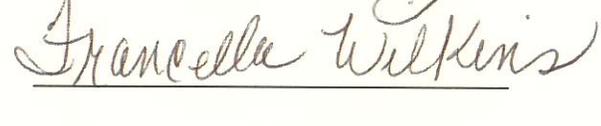


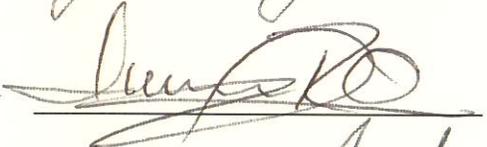


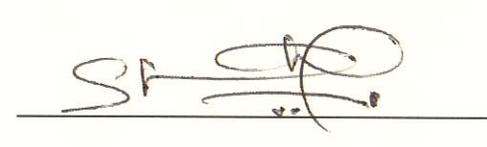


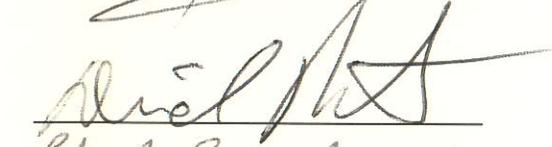








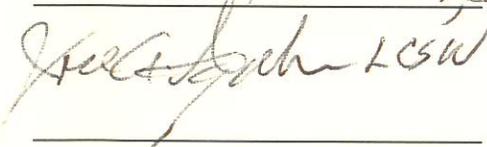




Charles B. Zelkner dba
Charles B. Zelkner, CPA



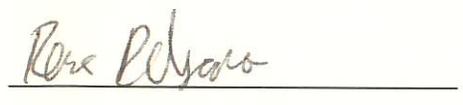
Angie Busby

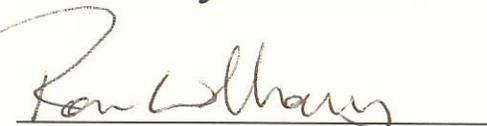


Jessica L. CSW



Pete Jones









RECEIVED-BI
15 MAY 15 AM 11:49
INDIVIDUAL PROPERTY OWNER'S PETITION OPPOSING A ZONING CHANGE APPLICATION

Zoning Case Number: PD 15-3

1. Opposing Property Owner's Name (printed as it appears on the City's tax roll):
JOHN L. HIGHTOWER
2. Address(es) or property description(s) of YOUR property, within 200' of the proposed zoning change, for which this petition is submitted:
606 W. MAIN
3. Reasons you oppose the requested zoning change and all of the types of uses that you would oppose on the property for which a zoning change is sought. (This information is very important because in some situations the City Council has the authority to grant a less intensive zoning classification or land use than that requested by the applicant for a zoning change.)

The signage and exterior lighting and public opinion of a bail bonds business detracts from the appearance and quality of the neighborhood. I also have concerns about safety and the hours of operation of such a business. Finally, I do not believe a bail bonds business is consistent with the purpose and intent of the downtown business district in which the property in question is located. I am only in favor of the types of uses that are allowed under the current zoning.

J. Hightower
Opposing Property Owner's Signature

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared John Hightower, " who is known to me or " who was proved to me on the oath of _____ (name of person identifying the acknowledging person) or " who was proved to me through State of Texas Drivers License (description of identity card or other document issued by the federal or state government containing the picture and signature of the acknowledging person) to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 14th day of May, 2015.

SEAL

Dena Deborah Glover
Notary Public In and For The State of Texas

DENA DEBORAH GLOVER
Notary's Printed Name





RECEIVED-BI
INDIVIDUAL PROPERTY OWNER'S PETITION OPPOSING A
15 MAY 15 10:50 AM 15 RECEIVED-BI
ZONING CHANGE APPLICATION MAY 15 AM 11:49

Zoning Case Number: PD 15-3

1. Opposing Property Owner's Name (printed as it appears on the City's tax roll):
I. L. HIGHTOWER
2. Address(es) or property description(s) of YOUR property, within 200' of the proposed zoning change, for which this petition is submitted:
604 W. MAIN
3. Reasons you oppose the requested zoning change and all of the types of uses that you would oppose on the property for which a zoning change is sought. (This information is very important because in some situations the City Council has the authority to grant a less intensive zoning classification or land use than that requested by the applicant for a zoning change.)

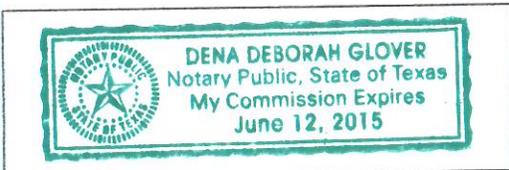
The signage and exterior lighting and public opinion of a bail bonds business detracts from the appearance and quality of the neighborhood. I also have concerns about safety and the hours of operation of such a business. Finally, I do not believe a bail bonds business is consistent with the purpose and intent of the downtown business district in which the property in question is located. I am only in favor of the types of uses that are allowed under the current zoning.

J. Hightower P.O.A.
Opposing Property Owner's Signature

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared John Hightower, " who is known to me or " who was proved to me on the oath of _____ (name of person identifying the acknowledging person) or " who was proved to me through State of Texas Drivers License (description of identity card or other document issued by the federal or state government containing the picture and signature of the acknowledging person) to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 14th day of May, 2015.

SEAL



Dena Deborah Glover
Notary Public In and For The State of Texas

DENA DEBORAH GLOVER
Notary's Printed Name

MAY 15 2015



**INDIVIDUAL PROPERTY OWNER'S PETITION OPPOSING A
ZONING CHANGE APPLICATION**

Zoning Case Number: PD 15-3

1. Opposing Property Owner's Name (printed as it appears on the City's tax roll):

CITY INVESTORS GROUP, INC

2. Address(es) or property description(s) of YOUR property, within 200' of the proposed zoning change, for which this petition is submitted:

609-623 W. MAIN ST. DAVIS, SOL ADDITION LOT 5CR2

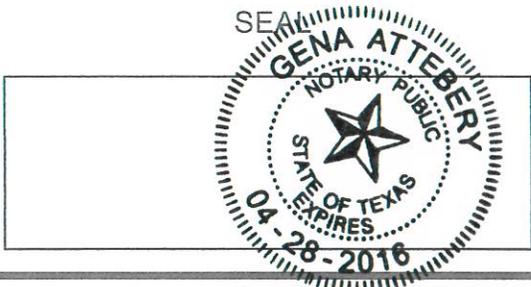
3. Reasons you oppose the requested zoning change and all of the types of uses that you would oppose on the property for which a zoning change is sought. (This information is very important because in some situations the City Council has the authority to grant a less intensive zoning classification or land use than that requested by the applicant for a zoning change.)

The signage and exterior lighting and public opinion of a bail bonds business detracts from the appearance and quality of the neighborhood. I also have concerns about safety and the hours of operation of such a business. Finally, I do not believe a bail bonds business is consistent with the purpose and intent of the downtown business district in which the property in question is located. I am only in favor of the types of uses that are allowed under the current zoning.

James Baker
Opposing Property Owner's Signature

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Baker, who is known to me or who was proved to me on the oath of TXDL (name of person identifying the acknowledging person) or who was proved to me through TXDL (description of identity card or other document issued by the federal or state government containing the picture and signature of the acknowledging person) to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 15th day of May, 2015.



Gena Attebery
Notary Public In and For The State of Texas
Gena Attebery
Notary's Printed Name

MAY 15 2015



**INDIVIDUAL PROPERTY OWNER'S PETITION OPPOSING A
ZONING CHANGE APPLICATION**

Zoning Case Number: PD 15-3

1. Opposing Property Owner's Name (printed as it appears on the City's tax roll):
DOWNTOWN TOWER PROPERTIES INC.
2. Address(es) or property description(s) of YOUR property, within 200' of the proposed zoning change, for which this petition is submitted:
625 West Main Street Arlington Texas 76010
3. Reasons you oppose the requested zoning change and all of the types of uses that you would oppose on the property for which a zoning change is sought. (This information is very important because in some situations the City Council has the authority to grant a less intensive zoning classification or land use than that requested by the applicant for a zoning change.)

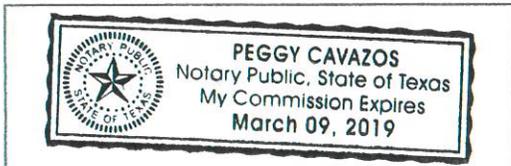
The signage and exterior lighting and public opinion of a bail bonds business detracts from the appearance and quality of the neighborhood. I also have concerns about safety and the hours of operation of such a business. Finally, I do not believe a bail bonds business is consistent with the purpose and intent of the downtown business district in which the property in question is located. I am only in favor of the types of uses that are allowed under the current zoning.

Opposing Property Owner's Signature

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared RICK WADE, who is known to me or who was proved to me on the oath of _____ (name of person identifying the acknowledging person) or who was proved to me through DL 07583530 (description of identity card or other document issued by the federal or state government containing the picture and signature of the acknowledging person) to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 14 day of May, 2015.

SEAL



Peggy Cavazos
Notary Public In and For the State of Texas

Peggy Cavazos
Notary's Printed Name

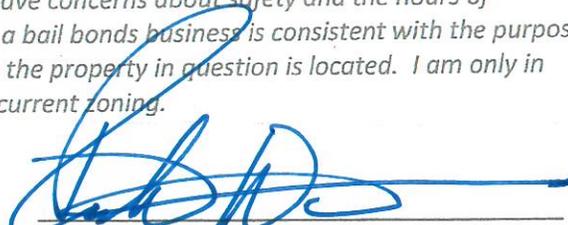


INDIVIDUAL PROPERTY OWNER'S PETITION OPPOSING A ZONING CHANGE APPLICATION

Zoning Case Number: PD 15-3

1. Opposing Property Owner's Name (printed as it appears on the City's tax roll):
RICK WADE
2. Address(es) or property description(s) of YOUR property, within 200' of the proposed zoning change, for which this petition is submitted:
101 North Cooper St. Arlington, Texas 76010
3. Reasons you oppose the requested zoning change and all of the types of uses that you would oppose on the property for which a zoning change is sought. (This information is very important because in some situations the City Council has the authority to grant a less intensive zoning classification or land use than that requested by the applicant for a zoning change.)

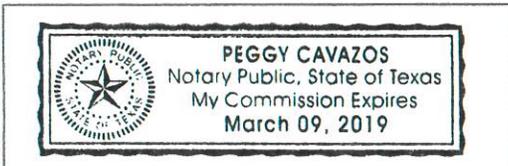
The signage and exterior lighting and public opinion of a bail bonds business detracts from the appearance and quality of the neighborhood. I also have concerns about safety and the hours of operation of such a business. Finally, I do not believe a bail bonds business is consistent with the purpose and intent of the downtown business district in which the property in question is located. I am only in favor of the types of uses that are allowed under the current zoning.


Opposing Property Owner's Signature

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GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 14 day of May, 2015.

SEAL




Notary Public In and For The State of Texas
Peggy Cavazos
Notary's Printed Name

CD&P/Strategic Div.
Received
MAY 15 2015

May 7, 2015

City of Arlington

We, the undersigned are tenants or property owners within a four block radius of 622 West Main Street Arlington, TX 76010. In the office building at 622 West Main Street, there is a bail bonds business that has recently opened. It is our understanding that this type of business is not allowed at this location and that they are operating without a certificate of occupancy. We feel that the flashing lights and signs that are displayed will detract from the appearance and quality of the neighborhood. It is also our understanding that the business has applied for a zoning variance. We are concerned about the negative impact that this type of business will have on our business and its customers and we strongly oppose the issuance of a variance. Please consider our request to not allow an expansion of these types of businesses in this close proximity of our location. Thank you.

Robert D. Aensley

601 W. MAIN

Tony W...

222 W. MAIN ST.

John J. Demel

504 W. MAIN

John Harap

406 W. MAIN

David

205 W. MAIN

Wally Ford

100 S. WEST ST

Pat W...

625 W. Main St

Hervis Forter

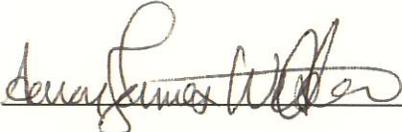
Miss Peris Studio of Dance
222 W. Main St.
Arlington, TX 76010

CD&P/Strategic Div.
Received
MAY 15 2015

May 7, 2015

City of Arlington

We, the undersigned are tenants in the "No. 6 Main Place" office building at 609-623 West Main Street Arlington, TX 76010. Across the street from us in the building at 622 West Main Street, there is a bail bonds business that has recently opened. It is our understanding that this type of business is not allowed at this location and that they are operating without a certificate of occupancy. We feel that the flashing lights and signs that are displayed will detract from the appearance and quality of the neighborhood. It is also our understanding that the business has applied for a zoning variance. We are concerned about the negative impact that this type of business will have on our business and its customers and we strongly oppose the issuance of a variance. Please consider our request to not allow an expansion of these types of businesses in this close proximity of our location. Thank you.





City of Arlington, Texas

Certificate of Occupancy

Issued to:

Name of Business: ORVILLE PERSON BAIL BOND
Address: 622 W MAIN ST SUITE 109 ARLINGTON TX 76010
Tenant Name: ORVILLE PERSON

To be used as/for : Office, business or professional;

The above property/structure/tenant space has been inspected for conformance with the City of Arlington's building codes and zoning ordinance and is found to be compliant. No change in the occupant, occupancy or use may occur unless a new Certificate of Occupancy is obtained. The issuance of this Certificate of Occupancy may not be construed as an approval of violation of the ordinances of the City of Arlington.

Date of Issuance: 01/15/2015

Special Conditions:
None

Rick Ripley, Building Official SM

ARLINGTON

THE AMERICAN DREAM CITY

This must be displayed in a conspicuous place on the premises and may not be removed without permission from the Building Official.



Sent via Certified Mail

March 19, 2015

Mr. Orville Peterson
622 W Main Street Suite 109
Arlington, TX 76010

RE: Certificate of Occupancy Revocation

Dear Mr. Peterson:

You were issued a Certificate of Occupancy for the zoning use of your space to be a "office, business or professional" on January 15, 2015. However the actual use of your space is as a "bail bond service" and is located in the DB – Downtown Business zoning district. Section 3.1.5 of the Unified Development Code establishes the land uses that are permitted in each zoning district. Since your property is located in the DB – Downtown Business district a "bail bond service" use is not permitted to operate within this zoning district. The Certificate of Occupancy for this site was issued in error and must be revoked based on the incompatible use in this zoning district. You will be allowed 60 days to rectify the situation and bring your occupancy into compliance for land use in this zoning district.

Section 4.14 (F) of the Construction Chapter reads as follows:

F. Revocation. The Building Official may, in writing, suspend or revoke a Certificate of Occupancy or a temporary Certificate of Occupancy issued under the provisions of this Code whenever the certificate is issued in error, or on the basis of incorrect information supplied, or when it is determined that the building or structure or portion thereof is in violation of any ordinance or regulation or any provision of this Code or other provisions of law. Upon suspension or revocation of a Certificate of Occupancy, the Building Official shall have the authority to disconnect, or to order the electricity supply agency to disconnect, all electric service to any premises affected by the revoked or suspended Certificate of Occupancy. (Amend Ord 12-020, 4/24/12)

This letter is to advise you that your Certificate of Occupancy will be revoked effective 60 days from the date of this letter because of an incompatible land use and that it was issued in error of the Unified Development Code for land



use and Certificate of Occupancy regulations. You may appeal my decision to revoke your Certificate of Occupancy to the Zoning Board of Adjustments. Such appeal must be made within 10 days of the date of this letter. You may not operate your business without a valid Certificate of Occupancy.

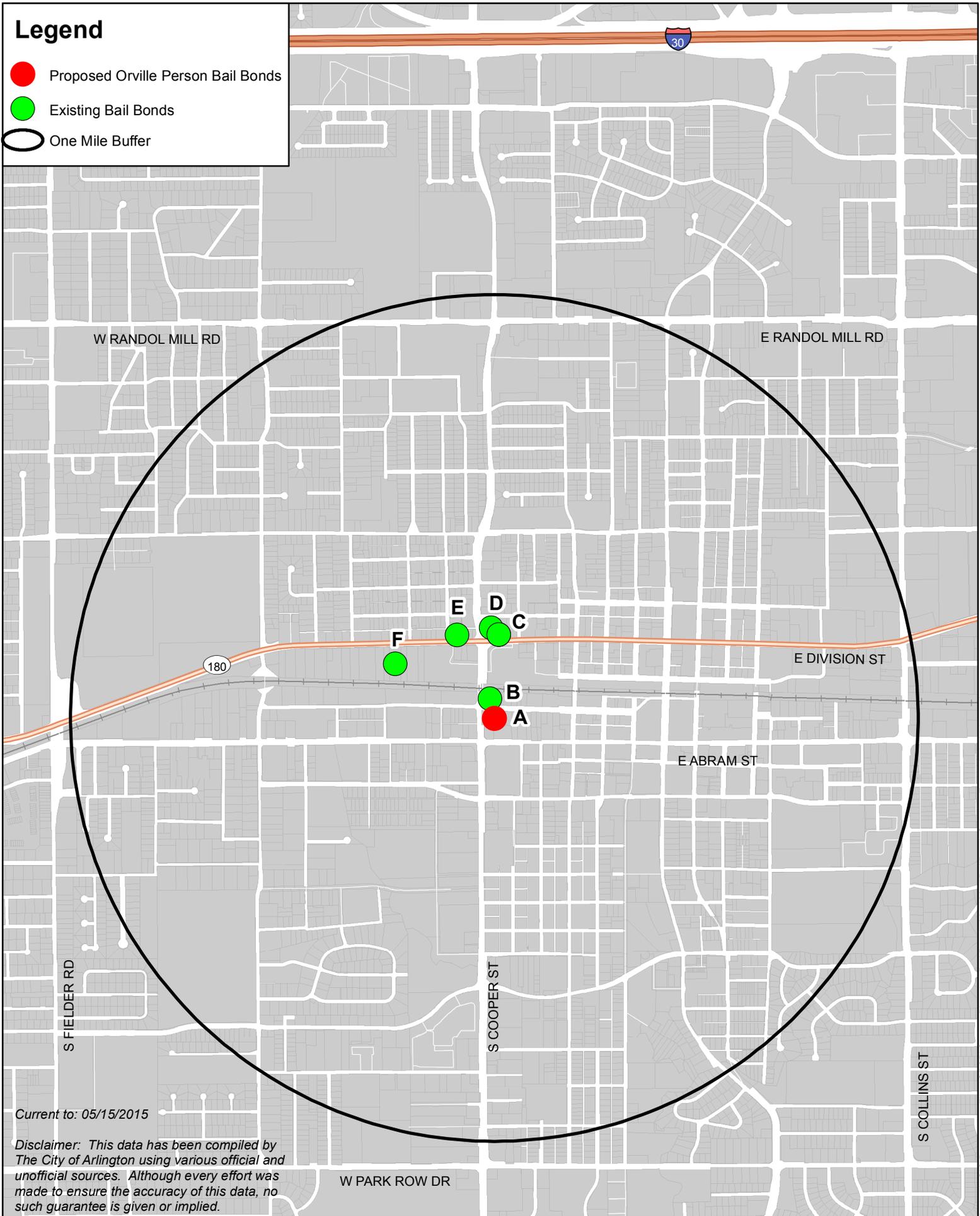
Should you have any questions, please feel free to call at (817) 459-6521.

Sincerely,

Rick Ripley, CBO, MCP
Building Official

Legend

- Proposed Orville Person Bail Bonds
- Existing Bail Bonds
- One Mile Buffer



Current to: 05/15/2015

Disclaimer: This data has been compiled by The City of Arlington using various official and unofficial sources. Although every effort was made to ensure the accuracy of this data, no such guarantee is given or implied.

Existing Bail Bonds Services

0 0.125 0.25 0.5 Miles



Bail Bonds

- A. (Proposed) Orville Person Bail Bonds 622 W. Main Street, Suite 109**
 - Downtown Business
- B. Downtown Tower Properties 625 Main Street, Suite 100**
 - Downtown Business – SUP96-06
 - June 22, 2005
- C. AA Best Bail Bonds 623 W. Division Street**
 - Downtown Neighborhood Overlay – General Commercial
 - January 16, 2006
 - April 8, 2015
- D. Just Bail Bonds 633 W. Division Street**
 - Downtown Neighborhood Overlay-General Commercial
 - April 29, 2008
- E. All Nite Bail Bonds 717 W. Division Street, Suite 103**
 - Downtown Neighborhood Overlay – General Commercial
 - April 28, 2015
- F. Derrek Sainz Sale and Service 918 W. Division**
 - Downton Neighborhood Overlay – General Commercial/Light Industrial
 - February 8, 1999