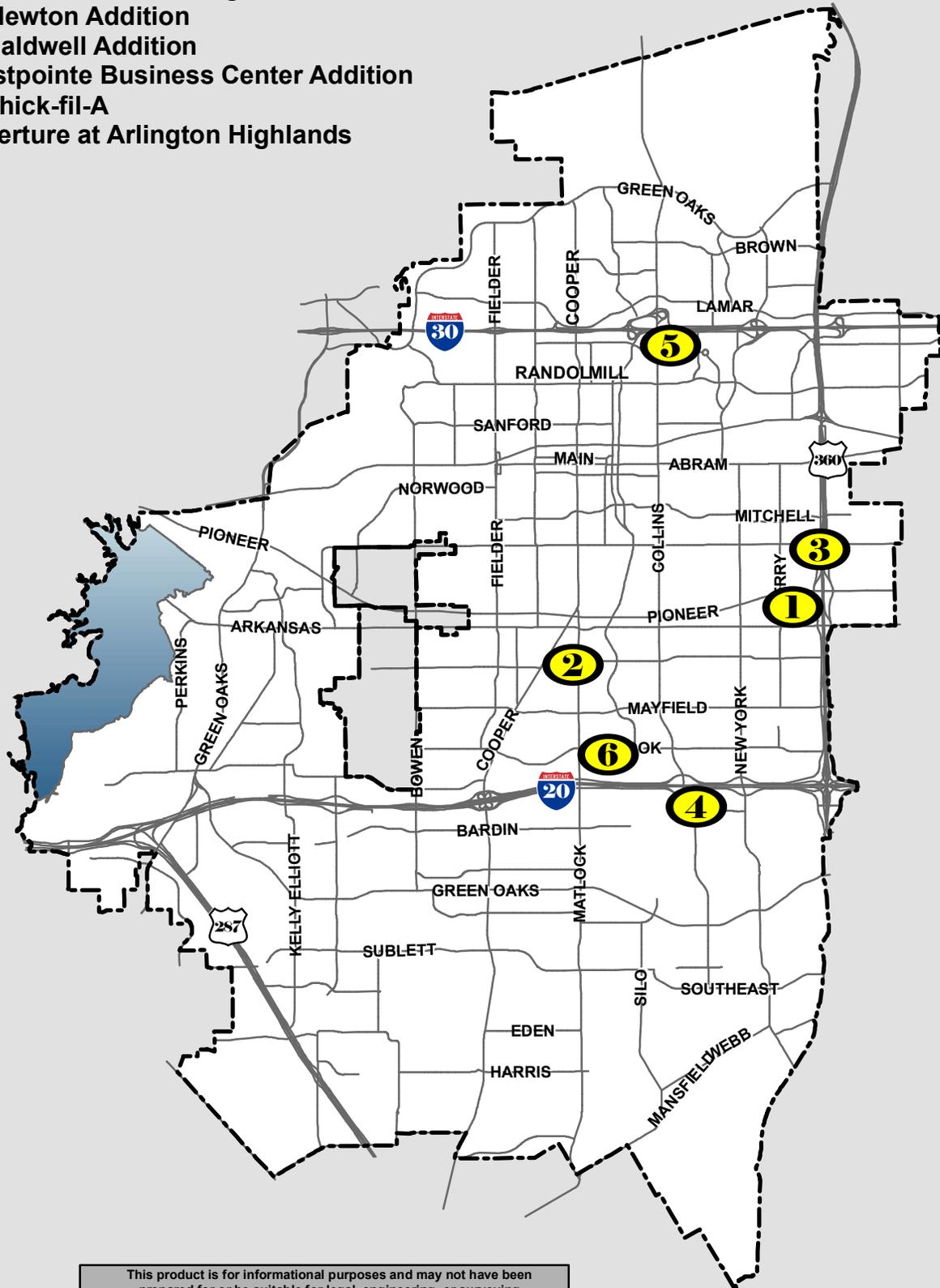


PLANNING & ZONING

May 6, 2015



1. Preliminary Plat - Pioneer Village Addition
2. Replat - A. Newton Addition
3. Replat - P. Caldwell Addition
4. Replat - Westpointe Business Center Addition
5. SUP15-1 - Chick-fil-A
6. PD15-2 - Overture at Arlington Highlands



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





AGENDA

**PLANNING AND ZONING COMMISSION
WORK SESSION**

**Council Briefing Room
101 WEST ABRAM STREET**

**MAY 6, 2015
3:30 P.M.**

I. CALL TO ORDER

II. DISCUSSION OF U.S. 287 STRATEGIC PLAN PROJECT

III. DISCUSSION OF REGULAR SESSION AGENDA ITEMS

IV. DIRECTOR UPDATE ON PREVIOUS COUNCIL ITEMS

- A. Development Plan PD12-17R1
(Athlos Academy - 4950 South Bowen Road)

Application to revise the Development Plan on approximately 40.812 acres from Planned Development (PD) for all Residential Single-Family 15 (RS-15) uses, with a Development Plan to Planned Development (PD) for all Residential Single-Family 15 (RS-15) uses, with a revised Development Plan; generally located south of West Bardin Road and west of South Bowen Road.

**CC Motion to Approve Failed 4-5-0 (Denied) on 04/14/15
on first reading**

NOTE: City Hall is wheelchair accessible. For other accommodations or sign interpretive services, please call the Strategic Planning Division at 817-459-6667 not later than 24 hours in advance.

- B. Zoning Case PD14-18
(Red Stone Drive – 2603 West Sublett Road)

Application to change the zoning on approximately 0.843 acres from Community Commercial (CC) to Planned Development (PD) for Community Commercial (CC) uses with a 100-foot tall stealth wireless telecommunication facility within the required height setback, with a Development Plan; generally located north of West Sublett Road and east of Sterling Green Trail.

Calling a City Council public hearing following a recommendation of denial by the Planning and Zoning Commission on April 1, 2015, Denied by CC 9-0-0 on 04/14/15

- C. Zoning Case PD14-19
(Woody's Backyard – 309 West Front Street)

Application to change the zoning on approximately 0.678 acres from Downtown Business (DB) to Planned Development (PD) for Downtown Business (DB) uses, with a Development Plan; generally located north of West Front Street and east of North West Street.

CC Approved 9-0-0 on 04/28/15 on final reading

V. DISCUSSION OF FUTURE MEETING DATES AND TIMES

- (a) Planning and Zoning Commission Meeting on May 20, 2015

VI. ADJOURN



AGENDA

**Planning and Zoning Commission
Regular Session**

**Council Chamber
101 West Abram Street**

**MAY 6, 2015
5:30 P.M.**

Meeting order is subject to change per the Commission's Discretion

I. CALL TO ORDER

II. PLEDGE

III. APPROVAL OF MINUTES

- A. Minutes of April 15, 2015 P&Z Meeting

IV. PLAT CONSENT AGENDA AND PUBLIC HEARING FOR PLATS

- A. Preliminary Plat – Pioneer Village Addition, Lots 1 through 6, Block 1; Lots 1 through 2X, Block 2; Lots 1 through 3X, Block 3; Lots 1 through 2X, Block 4 (Zoned Community Commercial [CC], Residential Multi-Family [RMF-22], and Neighborhood Commercial [NC]); generally located south of East Pioneer Parkway and east of Sherry Street with the approximate address being 2351 East Arkansas Lane.
- B. Replat – A. Newton Addition, Lots 73A1, 73A2 and 73A3; (Zoned Office Commercial [OC]); generally located south of West Arkansas Lane and west of Matlock Road with the approximate address being 2712 Matlock Road.

NOTE: City Hall is wheelchair accessible. For other accommodations or sign interpretive services, please call the Strategic Planning Division at 817-459-6652 not later than 24 hours in advance.

- C. Replat – P. Caldwell Addition, Lots 11R1 and 11R2 (Zoned Community Commercial [CC] and General Commercial [GC]); generally located south of East Park Row and west of South Watson Road with the approximate address being 2522 Park Row Drive.
- D. Replat - Westpointe Business Center Addition, Lot 1R1B1 and 1R1B2, Block 1 (Zoned Airport Overlay – Community Commercial [APO-CC]); generally located north of East Bardin Road and west of Waxwing Drive with the approximate address being 4400 Waxwing Drive.

V. PUBLIC HEARING FOR ZONING CASES

- A. Specific Use Permit SUP15-1
(Chick-fil-A – 1505 North Collins Street, 911 and 915 Skyline Street)

Specific Use Permit for a Restaurant with drive-through window, currently zoned Entertainment District Overlay-Community Commercial (EDO-CC); generally located north of Skyline Drive and east of North Collins Street.

- B. Zoning Case PD15-2
(Overture at Arlington Highlands – 250 West Arbrook Boulevard)

Application to change the zoning on approximately 3.799 acres from Office Commercial (OC) and General Commercial (GC) to Planned Development (PD) for Office Commercial (OC) uses plus an Independent Senior Living Facility, with a Development Plan; generally located north of Highlander Boulevard and east of Matlock Road.

VI. MISCELLANEOUS

- A. Reports from Boards/Commissions Liaisons
- B. Reports from Staff and Announcements
- C. Discussion of Future Meeting Dates and Times

VII. ADJOURN

Staff Report



Preliminary Plat (Pioneer Village Addition)

Planning and Zoning Meeting Date: 5-6-15

Document Being Considered: Plat

RECOMMENDATION

Consider a preliminary plat on the consent agenda.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

The applicant, Graham Associates, Inc., proposes to subdivide Tract 2B and 2B2, Abstract 364 of the P. Caldwell Survey, approximately 38.472 acres in size, to create 13 lots: Lots 1 through 6, Block 1; Lots 1 and 2X, Block 2; Lot 1, 2, and 3X, Block 3; and Lots 1 and 2X, Block 4. The subject site is only developed with a gas well drilling site in the proposed Lot 5, Block 1.

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the subdivision regulations.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

<u>Property Location:</u>	Generally located south of East Pioneer Parkway and east of Sherry Street with the approximate address being 2351 East Arkansas Lane and 2245 Carter Drive.
<u>Sector:</u>	East
<u>Council District:</u>	3
<u>Current Zoning:</u>	Community Commercial (CC), Residential Multi-Family (RMF-22), and Neighborhood Commercial (NC)

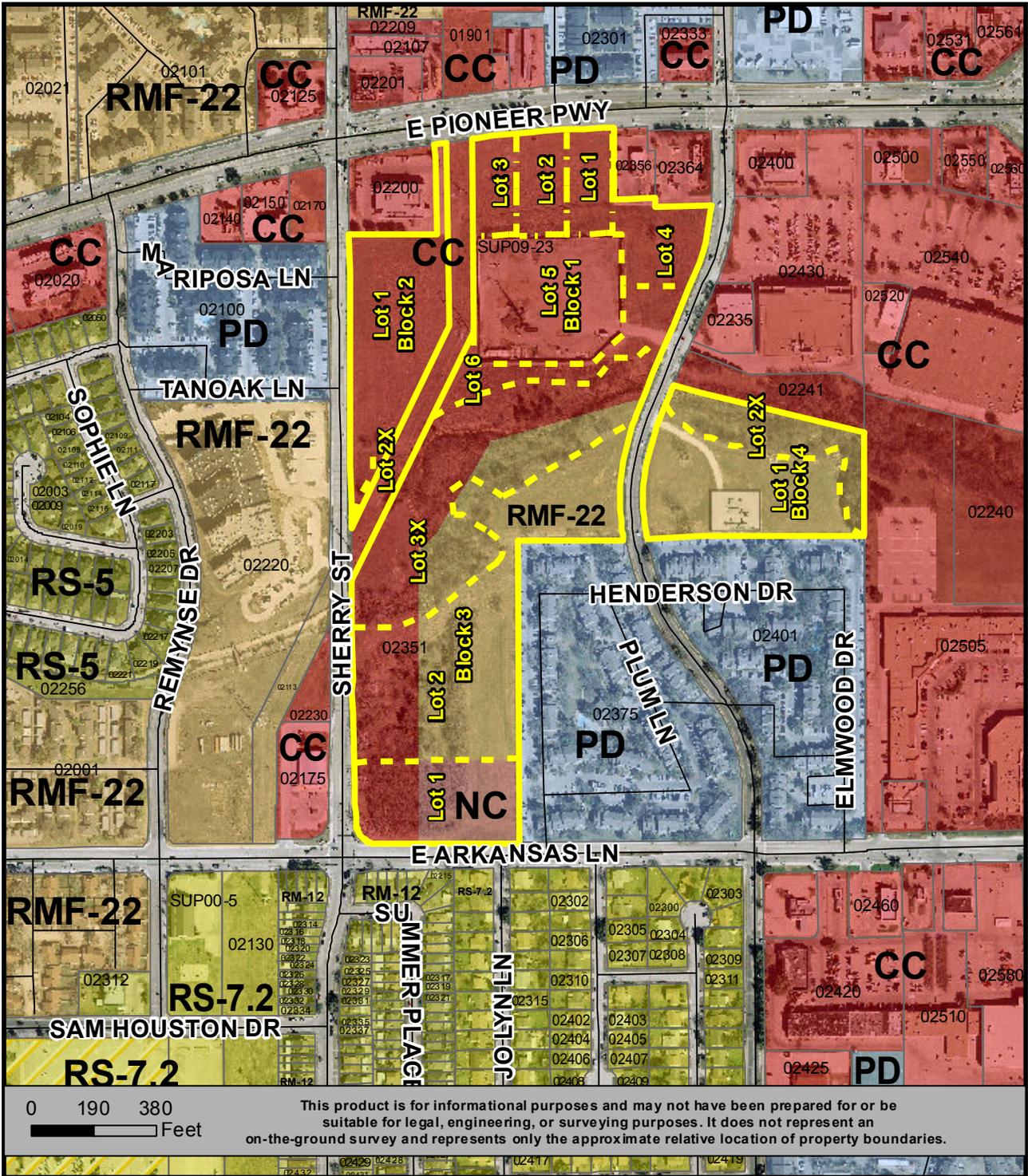
ATTACHED

- i. Location Map
- ii. 11 x 17 Plat

STAFF CONTACT(S)

Gincy Thoppil, AICP
Development Planning Manager
Community Development and Planning
817-459-6662
Gincy.Thoppil@arlingtontx.gov

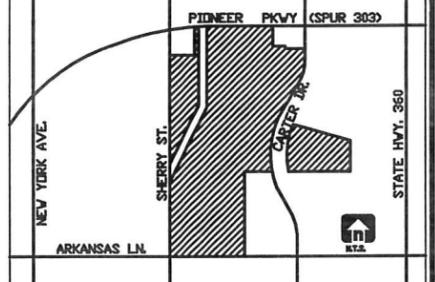
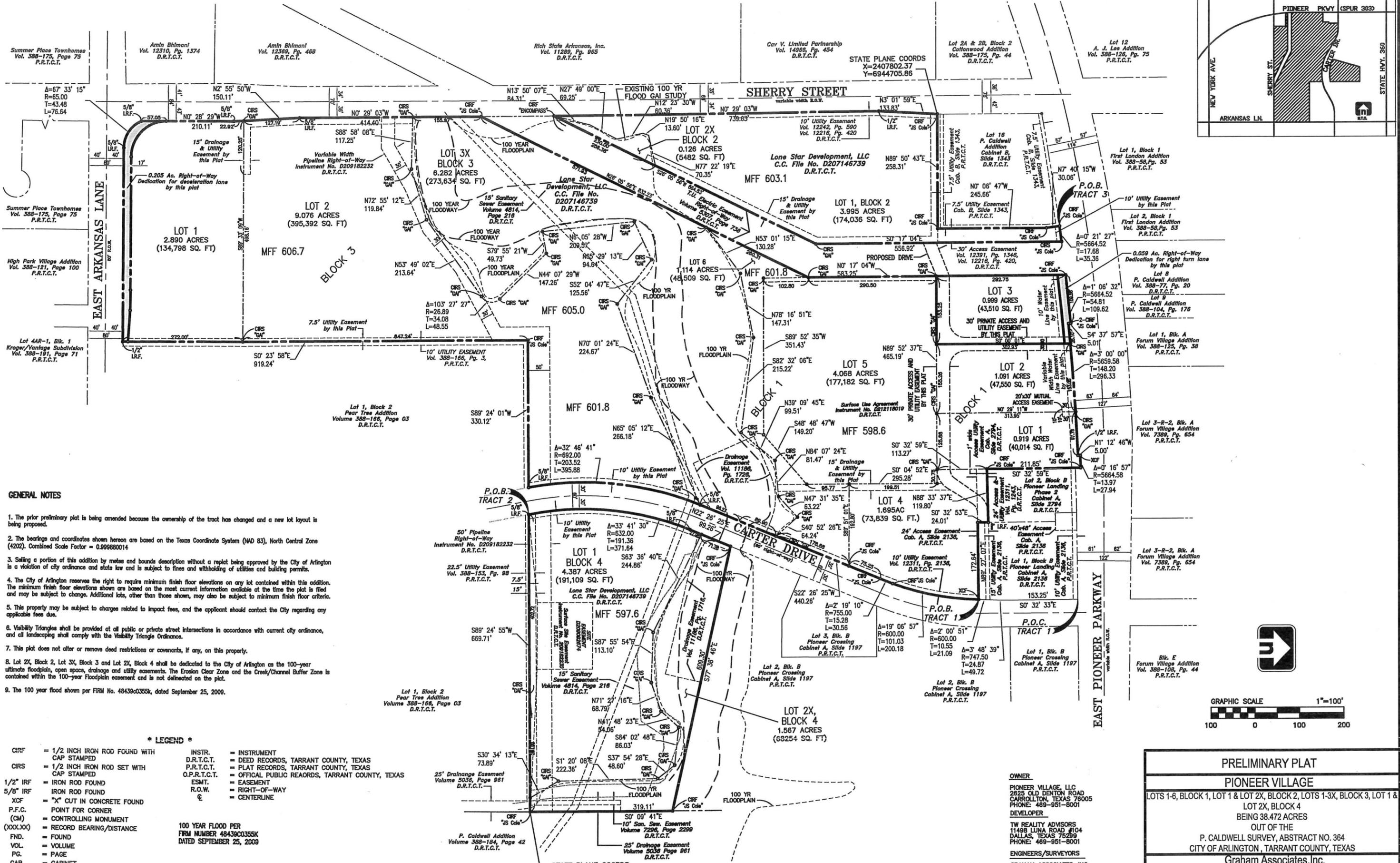
Kevin Charles
Senior Planner
Community Development and Planning
817-459-6515
Kevin.Charles@arlingtontx.gov



LOCATION MAP

PIONEER VILLAGE





- GENERAL NOTES**
- The prior preliminary plat is being amended because the ownership of the tract has changed and a new lot layout is being proposed.
 - The bearings and coordinates shown hereon are based on the Texas Coordinate System (NAD 83), North Central Zone (4202). Combined Scale Factor = 0.999880014
 - Selling a portion of this addition by metes and bounds description without a replat being approved by the City of Arlington is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits.
 - The City of Arlington reserves the right to require minimum finish floor elevations on any lot contained within this addition. The minimum finish floor elevations shown are based on the most current information available at the time the plat is filed and may be subject to change. Additional lots, other than those shown, may also be subject to minimum finish floor criteria.
 - This property may be subject to charges related to impact fees, and the applicant should contact the City regarding any applicable fees due.
 - Visibility Triangles shall be provided at all public or private street intersections in accordance with current city ordinance, and all landscaping shall comply with the Visibility Triangle Ordinance.
 - This plat does not alter or remove deed restrictions or covenants, if any, on this property.
 - Lot 2X, Block 2, Lot 3X, Block 3 and Lot 2X, Block 4 shall be dedicated to the City of Arlington as the 100-year ultimate floodplain, open space, drainage and utility easements. The Erosion Clear Zone and the Creek/Channel Buffer Zone is contained within the 100-year Floodplain easement and is not delineated on the plat.
 - The 100 year flood shown per Firm No. 48439-c0355k, dated September 25, 2009.

- * LEGEND ***
- CRIF = 1/2" IRON ROD FOUND WITH CAP STAMPED
 - CRS = 1/2" IRON ROD SET WITH CAP STAMPED
 - 1/2" IRF = IRON ROD FOUND
 - 5/8" IRF = IRON ROD FOUND
 - XCF = "X" CUT IN CONCRETE FOUND
 - P.F.C. = POINT FOR CORNER
 - (CM) = CONTROLLING MONUMENT
 - (XXX) = RECORD BEARING/DISTANCE
 - FND. = FOUND
 - VOL. = VOLUME
 - PG. = PAGE
 - CAB. = CABINET
 - C.C. = COUNTY CLERK
 - = ULTIMATE 100yr FLOOD PLAIN BASED ON GRAHAM ASSOCIATES' STUDY DATED JUNE 2001
 - - - = 100 YEAR FLOODPLAIN USING GRAHAM ASSOCIATES' ULTIMATE Q
 - INSTR. = INSTRUMENT
 - D.R.T.C.T. = DEED RECORDS, TARRANT COUNTY, TEXAS
 - P.R.T.C.T. = PLAT RECORDS, TARRANT COUNTY, TEXAS
 - O.P.R.T.C.T. = OFFICIAL PUBLIC RECORDS, TARRANT COUNTY, TEXAS
 - ESMT. = EASEMENT
 - R.O.W. = RIGHT-OF-WAY
 - ⊕ = CENTERLINE
 - 100 YEAR FLOOD PER FIRM NUMBER 48439C0355K DATED SEPTEMBER 25, 2009



PRELIMINARY PLAT	
PIONEER VILLAGE	
LOTS 1-6, BLOCK 1, LOT 1 & LOT 2X, BLOCK 2, LOTS 1-3X, BLOCK 3, LOT 1 & LOT 2X, BLOCK 4 BEING 38.472 ACRES OUT OF THE P. CALDWELL SURVEY, ABSTRACT NO. 364 CITY OF ARLINGTON, TARRANT COUNTY, TEXAS	
Graham Associates, Inc. CONSULTING ENGINEERS & PLANNERS 600 SIX FLAGS DRIVE, SUITE 300 ARLINGTON, TEXAS 76011 (817) 640-8535 TBE FIRM: F-19197PLS FIRM: 101538-00	
OWNER PIONEER VILLAGE, LLC 2025 OLD DENTON ROAD CARROLLTON, TEXAS 76005 PHONE: 469-951-8001	DEVELOPER TW REALTY ADVISORS 11498 LUNA ROAD #104 DALLAS, TEXAS 75289 PHONE: 469-951-8001
ENGINEERS/SURVEYORS GRAHAM ASSOCIATES, INC. ENGINEERS & PLANNERS 600 SIX FLAGS DR. STE. 300 ARLINGTON, TEXAS 76011	
SENIOR PROJECT MANAGER DAVID McCARVER, P.E. PHONE: 617-640-8535	
DRAWN BY: GAI	PROJECT NO.
DATE: OCTOBER 2014	SHEET 1 of 4

Staff Report



Replat (A. Newton Addition)

Planning and Zoning Meeting Date: 5-6-15

Document Being Considered: Plat

RECOMMENDATION

Consider replat on the consent agenda.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

The applicant, WMSA Partners, LTD., proposes to subdivide Lot 73A in the A. Newton Addition, approximately 1.993 acres in size, to create two lots: Lot 73A1 and 73A2. An office building currently occupies the proposed Lot 73A1.

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the subdivision regulations.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Property Location: Generally located south of West Arkansas Lane and west of Matlock Road with the approximate address being 2712 Matlock Road.

Sector: East

Council District: 4

Current Zoning: Office Commercial (OC)

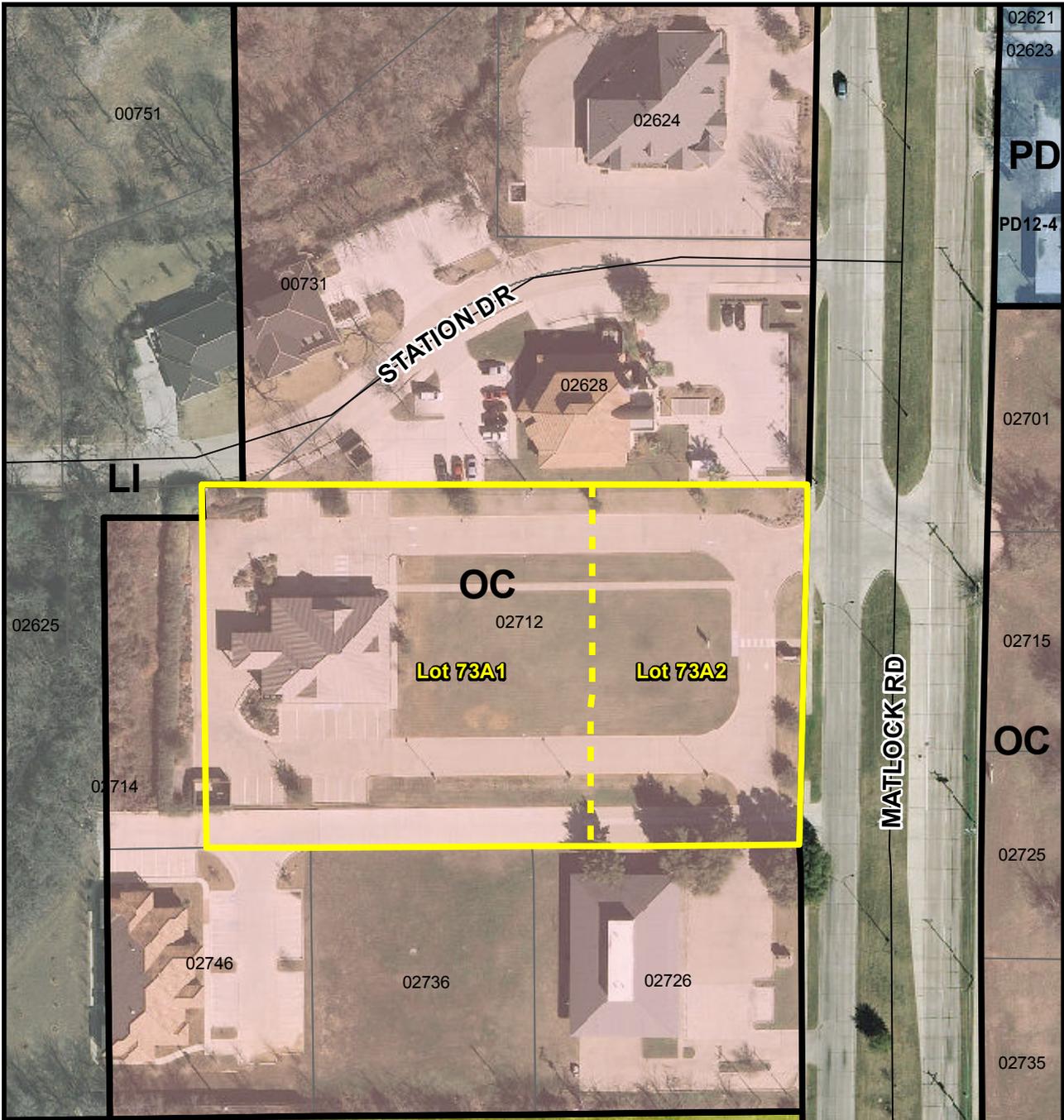
ATTACHED

- i. Location Map
- ii. 11 x 17 Plat

STAFF CONTACT(S)

Gincy Thoppil, AICP
Development Planning Manager
Community Development and Planning
817-459-6662
Gincy.Thoppil@arlingtontx.gov

Kevin Charles
Senior Planner
Community Development and Planning
817-459-6515
Kevin.Charles@arlingtontx.gov

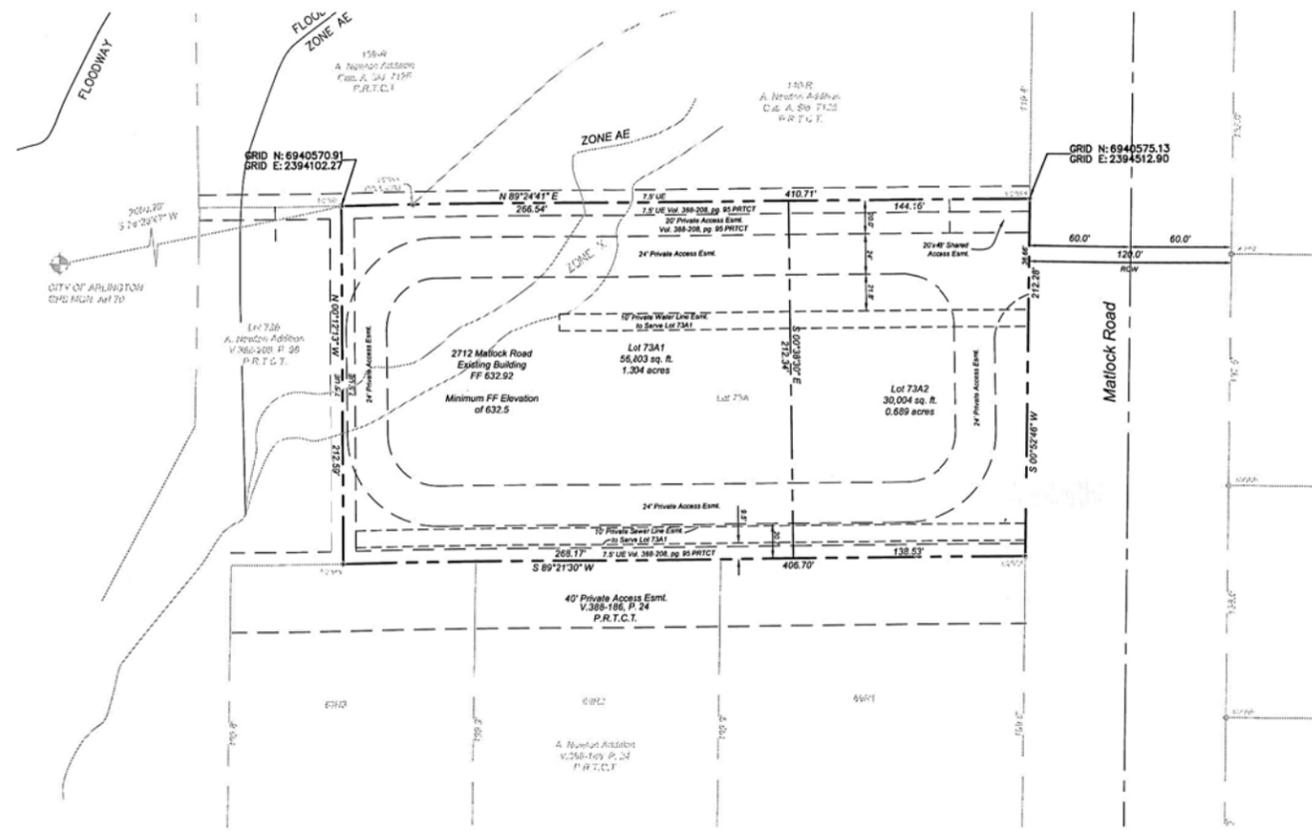


This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

LOCATION MAP

A. NEWTON ADDITION





STATE OF TEXAS:
COUNTY OF TARRANT:

WHEREAS, JVS PARTNERS, LP, acting by and through the undersigned, its duly authorized agent, is the sole owner of all that certain tract, parcel, or lot of land located in the A. Newton Survey, Abstract No. 1161, City of Arlington, Tarrant County, Texas, according to the deed recorded in D205207212, Deed Records, Tarrant County, Texas, and being more particularly described by metes and bounds as follows:

Being all of Lot 73A, A. Newton Addition, an addition to the City of Arlington, Tarrant County, Texas, as recorded in Volume 388-208, page 95, Plat Records, Tarrant County, Texas, and being 1.993 acres of land being more particularly described as follows:

BEGINNING at a 1/2" IR found at the Northeast corner of said Lot 73A, also being the Southeast corner of Lot 140R, A. Newton Addition as recorded in Cabinet A, slide 7125, Plat Records, Tarrant County, Texas, said corner also being on the West right-of-way of Matlock Road (120.00);

Thence South 00° 52' 46" West along the East line of said Lot 73A, also being the West right-of-way of Matlock Road a distance of 212.58' to a 1/2" IR found at the Southeast corner of said tract also being the Northeast corner of Lot 61R1, A. Newton Addition, as recorded in Volume 388-186, page 24, Plat Records, Tarrant County, Texas;

Thence South 89° 21' 30" West along the South line of said Lot 73A, also being the North line of Lots 61R1, 61R2 and 61R3 of said A. Newton Addition a distance of 406.70' to a 1/2" IR set;

Thence North 00° 12' 31" West along the West line of said Lot 73A, also being the East line of Lot 73B, A. Newton Addition as recorded in Volume 388-208, page 96, Plat Records, Tarrant County, Texas, a distance of 212.59' to a 1/2" IR found;

Thence North 89° 24' 41" East along the North line of said Lot 73A, also being the South line of Lot 140R, A. Newton Addition as recorded in Cabinet A, slide 7125, Plat Records, Tarrant County, Texas, a distance of 410.71 to the POINT OF BEGINNING.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT JVS PARTNERS, LP, acting by and through the undersigned, its duly authorized agent, does hereby adopt this plat designating the herein above described real property as LOTS 73A1 and 73A2, A. NEWTON ADDITION, an addition to the City of Arlington, Tarrant County, Texas, and do hereby dedicate to the public's use the streets and easements shown thereon.

WITNESS MY HAND at Arlington, Tarrant County, Texas, this the _____ day of _____, 2015.

JVS PARTNERS, LP

by:
Title: Partner

STATE OF TEXAS:
COUNTY OF TARRANT:

BEFORE ME, the undersigned authority, on this day, personally appeared _____, of JVS PARTNERS, LP, and known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration therein expressed.

GIVEN MY HAND AND SEAL on this the _____ day of _____, 2015.

Notary Public, State of Texas
My Commission Expires: _____

THIS is to certify that I, Herbert S. Beasley, a Registered Professional Land Surveyor of the State of Texas, have surveyed the above described property on the ground, and that all lot corners, angle points, and points of curve shall be set after construction and will be 1/2" iron rods capped and imprinted "BEASLEY 4050". Irons that are damaged, disturbed, or not so marked are not original corners.

Herbert S. Beasley
Registered Professional Land Surveyor
Texas Registration No. 4057



THIS is to certify that I, William M. Smith, Jr., a Registered Professional Land Surveyor of the State of Texas, have platted the above subdivision from an actual survey on the ground by Herbert S. Beasley, a Registered Professional Land Surveyor of the State of Texas.

William M. Smith, Jr.
Registered Professional Land Surveyor
Texas Registration No. 4647



Basis of Bearings: City of Arlington Monument AR 70.
Directional Control Line.
Grid Scale Factor: 0.99986480

NOTES:

THIS PROPERTY MAY BE SUBJECT TO CHARGES RELATED TO IMPACT FEES, AND THE APPLICANT SHOULD CONTACT THE CITY REGARDING ANY APPLICANT FEES DUE.

THIS PLAT DOES NOT ALTER OR REMOVE DEED RESTRICTIONS OR COVENANTS, IF ANY, ON THIS PROPERTY.

VISIBILITY TRIANGLES SHALL BE PROVIDED AT ALL PUBLIC OR PRIVATE STREET OR DRIVEWAY INTERSECTIONS IN ACCORDANCE WITH CURRENT CITY ORDINANCE. ALL LANDSCAPING (NOTHING OVER 2 FEET IN HEIGHT AS MEASURED FROM THE TOP OF THE CURB) WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY ORDINANCE.

THE CITY OF ARLINGTON RESERVES THE RIGHT TO REQUIRE MINIMUM FINISH FLOOR ELEVATIONS ON ANY LOT WITHIN THIS ADDITION. ADDITIONAL LOTS, OTHER THAN THOSE SHOWN, MAY ALSO BE SUBJECT TO MINIMUM FINISH FLOOR CRITERIA.

ANY NEW DEVELOPMENT OR SUBDIVISION IMPROVEMENTS ON NEW STRUCTURES SHALL CONFORM TO THE MINIMUM FINISH FLOOR REQUIREMENTS IN FORCE BY THE CITY OF ARLINGTON.

ALL IRON RODS SET (IRS) ARE 1/2" IRON RODS CAPPED AND STAMPED "BEASLEY RPLS 4050"

UE - UTILITY EASEMENT.

THE CITY OF ARLINGTON IS NOT RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, OR USE OF THE FOLLOWING:

PRIVATE ACCESS EASEMENTS AND ASSOCIATED IMPROVEMENTS

ANY STORM WATER TREATMENT FACILITY (IDENTIFIED AS A BEST MANAGEMENT PRACTICES(S) (BMP(S)) FOR STORM WATER QUALITY IN THE ACCEPTED STORM WATER MANAGEMENT SITE PLAN FOR THIS DEVELOPMENT), HEREINAFTER COLLECTIVELY REFERRED TO AS "IMPROVEMENTS", DEVELOPED AND CONSTRUCTED BY DEVELOPER OR HIS PREDECESSORS, OR TO BE DEVELOPED AND CONSTRUCTED BY DEVELOPER OR HIS SUCCESSORS. DEVELOPER WILL INDEMNIFY, DEFEND AND HOLD HARMLESS THE CITY OF ARLINGTON, ITS OFFICERS, EMPLOYEES, AND AGENTS FROM ANY DIRECT OR INDIRECT LOSS, DAMAGE, LIABILITY OR EXPENSE AND ATTORNEY'S FEES FOR ANY NEGLIGENCE ARISING OUT OF DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, CONDITION OR USE OF THE IMPROVEMENTS, INCLUDING ANY NON-PERFORMANCE OF THE FOREGOING. DEVELOPER WILL REQUIRE ANY SUCCESSOR IN INTEREST OF ALL OR PART OF THE PROPERTY, INCLUDING ANY PROPERTY OWNERS ASSOCIATION TO ACCEPT FULL RESPONSIBILITY AND LIABILITY FOR THE IMPROVEMENTS. ALL OF THE ABOVE SHALL BE COVENANTS RUNNING WITH THE LAND. DEVELOPER SHALL IMPOSE THESE COVENANTS UPON LOT 73A1 AND 73A2. ADJUTING, ADJACENT OR SERVED BY THE IMPROVEMENTS. THE COVENANTS SHALL INCLUDE THE FULL OBLIGATION AND RESPONSIBILITY OF MAINTAINING AND OPERATING SAID IMPROVEMENTS. ACCESS TO THE IMPROVEMENTS IS GRANTED TO THE CITY FOR ANY PURPOSE RELATED TO THE EXERCISE OF GOVERNMENTAL SERVICES OR FUNCTIONS, INCLUDING BUT NOT LIMITED TO, FIRE AND POLICE PROTECTION, INSPECTION AND CODE ENFORCEMENT.

Developer's/Owner's signature

Approved by the City of Arlington Planning and Zoning Commission on _____, 2015.

Chairman - Planning and Zoning Commission _____

Secretary - Planning and Zoning Commission _____

Basis of Bearings: City of Arlington Monument AR 70.
Directional Control Line.
Grid Scale Factor: 0.99986480

Note:
IRF - Iron Rod Found.

IRS - Iron Rod Set "BEASLEY RPLS 4050"

CM - Control Monument

REGISTERED PROFESSIONAL SURVEYORS

HERBERT S. BEASLEY LAND SURVEYORS L.P.

• LAND • TOPOGRAPHIC
• CONSTRUCTION SURVEYING

FIRM NO. 10094900
METRO 817-429-0194
FAX 817-446-5488
hsbeasley@msn.com

P. O. BOX 8873
FORT WORTH, TEXAS 76124

WMSA Partners, Ltd.
Engineers - Surveyors - Planners
Firm Reg. No. F-9681

PH 817-903-1182 P.O. Box 699
bud@wmsaonline.com Arlington, Texas 76004

Owner:
JVS Partners, LP
2712 Matlock Road
Arlington, Texas 76015-2588
817-468-5400

Replat

**A. NEWTON ADDITION
LOT 73A1 and 73A2**

an addition to the City of Arlington, Tarrant County, Texas being a Revision of Lot 73A, A. Newton Addition, an addition to the City of Arlington, Tarrant County, Texas according to the plat recorded in Volume 388-208, Page 95, Plat Records, Tarrant County, Texas and containing 1.993 Acres of land located in the A. Newton Survey, Abstract No. 1161, Tarrant County, Texas.

2 Lots
February 2015

Staff Report



Replat (P. Caldwell Addition)

Planning and Zoning Meeting Date: 5-6-15

Document Being Considered: Plat

RECOMMENDATION

Consider replat on the consent agenda.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

The applicant, DiSciullo-Terry, Stanton and Associates, Inc., proposes to subdivide Lot 11R in the P. Caldwell Addition, approximately 2.262 acres in size, to create two Lots: Lot 11R1 and 11R2. An office building currently occupies the future Lot 11R1.

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the subdivision regulations.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

<u>Property Location:</u>	Generally located South of East Park Row and west of North Watson Road with the approximate address being 2522 Park Row Drive.
<u>Sector:</u>	East
<u>Council District:</u>	5
<u>Current Zoning:</u>	Community Commercial (CC) and General Commercial (GC)

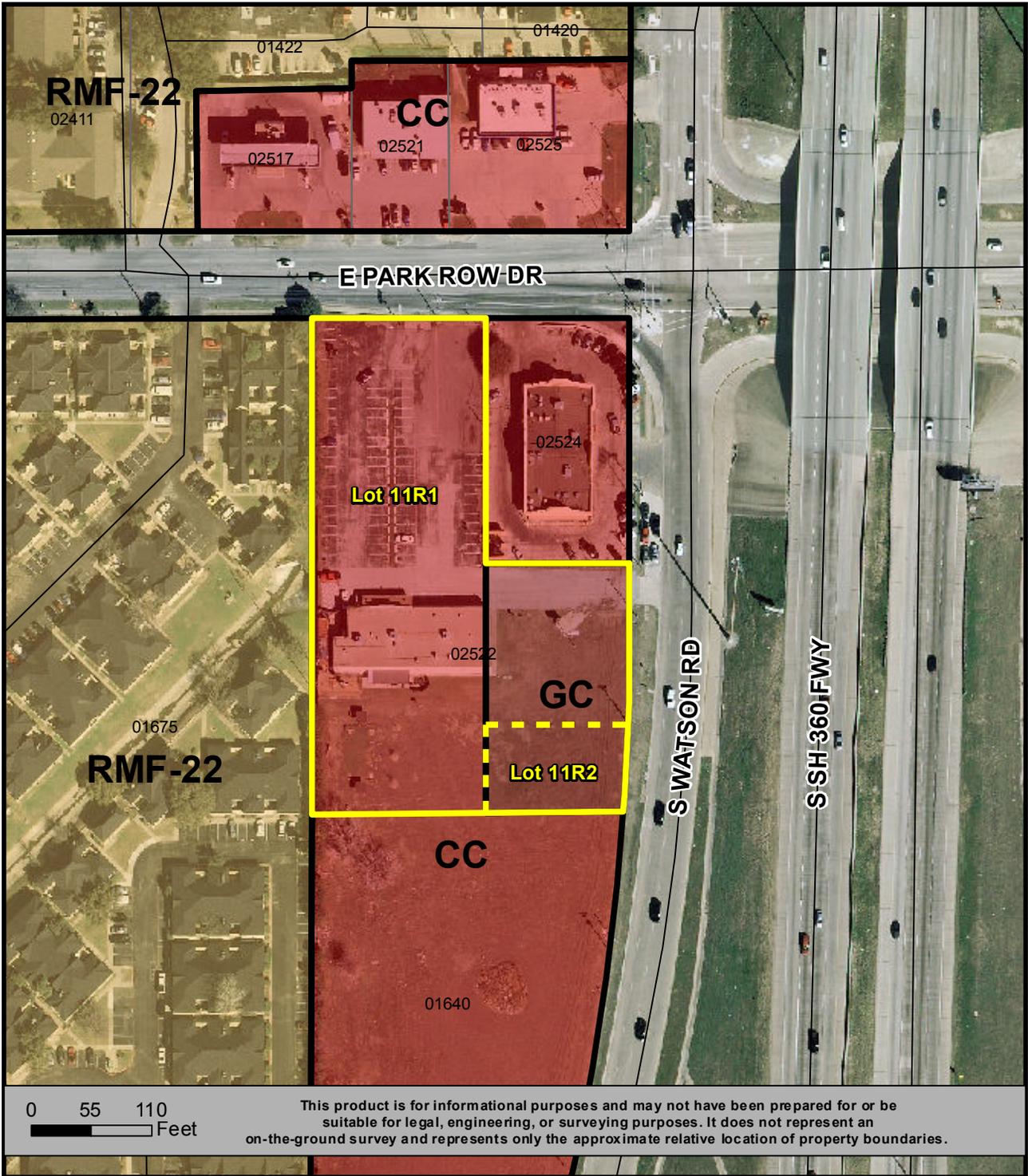
ATTACHED

- i. Location Map
- ii. 11 x 17 Plat

STAFF CONTACT(S)

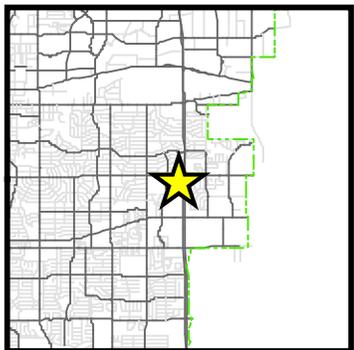
Gincy Thoppil, AICP
Development Planning Manager
Community Development and Planning
817-459-6662
Gincy.Thoppil@arlingtontx.gov

Kevin Charles
Senior Planner
Community Development and Planning
817-459-6515
Kevin.Charles@arlingtontx.gov



LOCATION MAP

**P. CALDWELL ADDITION
REPLAT**



STATE OF TEXAS
COUNTY OF TARRANT

WHEREAS, GRAND PRAIRIE MOOSE LODGE NO. 1818, LOYAL ORDER OF MOOSE, INC., acting by and through the undersigned, its duly authorized agent, is the sole owner of all of Lot 11-R, P. Caldwell Addition, an addition to the City of Arlington, Tarrant County, Texas as recorded in Cabinet A, Slide 6253, Plat Records of Tarrant County, Texas (PRTCT), being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found in concrete with plastic cap stamped "ARLINGTON ROW", said iron rod being located on the south right-of-way line of East Park Row Drive, a 110 foot right-of-way at this point, and also being in the west line of Lot 3-R, P. Caldwell Addition, an addition to the City of Arlington according to the Plat recorded in Volume 388-55, Page 20, PRTCT, from which a 1/2 inch iron rod found bears North 22°04'53" East, a distance of 5.21 feet;

THENCE South 00°00'47" West, departing the East Park Row Drive right-of-way line, with the west line of said Lot 3-R, a distance of 216.72 feet, to a 1/2 inch iron rod found at the southwest corner of said Lot 3-R, for corner;

THENCE North 89°59'23" East, with the south line of aforementioned Lot 3-R, a distance of 143.55 feet, to an "X" cut in concrete found, at the southeast corner of said Lot 3-R, and in the west right-of-way line of South Watson Road, State Highway 360, at the beginning of a non-tangent curve to the right, for corner;

THENCE southerly with the west right-of-way line of State Highway 360, along said curve to the right with a radius of 2,488.79 feet, a central angle of 5°05'57", and a chord that bears South 03°56'18" West a distance of 221.42 feet, an arc distance of 221.49 feet, to a 1" iron rod found, at the northeast corner of the remainder of Lot 5-A, P. Caldwell Addition, an addition to the City of Arlington, Tarrant County, Texas as originally recorded in Volume 388-51, Page 13, PRTCT, for corner;

THENCE South 89°37'00" West, departing the west right-of-way line of South Watson Road, State Highway 360, a distance of 282.90 feet, to a 1/2 inch iron rod found with a cap stamped "BEASLEY", said iron rod also in the east line of Lot 2R2, Block 2, L'Atriums Townhouse Addition Revised No. 2, an addition to the City of Arlington, Tarrant County, Texas as recorded in Instrument No. D212167626, PRTCT, for corner;

THENCE North 00°10'10" West, with the east line of aforementioned Lot 2R2, a distance of 439.05 feet, to a 5/8 inch iron rod found in the south right-of-way line of East Park Row Drive, a 110 foot right-of-way at this location, from which a 1/2 inch iron rod found bears North 00°00'55" West, a distance of 15.02 feet, for corner;

THENCE North 89°50'28" East, with the south right-of-way line of East Park Row Drive right-of-way, a distance of 155.90 feet, to the POINT OF BEGINNING of herein described tract, containing an area of 98,545 square feet, or 2.262 acres of land.

The basis of bearing is based on the State Plane coordinate System, Texas North Central Zone 4202, North American Datum 1983 (NAD83) 1993 Adjustment.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, BRIAN ADRIAN FOR GRAND PRAIRIE MOOSE LODGE NO. 1818, LOYAL ORDER OF MOOSE, INC., does hereby adopt this plat designating the hereinabove described real property as LOT 11R1 and LOT 11R2, P. CALDWELL ADDITION, an addition to the City of Arlington, Tarrant County, Texas, and does hereby dedicate to the public's use the streets and easements shown thereon except private easements shown thereon. This plat does not alter or remove existing deed restrictions or covenants, if any, on this property.

I hereby certify that no deed restrictions exist upon the property included within this plat that is in a platted subdivision at the present time wherein a lot thereof is limited by deed restrictions authorizing residential use but restricting same to not more than two residential units per lot. I further certify that this replat does not alter or remove existing deed restrictions or covenants, if any on this property.

Pursuant to Section 12.002 of the Texas Property Code, as amended, I have obtained original tax certificates from each taxing unit with jurisdiction over each parcel of real property in said subdivision indicating that no delinquent ad valorem taxes are owed on the real property which is the subject of the plat or replat I have submitted to the City of Arlington, Tarrant County, Texas for filing and recording with the Tarrant County Clerk's office.

WITNESS MY HAND AT Arlington, Tarrant County, Texas, this the _____ day of _____, 2015.

For: GRAND PRAIRIE MOOSE LODGE NO. 1818, LOYAL ORDER OF MOOSE, INC.,

BRIAN ADRIAN

STATE OF TEXAS
COUNTY OF TARRANT

BEFORE ME, the undersigned authority, on this day personally appeared BRIAN ADRIAN, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the _____ day of _____, 2015.

Notary Public, The State Of Texas My Commission Expires _____

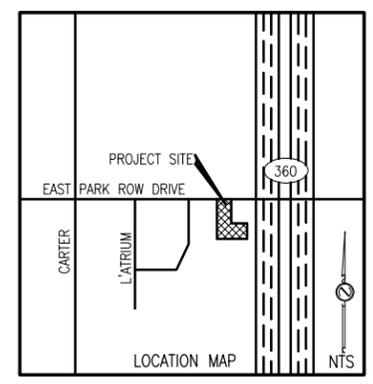
SURVEYORS CERTIFICATE

THIS is to certify that I, Joyce P. Stanton, a Registered Professional Land Surveyor of the State of Texas, has platted the above subdivision from an actual survey on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

Joyce P. Stanton
Registered Professional Land Surveyor
Texas Registration No. 6173

This property may be subject to charges related to impact fees, and the applicant should contact the City regarding any applicable fees due.



- LEGEND
- IRF IRON ROD FOUND
 - CRF CAPPED IRON ROD FOUND
 - IRS CAPPED 1/2" IRON ROD SET w/PINK PLASTIC CAP STAMPED "STANTON RPLS-6173"
 - IPF IRON PIPE FOUND
 - ESMT EASEMENT
 - PRTCT PLAT RECORDS OF TARRANT COUNTY, TEXAS
 - DRCT DEED RECORDS OF TARRANT COUNTY, TEXAS
 - VOL VOLUME
 - PG PAGE
 - CAB CABINET
 - SL SLIDE
 - B.L. BUILDING SETBACK LINE
 - P.L. PROPERTY LINE
 - C.M. BEARING CONTROL MONUMENT

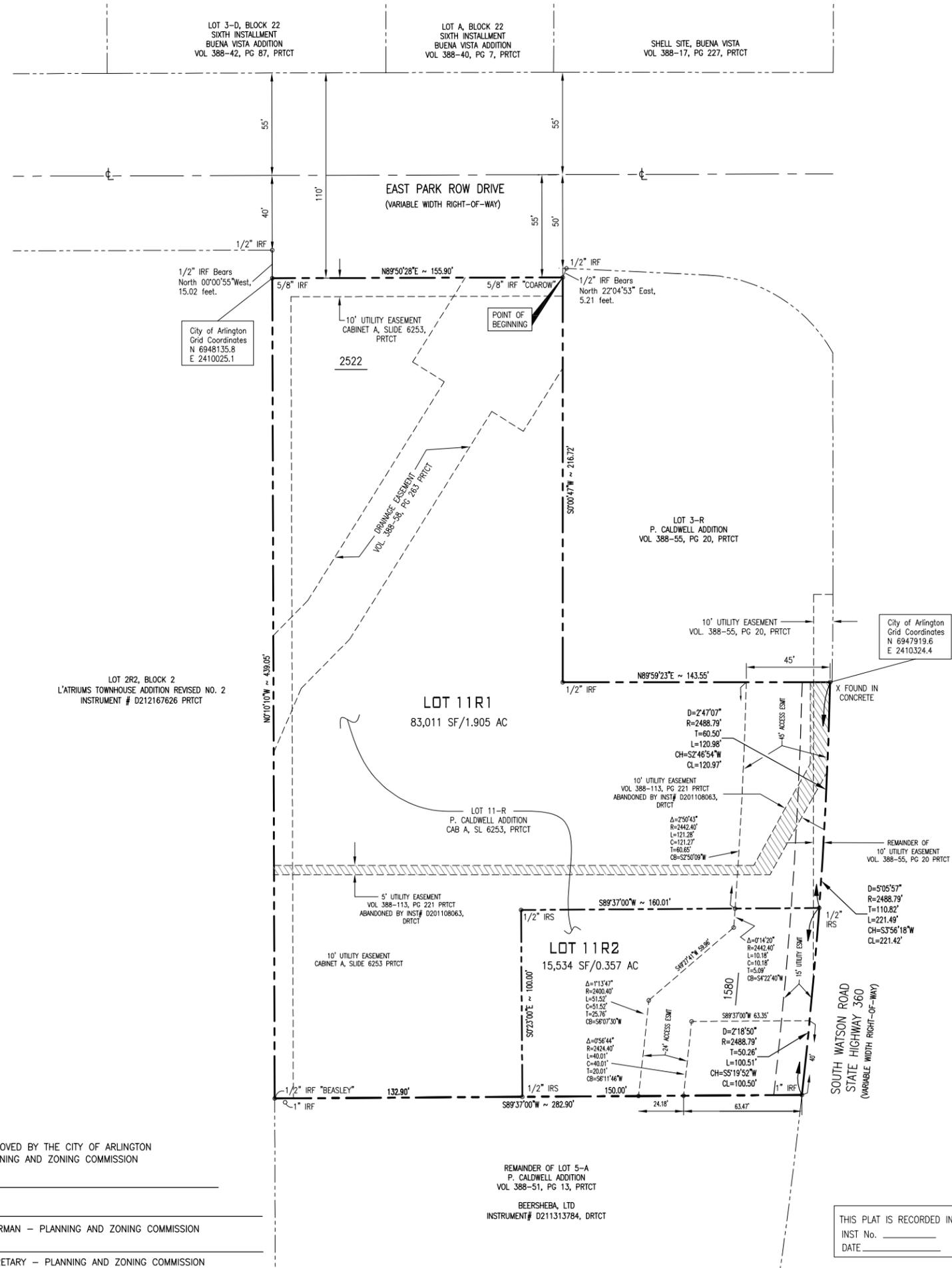
THIS REPLAT IS TO CREATE 2 LOTS FROM ONE



Coordinates and bearings recited in this survey are referenced to the NAD83 State Plane Coordinate System, Texas North Central Zone 4202.
SURVEYED ON THE GROUND JANUARY 29, 2015

OWNER ~
GRAND PRAIRIE MOOSE LODGE
2522 E. PARK ROW DR
ARLINGTON, TEXAS 76010
CONTACT ~ BRIAN ADRIAN
TEL: 817-543-1818
EMAIL: ML1818@SBCGLOBAL.NET

THIS PLAT IS RECORDED IN:
INST No. _____
DATE _____



APPROVED BY THE CITY OF ARLINGTON
PLANNING AND ZONING COMMISSION
DATE _____
CHAIRMAN - PLANNING AND ZONING COMMISSION
SECRETARY - PLANNING AND ZONING COMMISSION

REMAINDER OF LOT 5-A
P. CALDWELL ADDITION
VOL 388-51, PG 13, PRTCT
BEERSHEBA, LTD
INSTRUMENT# 0211313784, DRCT

REPLAT
LOT 11R1 & LOT 11R2
P. CALDWELL ADDITION
2.262 ACRE TRACT
BEING PART OF THE P. CALDWELL SURVEY, ABSTRACT NO. 364 AND BEING ALL OF LOT 11-R, P. CALDWELL ADDITION, AN ADDITION TO THE CITY OF ARLINGTON, TARRANT COUNTY, TEXAS, ACCORDING TO PLAT RECORDED IN CABINET A, SLIDE 6253, OF THE PLAT RECORDS OF TARRANT COUNTY, TEXAS.

ARLINGTON, TARRANT COUNTY, TEXAS
DATE: FEBRUARY, 2015 SCALE: 1"=30' FILE: Z:\CALDWELL P Addition lot 11-R REPLAT



DI SCIULLO-TERRY, STANTON & ASSOCIATES, INC.
ENGINEERING AND SURVEYING

908 WEST MAIN STREET * ARLINGTON, TEXAS 76013
TELEPHONE: 817-275-3361 * FAX: 817-275-8920
ESTABLISHED 1953 * FIRM NO. E-615 & S-100049-00

EMAIL: jstanton@dttery.com

©DISCIULLO-TERRY, STANTON & ASSOCIATES, INC. 2015

Staff Report



Replat (Westpointe Business Center Lot 1R1B1 & 1R1B2)

Planning and Zoning Meeting Date: 5-6-15

Document Being Considered: Plat

RECOMMENDATION

Consider replat on the consent agenda.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

The applicant, Pacheco Koch represented by Ryan Koch, proposes to subdivide Lot 1R1B of the Westpointe Business Center, approximately 5.45 acres in size, into two lots: Lot 1R1B1 and Lot 1R1B2. The subject property is currently undeveloped. Lot 1R1B1 is proposed to be developed with a Hilton Homewood Suites hotel. Lot 1R1B2 will remain undeveloped and slated for future commercial development.

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the subdivision regulations.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

<u>Property Location:</u>	Generally located north of East Bardin Road and west of Waxwing Drive with the approximate address being 4400 Waxwing Drive.
<u>Sector:</u>	Southeast
<u>Council District:</u>	3
<u>Current Zoning:</u>	Airport Overlay – Community Commercial (APO-CC)

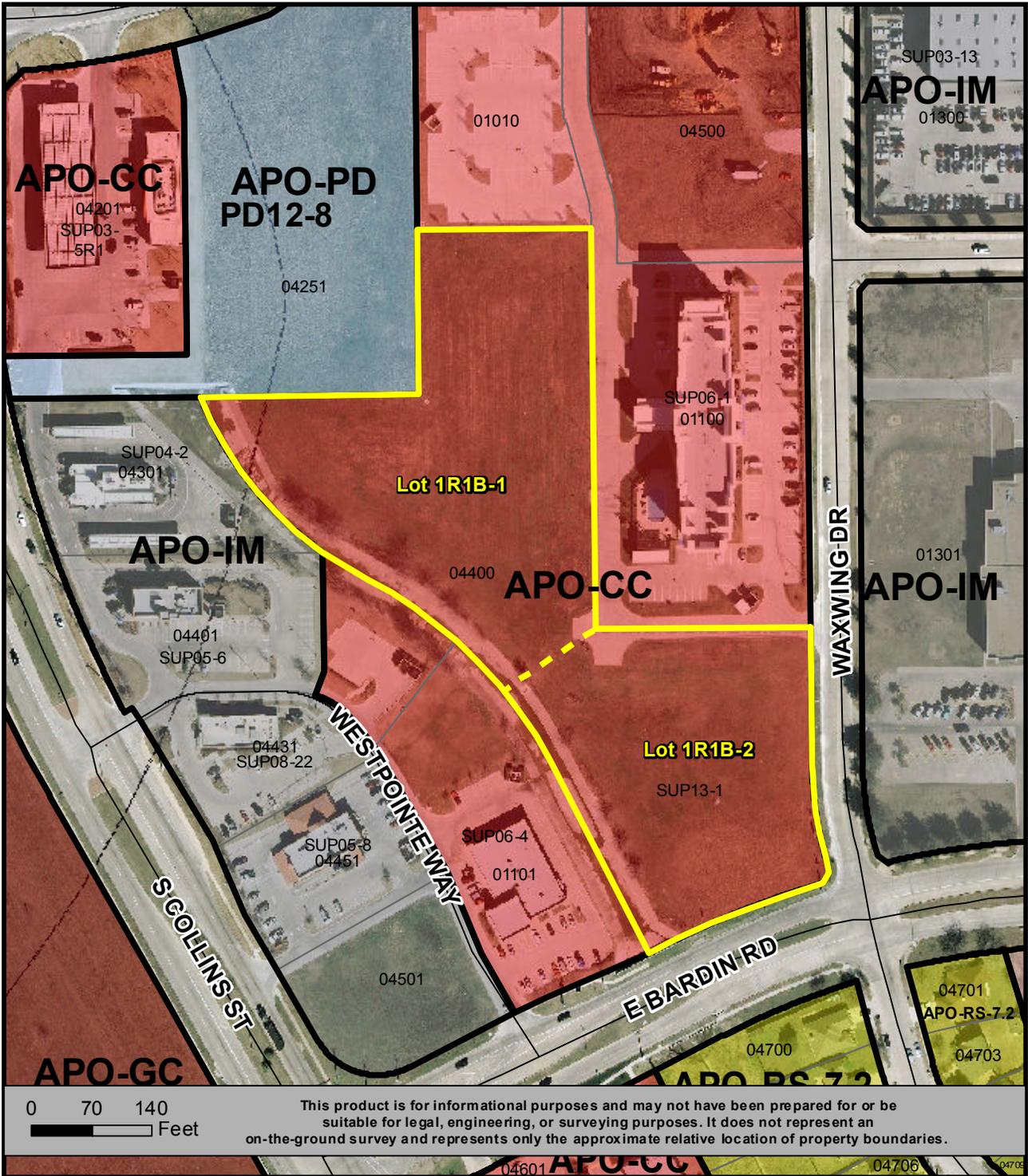
ATTACHED

- i. Location Map
- ii. 11 x 17 Plat

STAFF CONTACT(S)

Gincy Thoppil, AICP
Development Planning Manager
Community Development and Planning
817-459-6662
Gincy.Thoppil@arlingtontx.gov

Nathaniel Barnett, AICP
Senior Planner
Community Development and Planning
817-459-6670
Nathaniel.Barnett@arlingtontx.gov



LOCATION MAP

**WESTPOINTE BUSINESS CENTER
REPLAT**





MAINTENANCE STATEMENT

The City of Arlington is not responsible for the design, construction, operation, maintenance, or use of the following:

- Private Access Easements and associated improvements.
- Any Storm Water treatment facility (identified as a Best Management Practice(s)(BMPs) for Storm Water quality in the accepted Storm Water Management Site Plan for this Development).

Hereinafter collectively referred to as "Improvements", developed and constructed by Developer or his successors. Developer will indemnify, defend, and hold harmless the City of Arlington, its officials, employees and agents from any direct or indirect loss, damage, liability or expense and attorneys' fees for any negligence arising out of the design, construction, operation, maintenance, condition or use of the improvements, including any non-performance of the foregoing. Developer will require any successor in interest of all or part of the property, including any property owners association to accept full responsibility and liability for the improvements. All of the above shall be covenants running with the land. Developers shall impose these covenants upon the Lot 1R1B-1 and 1R1B-2 abutting, adjacent observed by the improvements. The covenants shall include the full obligation and responsibility of maintaining and operation said improvements. Access to the Improvements is granted to the City for any purpose related to the exercise of Governments Services or functions, including but not limited to, Fire and Police protection, inspection and Code Enforcement.

Approved by the City of Arlington Planning and Zoning Commission on _____ 2015.

Chairman - Planning and Zoning Commission Secretary - Planning and Zoning Commission

This plat is recorded in Cabinet _____, Slide E _____, Date _____.

OWNER'S DEDICATION

STATE OF TEXAS
COUNTY OF TARRANT

NOW THEREFORE, KNOWN ALL MEN BY THESE PRESENTS:

That Ruel Management LTD, acting through its duly authorized agent, Mike Daugherty do hereby adopt this plat, designating the herein above described property as **LOTS 1R1B1 and 1R1B2, BLOCK 1, WESTPOINTE BUSINESS CENTER**, an addition to the City of Arlington, Tarrant County, Texas, and does hereby dedicate, to the public use forever any streets and alleys shown thereon. The easements shown thereon are hereby dedicated for the purposes indicated. The utility and fire lane easements shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility and fire lane easements is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. All, and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which in any way may endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by that utility).

Water main and wastewater easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb or pavement line, and description of such additional easements herein granted shall be determined by their location as installed.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Arlington.

WITNESS, my hand at _____ this the _____ day of, _____ 20____.

By: Mike Daugherty
Ruel Management LTD.
a Texas Limited partnership

STATE OF _____
COUNTY OF _____

BEFORE ME, the understand authority, a Notary Public in and for the State of _____ on this day personally appeared Mike Daugherty known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____ 2014.

Notary Public in and for the State of _____

NOTES

1. Bearing system for this survey is based on the North American Datum of 1983, Texas State Plane Coordinate System, Texas North Central Zone (4202) Coordinates hereon are grid values. (Scale factor: 1.000120000)
2. The purpose of this replat is to create two lots from one 1 lot.
3. The survey abstract line shown hereon are approximate and are not located on the ground.
4. Lot to Lot Drainage will not be permitted without engineering section approval.
5. This property may be subject to charges related to impact fees and the applicant should contact the City regarding any applicable fees due.
6. Visibility Triangles shall be provided at the intersections of all public or private streets or driveway intersections in accordance with current City ordinance. All landscaping in excess of 2 feet in height as measured from the top of the curb within the visibility triangles shall comply with the Visibility Ordinance.
7. The City of Arlington reserves the right to require minimum finish floor elevations on any lot contained within this addition. The minimum finish floor elevations shown are based on the most current information available at the time the plat is filed and may be subject to change. Additional lots, other than those shown, may also be subject to minimum finish floor criteria.
8. The City of Arlington will only be responsible for the permanent pipe system drainage easement. The City of Arlington will not be responsible for other amenities, including but not limited to paving and fences within the drainage easement, and for general maintenance such as mowing.
9. Building setbacks shall meet requirements of Business Park Overlay.
10. Access to Lot 1R1B-1 is provided by a Variable width private access, public utility and drainage easement recorded in Cabinet A, Slide 11268 of the Plat Records of Tarrant County, Texas.
11. Access to Lot 1R1B-2 is provided by a Variable width private access, public utility and drainage easement recorded in Cabinet A, Slide 11268 of the Plat Records of Tarrant County, Texas, Waxwing Drive and East Bardin Road.
12. Elevations hereon are referenced to City of Arlington Vertical Control Benchmark 93-18-3.
13. The asterisk (*) placed next to a finished floor indicates that a Federal Emergency Management Agency (FEMA) Elevation certificate will not be required for these lots.
14. Tie shown hereon to Original Texas Survey Corner per Texas General Land Office GIS online maps.

LINE TABLE

LINE	BEARING	LENGTH
L1	N 89°17'54" E	25.00'
L2	S 00°42'06" E	13.00'
L3	S 89°17'54" W	25.00'

SURVEYOR / ENGINEER

PACHECO KOCH CONSULTING ENGINEERS
8350 N. CENTRAL EXPWY. SUITE 1000
DALLAS, TEXAS 75206
PH: (972) 235-3031
972-672-7984
CONTACT: PAUL HUBERT

OWNER

RUEL MANAGEMENT LTD.
1920 NORTH WASHINGTON DRIVE
MAGNOLIA, ARKANSAS 71753
870-234-5460
972-672-7984
MIKE DAUGHERTY

OWNER'S CERTIFICATE

State of Texas
County of Tarrant

WHEREAS, Ruel Management, Ltd., acting by and through the undersigned, its duly authorized agent 28 feet owner of a 1/2-inch iron rod with "PACHECO KOCH" cap, on the west line of Lot 2, Block 5R, Westpointe Business Center, an Addition to the City of Arlington, Texas, recorded in Instrument No. D21022914, Plat Records of Tarrant County, Texas, (P.R.T.C.T.); said tract also being a portion of that tract of land described in Special Warranty Deed with Vendor's Lien to Ruel Management, Ltd., recorded in Instrument No. D205364260 of the Deed Records of Tarrant County, Texas, being more particularly described as follows (bearing system is based on the North American Datum of 1983, Texas State Plane Coordinate System, North Central Zone 4202, based on City of Arlington GPS Monuments 23 and 24):

BEGINNING at a found 1/2-inch iron rod with "WEIR" cap for the easterly southeast corner of said Lot 1R1B, being the northerly northwest corner for the intersection of the westerly right-of-way line of Waxwing Drive (60-foot wide right-of-way) with the northerly right-of-way line of East Bardin Road (variable width right-of-way);

THENCE westerly with said northerly right of way line as follows:

South 28 degrees 45 minutes 10 seconds West, a distance of 14.37 feet to a found 1/2-inch iron rod with "WEIR" cap for the westerly northwest corner of said intersection;

Along the arc of a curve to the left, having a central angle of 05 degrees 41 minutes 29 seconds, a radius of 1060.00 feet, an arc length of 105.29 feet and a chord of South 69 degrees 41 minutes 23 seconds West, 105.25 feet to set 1/2-inch iron rod with "PACHECO KOCH" cap;

South 66 degrees 50 minutes 40 seconds West, a distance of 112.45 feet to a set "X" in concrete for the southwest corner of said Lot 1R1B, same being the southeast corner of Lot 2, Block 5R, Westpointe Business Center, an Addition to the City of Arlington recorded in Cabinet A, Slide 9386, PRCT;

THENCE northwesterly with the line common to the aforesaid Lot 1R1B, and Lots 1 and 2, Block 5R, Westpointe Business Center, as follows:

North 27 degrees 26 minutes 27 seconds West, a distance of 249.12 feet to a set "X" in concrete for the beginning of a curve;

Along the arc of a curve to the left, having a central angle of 35 degrees 30 minutes 45 seconds, a radius of 500.00 feet, an arc length of 309.9 feet and a chord of North 45 degrees 11 minutes 50 seconds West, 304.97 feet to a set "X" in concrete for a point of reverse curvature;

Along the arc of a curve to the right, having a central angle of 41 degrees 22 minutes 00 seconds, a radius of 400.00 feet, an arc length of 288.80 feet and a chord of North 42 degrees 16 minutes 12 seconds West, 282.56 feet to a set "X" in concrete on the south line of Lot 5R, W.D. Lacy Addition, an Addition to the City of Arlington, recorded in Cabinet B, Slide 2984, PRCT;

THENCE with the lines common to said Lot 1R1B and the south and east lines of said Lot 30 as follows:

North 89 degrees 15 minutes 31 seconds East, a distance of 255.01 feet to a found 1/2-inch iron rod with "WEIR" cap;

North 00 degrees 42 minutes 06 seconds West, a distance of 190.58 feet to a set 1/2-inch iron rod with "PACHECO KOCH" cap, for the northerly northwest corner of said Lot 1R1B, and the southwest corner of Lot 1R1A, Block 1, Westpointe Business Center;

THENCE N 89 degrees 07 minutes 54 seconds East, with the line common to said Lots, a distance of 201.28 feet to a found 1/2-inch iron rod with "PACHECO KOCH" cap, on the west line of Lot 2, Block 1, Westpointe Business Center, recorded in Instrument No. D206215061, PRCT;

THENCE south and east with the lines common to said Lot 1R1B and Lot 2 as follows:

South 00 degrees 42 minutes 06 seconds East, a distance of 465.06 feet to a set 1/2-inch iron rod with "PACHECO KOCH" cap;

North 89 degrees 17 minutes 54 seconds East, a distance of 249.67 feet to a set 1/2-inch iron rod with "PACHECO KOCH" cap on the aforesaid westerly right of way line for Waxwing Drive;

THENCE southerly with said right of way line as follows:

South 00 degrees 42 minutes 06 seconds East, a distance of 160.23 feet to a found 1/2-inch iron rod with "WEIR" cap;

Along the arc of a curve to the left, having a central angle of 14 degrees 36 minutes 03 seconds, a radius of 430.00 feet, an arc length of 109.58 feet and a chord of South 08 degrees 00 minutes 08 seconds East, 109.28 feet to a found 1/2-inch iron rod with "WEIR" cap;

South 15 degrees 18 minutes 09 seconds East, a distance of 18.24 feet to the POINT OF BEGINNING and containing 5.450 acres, more or less.

SURVEYOR'S STATEMENT

STATE OF TEXAS
COUNTY OF DALLAS

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT I, Paul Hubert, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Land Surveying, the City of Dallas Development Code (Ordinance No. 19455 (as amended) and Texas Local Government Code, Chapter 212. I further affirm that monumentation shown hereon was either found or placed in compliance with the City of Dallas Development Code, Sec. 51A-8.617 (a)(b)(c)(d) & (e); and that the digital drawing file accompanying this plat is a precise representation of this Signed Final Plat.

Dated: _____, 2015.

Paul Hubert
Texas Registered Professional Land Surveyor
No. 1942

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Paul Hubert known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2015.

Notary Public in and for the State of Texas

REPLAT WESTPOINTE BUSINESS CENTER

LOTS 1R1B1 AND 1R1B2, BLOCK 1

BEING A REPLAT OF LOT 1R1B, BLOCK 1

WESTPOINTE BUSINESS CENTER

PART OF THE

M.E.P & P.R.R. SURVEY, ABSTRACT NO. 1140

AND THE

W.D. LACY SURVEY, ABSTRACT NO. 929

CITY OF ARLINGTON, TARRANT COUNTY, TEXAS

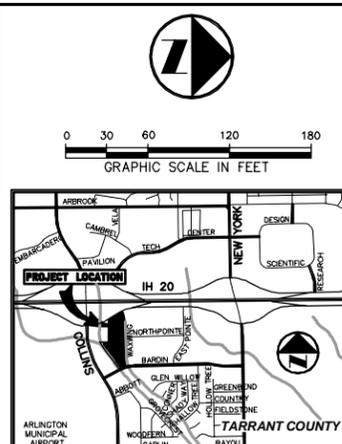
CITY PLAN FILE NO. S _____

5.450 ACRES



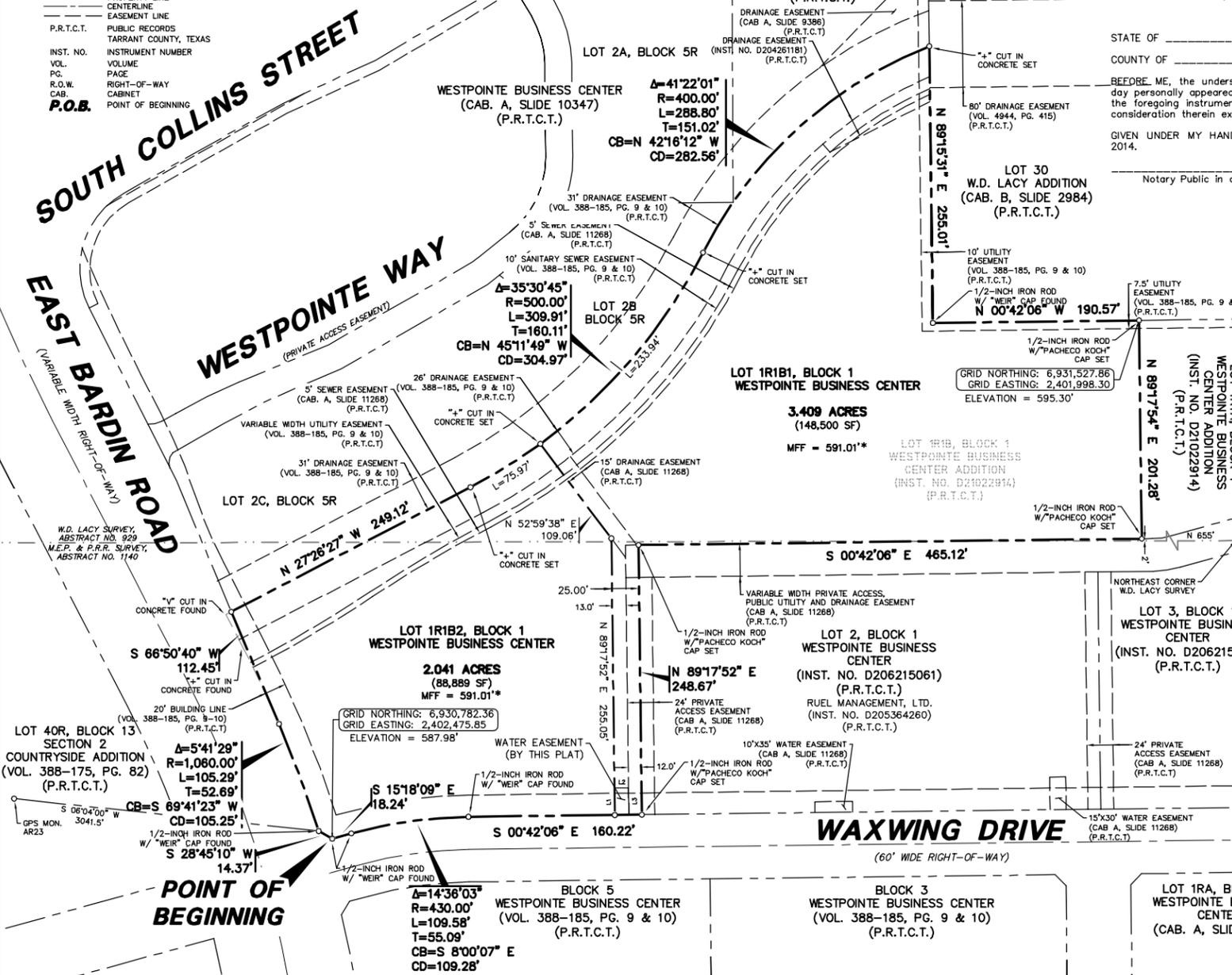
DRAWN BY	CHECKED BY	SCALE	DATE	JOB NUMBER
ACD	JPH	1"=60'	12/19/2014	1306-14.449R

DWG FILE: 1306-14.449R.DWG



VICINITY MAP
(NOT TO SCALE)

- LEGEND**
- IRS 1/2-INCH IRON ROD W/"PACHECO KOCH" CAP SET (UNLESS OTHERWISE NOTED)
 - (C.M.) CONTROLLING MONUMENT
 - PROPERTY LINE
 - CENTERLINE
 - EASEMENT LINE
 - P.R.T.C.T. PUBLIC RECORDS TARRANT COUNTY, TEXAS
 - INST. NO. INSTRUMENT NUMBER
 - VOL. VOLUME
 - PG. PAGE
 - R.O.W. RIGHT-OF-WAY
 - CAB. CABINET
 - P.O.B. POINT OF BEGINNING



HUBERT 04/29/2015 - 2:24PM
M:\V\1306-14.449R.DWG SURVEY CSD 2012\1306-14.449R.DWG

WESTPOINTE BUSINESS CENTER - REPLAT

Staff Report



Specific Use Permit SUP15-1 (Chick-fil-A)	
Planning and Zoning Meeting Date: 5-6-15	Document Being Considered: Ordinance

RECOMMENDATION

Following the public hearing, consider Specific Use Permit SUP15-1.

PRIOR BOARD OR COUNCIL ACTION

On November 9, 1993, City Council adopted the Festival (F) zoning district and associated its standards by a vote of 9-0-0. To ensure that existing uses remain conforming, the City initiated zoning cases and SUP requests for 18 properties. The subject site was one of the 18 properties.

On January 5, 1994, the Planning and Zoning Commission recommended approval SUP93-6 for a drive-through restaurant (Taco Cabana) by a vote of 7-0-0.

On February 15, 1994, City Council approved SUP93-6 by a vote of 9-0-0.

ANALYSIS

Request - The applicant requests approval of a new Specific Use Permit (SUP) for a restaurant with a drive-through window addressed at 1505 North Collins, 911 and 915 Skyline Drive, and generally located north of Skyline Drive and east of North Collins Street. The site is currently zoned Entertainment District Overlay- Community Commercial (EDO-CC)

Restaurants with drive-through windows in the EDO require approval of a SUP. This is to ensure the use is compatible with the surrounding properties and consistent with the character of the neighborhood. Approval of a SUP may establish reasonable conditions on the operation or location of the business with site upgrades. No deviations to the Unified Development Code (UDC) standards are allowed through a SUP.

Site Information – The subject site consists of three lots: Lots 1R2, 4R2B and 4R2A of the Dalby Acres Addition. The lot fronting North Collins Street was developed in 2001 with a 4,200- square-foot Chick-fil-A restaurant with a drive-through window. The two rear lots are developed with a 15,000-square-foot building of which 7,500-square-foot is used as a beauty salon. The applicant proposes to demolish both buildings, combining the three lots into one lot and build a new 5,600-square-foot Chick-fil-A restaurant with a drive-through window.

The enhanced building design and streetscape meet or exceed the EDO standards. The building is moved close to the street with no parking or drive-through lane in front of the building. The building has a hard corner element on the North Collins Street and Skyline Drive corner, which fits with the urban streetscape desired in the EDO. It includes a covered dining area, which allows for a customized dining experience at this location. In order to enhance the building treatment on the North Collins Street frontage with more dining areas, the signature Chick-fil-A indoor play area will be moved to the interior side, which is not in keeping with the typical prototype.

The site layout includes a redesigned parking area, enhanced landscaping, and a double drive-through lane to better accommodate the customer base and prevent vehicle stacking onto adjacent Collins Street and/or Skyline Drive. The drive-through lane is screened from Skyline Drive with significant landscaping. Additionally, a large landscape buffer area between the drive-through lanes and the interior parking lot is proposed. The

applicant has also submitted a Replat application that is currently under review by staff.

Surrounding Land Uses – Adjacent properties to the north, south and east are also zoned EDO-CC. The site is surrounded by a variety of commercial uses including but not limited to a number of retail, restaurant, personal service, and office uses. The Lincoln Square retail development is located across North Collins Street to the west.

Comprehensive Plan – In the newly adopted Comprehensive Plan, *99 Square Miles*, the City has identified ‘Grow Our Businesses’ as a goal, which specifically speaks to the elevation of Arlington’s competitive positioning as a major activity hub in North Texas as well as the rejuvenation and transformation of key economic centers, such as the EDO into vibrant destinations.

The proposed project related to the SUP is consistent with the vision, principles, and strategies outlined in the Comprehensive Plan.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:

- i. Case Information
- ii. Itemized Allowable Uses
- iii. Location Map
- iv. Photos
- v. Plans (13 pages)

Under separate cover:

None

Available in the City Secretary’s office:

None

CITY COUNCIL DATE

June 2, 2015

STAFF CONTACTS

Gincy Thoppil, AICP
Development Planning Manager
Community Development and Planning
817-459-6662
Gincy.Thoppil@arlingtontx.gov

Jennifer Pruitt AICP, LEED AP
Principal Planner
Community Development and Planning
817-459-6138
Jennifer.Pruitt@arlingtontx.gov

Case Information



Applicant: Peyco Southwest Realty, Inc. represented by James L. Maibach

Property Owner: Peyco Southwest Realty, Inc. represented by James L. Maibach

Sector Plan: North

Council District: 1

Allowable Uses: All uses as itemized in attachment ii.

Development History: The subject site is currently platted as, Lots 1R2, 4R2B and 4R2A of the Dalby Acres Addition.

Previous zoning cases in the general vicinity in the past five years include:

Case No.	Location	Request	Disposition
PD14-14	1701 N. Collins(Champion's Park)	Planned Development (PD) for limited Entertainment District Overlay-Community Commercial (EDO-CC) uses	Approved
PD13-19	525 E. Lamar Boulevard(Arlington Commons)	PD deviations from LCMU Overlay standards	Approved

Transportation: The proposed development has several points of access:

Thoroughfare	Existing	Proposed
North Collins Street	110-foot, 5 lane undivided, arterial	120-foot, 6 lane divided, arterial
Skyline Drive	55-foot, 2-lane local road	50-foot, 2-lane local road

Traffic Impact: The proposed zoning change will generate similar traffic patterns and will not significantly impact the adjacent roadway systems.

Case Information



Water & Sewer: The proposed development will be responsible for relocating all existing public infrastructure that the new building will encroach on, including an existing 8 inch sanitary sewer line. Relocation of the sanitary sewer line will need to be completed and accepted by public works before a building permit may be issued. New easements will be required for the relocated utilities.

Drainage: The site is located within the Johnson Creek drainage basin. No portion of the site is located in a floodplain. No significant drainage impacts are expected to result from development of this site as long as the site complies with relevant city ordinances.

Fire: Fire Station Number 8, located at 2020 Madison Drive, provides protection to this site. The estimated fire response time is less than five minutes, which is in keeping with recommended standards.

School District: Arlington Independent School District.

The proposed specific use permit request is located in the Arlington Independent School District and has no impact on the schools serving this site.

Notices Sent:
Neighborhood Associations:

- ACTION North
- Arlington Alliance for Responsible Government
- Arlington Chamber of Commerce
- Arlington Neighborhood Council Association
- East Arlington Renewal
- East Arlington Review
- Far South Arlington Neighborhood Association
- Forest Hills Home Owners Association
- Friends of Parkway Central Park
- Northern Arlington Ambience
- Parkway Central Home Owners Association
- Riverbend Neighborhood
- Town North Neighbors
- West Citizen Action Network (WeCan)

Property Owners: 12
Letters of Support:
Letter of Opposition:

Itemized Allowable Uses



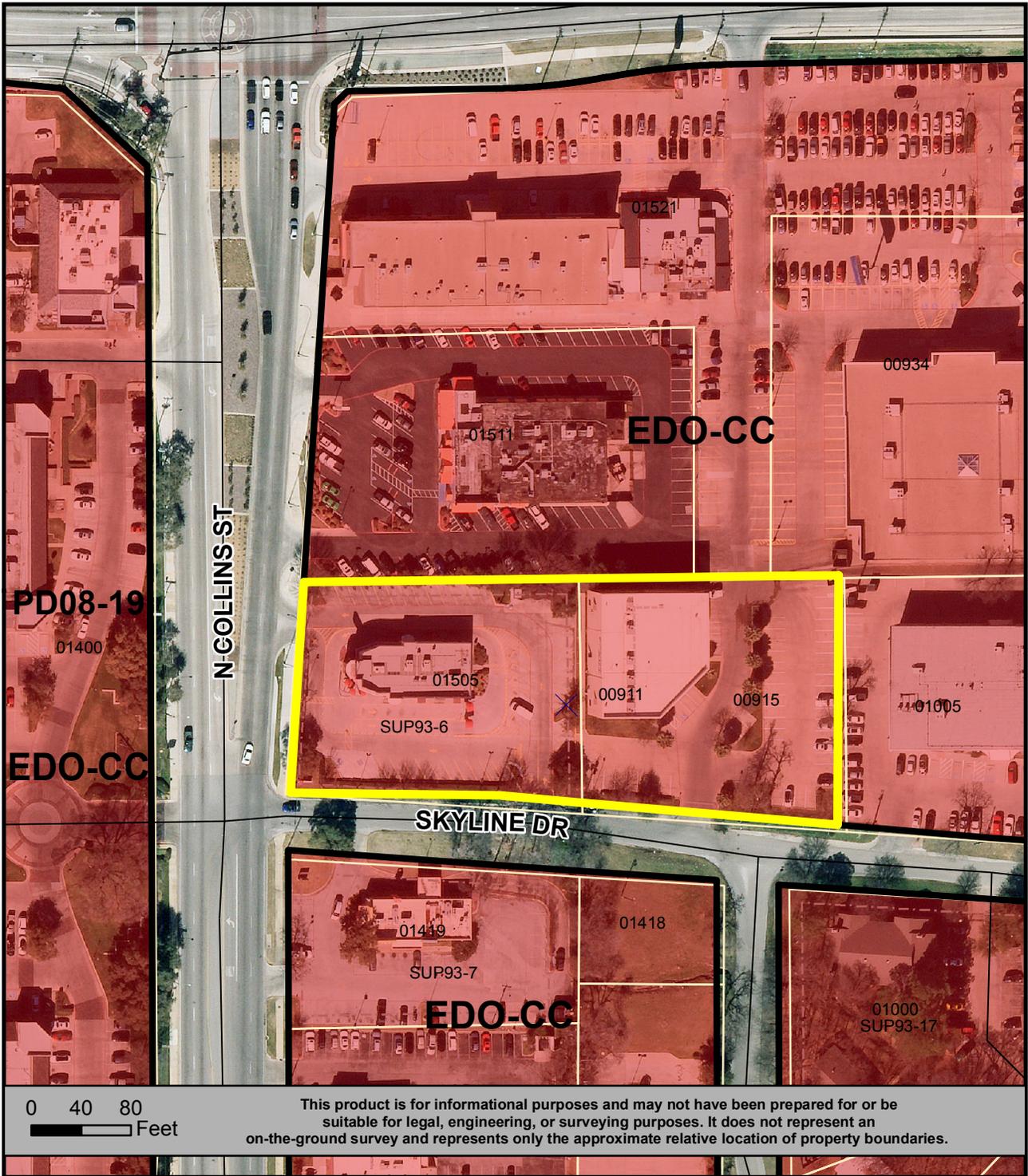
Allowable Uses:

Community Commercial (CC)

Permitted – Nursing home, Art gallery or museum, Government administration and civic buildings, Domestic violence shelter, Mortuary/crematory/funeral chapel, Philanthropic institution (other than listed), Religious assembly, Business school, Public or private school, University/college/seminary, Hospital, Medical or dental office or clinic, Cemetery, Community garden, Public park or playground, Crop production, Gasoline sales, Catering service, Restaurant, Restaurant/take-out and delivery only, Office/business or professional, Telemarketing call center, Day care center, Private club/lodge/fraternal, General personal services (other than listed), Massage therapy clinic, Recreation/indoor (other than listed), Wedding chapel, Country club, Golf course, Major tourist attraction, General retail store (other than listed), Firearm sales, Pawn shop, Second-hand goods store, Swimming pool/spa and accessory sales and service, Medical or scientific research laboratory, Electric utility substation, Radio or TV station or studio, Utility lines, towers or metering station.

Specific Use Permit – Restaurant with drive-through window in the EDO, Halfway House, Hospital/psychiatric, Hotel/limited service, Residence hotel, Bail bond service, Banquet hall, Billiard parlor, Tattoo parlor, Bowling alley, Bingo hall, Gun range, Night club, Recreation general outdoor (other than listed), Marina, Specialty paraphernalia sales, Wrecker service, Gas well, Transit passenger terminal, Utility installation other than listed, Telecommunication Facilities Towers >75 ft., Stealth towers >100 ft., Self-storage facility.

Conditions – Kennel/commercial, Veterinary clinic, Motor vehicle rental, Financial services, Sidewalk café, Hotel/full service, Skating rink, Teen club, Theatre indoor, Building and landscaping materials and lumber sales, Nursery/garden shop or plant sales, Food processing, Custom and craft work, Telecommunication Facilities Building-mounted antennae and towers, Telecommunication Facilities Towers ≤75 ft., Stealth towers ≤100 ft.



**LOCATION MAP
SUP15-1**

**SUP for a Restaurant with a drive-through window
1.807 ACRES**



SUP15-1

North of Skyline Drive and east of North Collins Street



View north from Skyline drive.



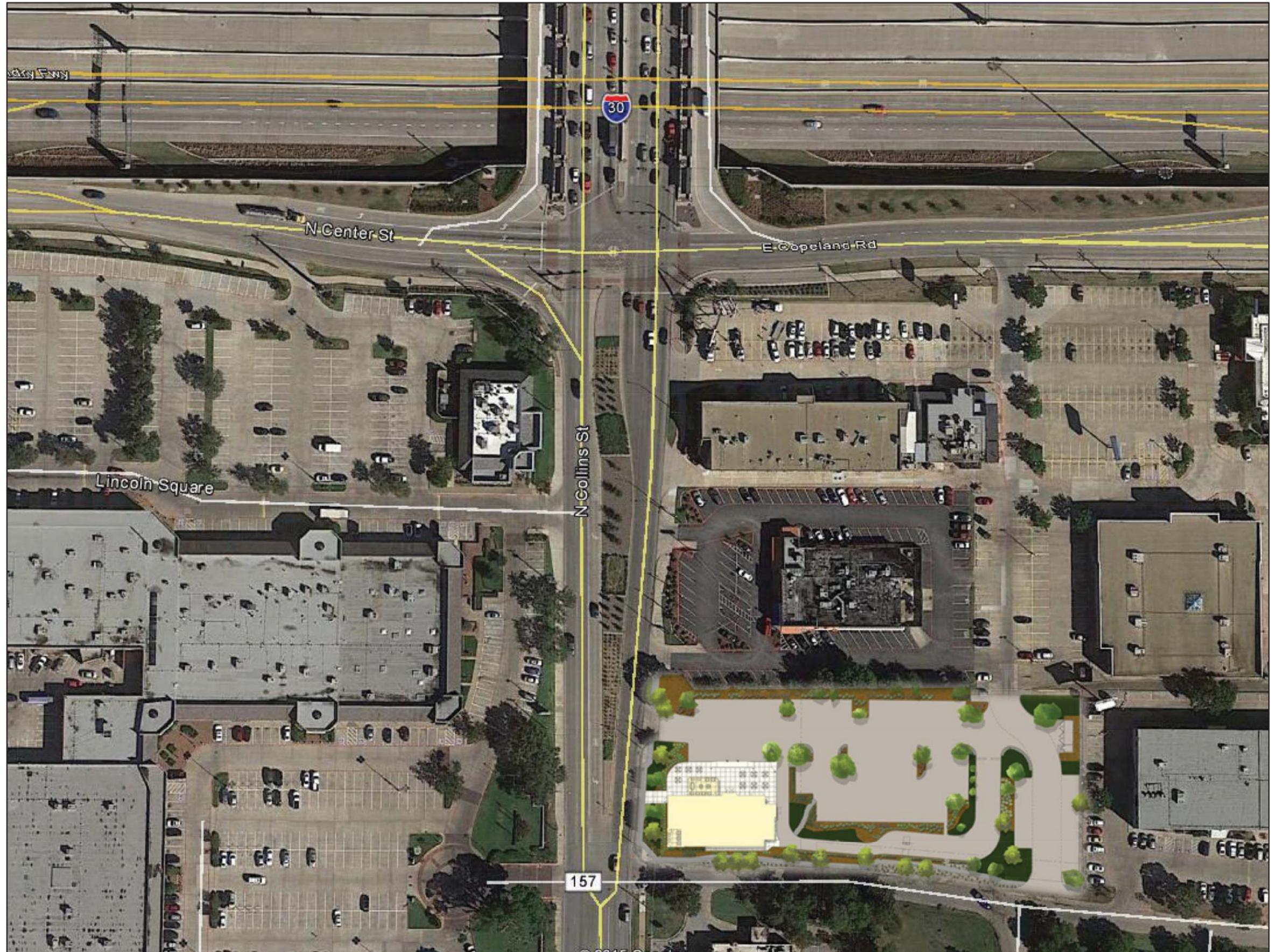
View west across North Collins.



View of adjacent site. View north.



View of adjacent property located east of the subject site. View northeast.



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△		

--	--	--

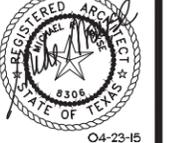
Mark	Date	By
△		

--	--	--

Mark	Date	By
△		

--	--	--

Seal



MAYSE & ASSOCIATES, INC.
Architects • Planning • Construction Management
14000 Quaker Dr. Suite 201
Houston, TX 77058-4038
Tel: (281) 364-6275

STORE
NORTH COLLINS FSU
S08H CUSTOM

1505 N. Collins St.
Arlington, TX
76011

SHEET TITLE
EXTERIOR
ELEVATION

VERSION: V3
ISSUE DATE: 2-2015

Job No. : 14042

Store : 01307

Date : 04-23-15

Drawn By : BN

Checked By: _____

Sheet

AREA PLAN

BENCH MARK NOTES

(1) ELEVATION BASIS PER NORTH AMERICAN VERTICAL CONTROL DATUM 1985 (NAVD-85).

(2) **SITE BENCH MARK NO. 1**
BRASS MONUMENT LOCATED ALONG THE EAST RIGHT OF WAY LINE OF COLLINS ROAD FOR THE NORTHWEST CORNER OF LOT 1R-2 OF DALBY ACRES ADDITION.
ELEVATION = 592.04'

(3) **SITE BENCH MARK NO. 2**
BRASS MONUMENT LOCATED ALONG THE EAST RIGHT OF WAY LINE OF COLLINS ROAD AT ITS INTERSECTION WITH THE NORTH RIGHT OF WAY LINE OF SKYLINE DRIVE FOR THE SOUTHWEST CORNER OF LOT 1R-2 OF DALBY ACRES ADDITION.
ELEVATION = 592.44'

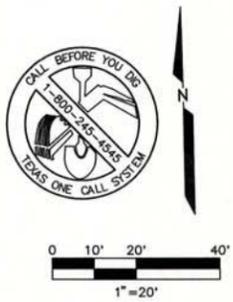
APPLICANT:
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
PHONE: (404) 765-8000
CONTACT: JOHN MARK WOOD

ENGINEER:
BURGER ENGINEERING, LLC
17103 PRESTON ROAD, SUITE 180N
TEXAS REGISTERED ENGINEERING FIRM F-12997
DALLAS, TEXAS 75248
PHONE: (972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.

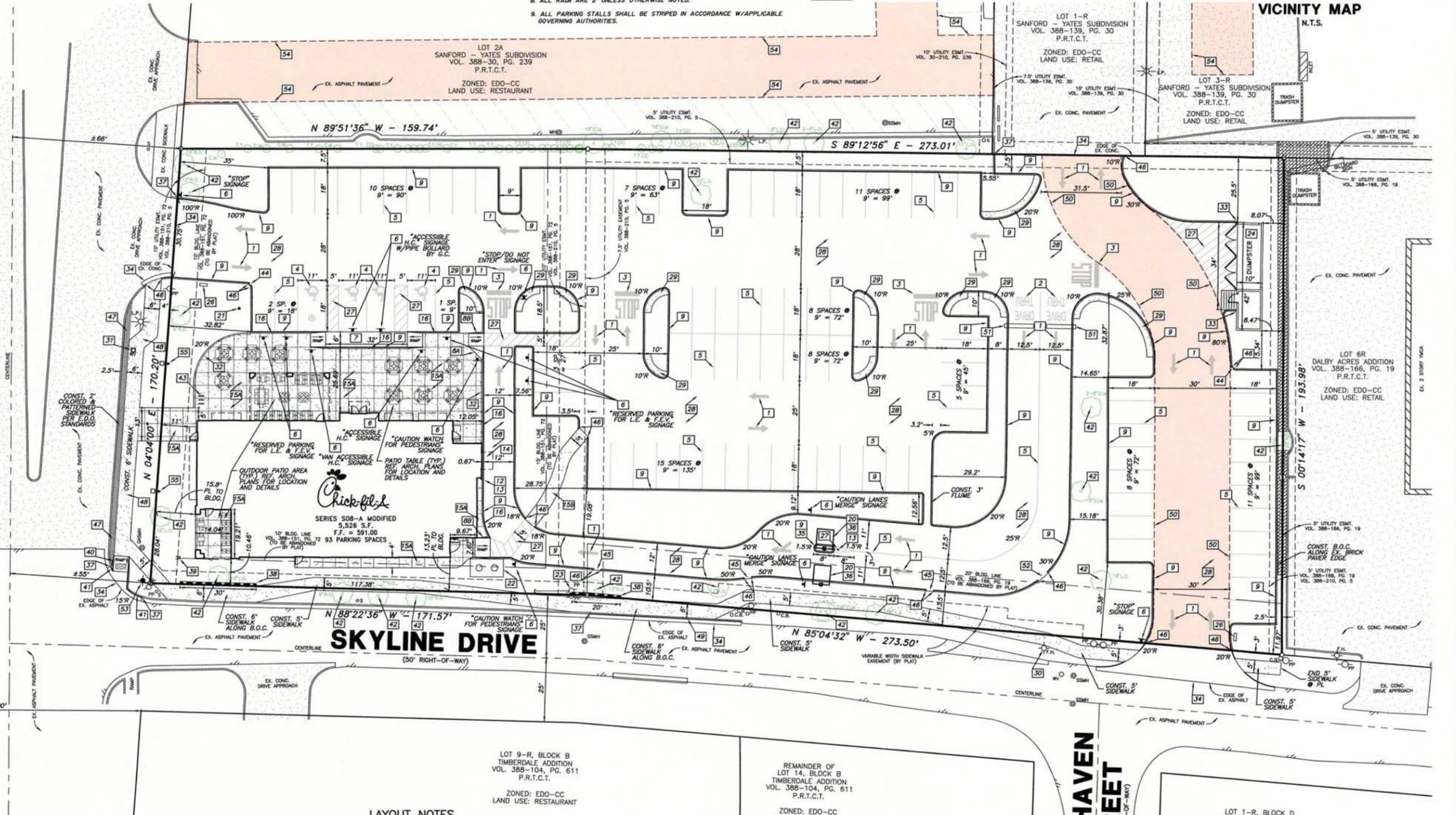
SITE DATA	
ZONING:	EDO-CC
LOT AREA:	1,807.3 ACRES (78,724 S.F.)
PROPOSED USE:	DRIVE IN & DRIVE THRU RESTAURANT
BUILDING AREA:	5,526 S.F.
F.A.R.:	0.071:1
PARKING REQUIRED:	1 SPACE FOR EVERY 100 S.F. OF BLDG. AREA 1 SPACE FOR EVERY 3 OUTDOOR SEATS 5,526/100 + 98/3 = 89 SPACES
PARKING PROVIDED:	93 SPACES (4 H.C.)
BUILDING HEIGHT:	25' (1 STORY)
LANDSCAPE PROVIDED:	18,702 S.F. (23,778)
IMPERVIOUS AREA PROVIDED:	80,022 S.F. (76,238)
EXISTING LANDSCAPING:	13,611 S.F. (17,298)

- NOTES**
- ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CHICK-FIL-A SPECIFICATIONS AND/OR CITY STANDARD SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE.
 - ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENT SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
 - IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR IMMEDIATELY.
 - ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 - ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
 - ALL PARKING STALLS SHALL BE STRIPED IN ACCORDANCE W/APPLICABLE GOVERNING AUTHORITIES.

- LEGEND**
- F.A. FIRE HYDRANT
 - X CHESEBOLD "X" SET
 - CH.I.R. CHESEBOLD "X" FOUND
 - CH.I.R. IRON ROD FOUND (SIZE AS NOTED)
 - CH.I.R. IRON ROD SET (SIZE AS NOTED)
 - PP OVERHEAD UTILITY POLE W/ GUY
 - PP UNDERGROUND ELECTRIC OR TELEPHONE
 - LP LIGHT POLE
 - SSMH SANITARY SEWER MANHOLE
 - C.O. SAN. SWR. CLEAN OUT
 - G.V. GAS VALVE
 - W.V. WATER VALVE
 - TREE
 - MH MANHOLE (TYPE AS NOTED)
 - TRAF. SIGNAL BOX TRAFFIC SIGNAL BOX
 - TRANS. ELECTRIC TRANSFORMER BOX
 - TOWER ELECTRIC TRANSMISSION STEEL TOWER
 - CABLE UNDERGROUND CABLE MARKER



NORTH COLLINS ROAD (F.M. 1571)
(VARIABLE WIDTH RIGHT-OF-WAY)



LAYOUT NOTES

Revisions:
Mark Date By
△
Mark Date By
△
Mark Date By
△



1505 NORTH COLLINS STREET
LOT 1-R3 - DALBY ACRES ADDITION
THE CITY OF ARLINGTON, TEXAS

STORE
SERIES S08-A MODIFIED

SHEET TITLE
SITE PLAN

For Permit
 For Bid
 For Construction
Job No. : 013-127

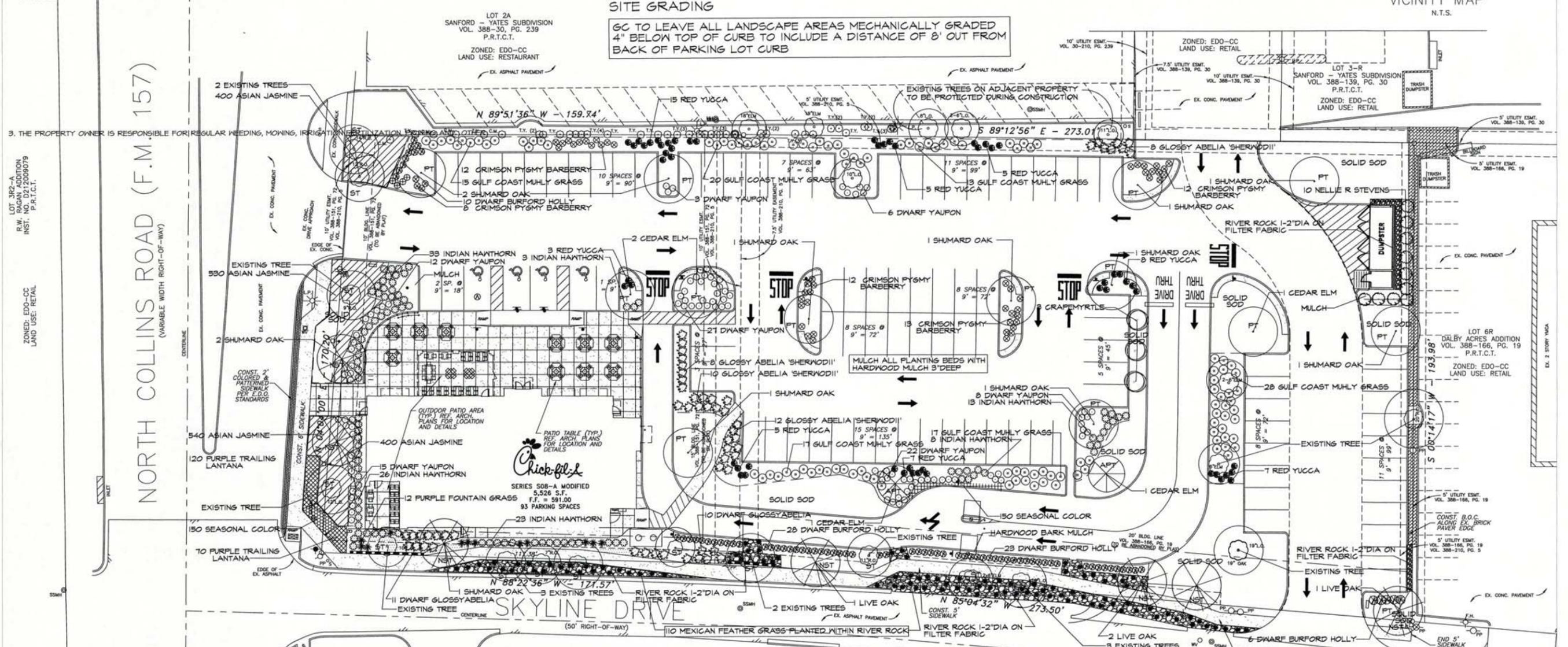
LANDSCAPE NOTES:

1. PLANT MATERIAL SHALL COMPLY WITH ALL SIZING AND GRADING STANDARD OF THE LATEST EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK."
2. PLANT BED PREPARATION PROCEDURE SHALL BE TO ADD 3" OF COMPOST AND 20 POUNDS OF ORGANIC FERTILIZER (GREENHOUSE, SYSTANE OR APPROVED EQUAL) PER 1,000 SQUARE FEET IN ENTIRE BED, OR A SLOW RELEASE MANUFACTURED FERTILIZER ACCORDING TO RATES SUGGESTED BY THE MANUFACTURER. BEDS SHOULD BE TILLED TO A DEPTH OF 6"-8".
3. TREE PLANTING PITS SHALL BE BACKFILLED WITH EXISTING SOIL ONLY AND CLEARED OF ROCKS, LUMPS OF CLAY AND OTHER FOREIGN MATERIAL. PLACE 3" OF SHREDDED HARDWOOD BARK MULCH ON TOP OF THE ROOT BALL. CLEAR MULCH FROM AROUND THE TRUNK.
4. LAWN AREAS SHALL BE TREATED WITH AN ORGANIC FERTILIZER APPLIED AT A MINIMUM OF 20 POUNDS PER 1,000 SQUARE FEET, OR A SLOW RELEASE MANUFACTURED FERTILIZER ACCORDING TO RATES SUGGESTED BY THE MANUFACTURER.
5. ALL PLANT BEDS SHALL BE TOP DRESSED WITH 2" OF SHREDDED HARDWOOD BARK MULCH.
6. THE LANDSCAPE CONTRACTOR SHALL USE WHATEVER METHOD HE/SHE DEEMS FIT TO STAKE TREES, INCLUDING NO STAKING AT ALL. HOWEVER, HE/SHE WILL BE HELD RESPONSIBLE FOR ANY DAMAGES CAUSED TO THE TREES DUE TO IMPROPER STAKING METHODS, INCLUDING NO STAKING, AND WILL BE RESPONSIBLE OF UPRIGHTING AND REPLANTING TREES THAT ARE BLOWN OVER OR OUT OF PLUMB DURING THE WARRANTY PERIOD.
7. IN THE EVENT OF A DISCREPANCY BETWEEN THE DRAWINGS AND PLANT LIST, THE DRAWING SHALL PREVAIL.
8. LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES INCURRED BY HIS WORK.
9. ALL LANDSCAPE AREAS SHALL BE FULLY IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION SYSTEM IS TO INCLUDE RAIN AND FREEZE SENSORS.
10. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT OR OWNER.

11. THE OWNER, TENANT AND/OR THEIR AGENT, IF ANY, SHALL BE JOINTLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT LIMITED TO MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF THE LANDSCAPE. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH THE PLANT MATERIAL OF SIMILAR SIZE AND VARIETY AS SOON AS THE WEATHER WILL ALLOW.
 12. THE CONTRACTOR SHALL WARRANT PLANT MATERIAL TO REMAIN ALIVE, HEALTHY AND VIGOROUS FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE OR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
 13. CONTRACTOR WILL BE RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS
- CITY OF ARLINGTON AMENDMENTS
1. THE SITE WILL BE IRRIGATED WITH A BELOW GROUND AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE SENSOR, THAT IS CAPABLE OF PROVIDING THE PROPER AMOUNT OF WATER FOR THIS PARTICULAR TYPE OF PLANT MATERIAL USED.
 2. ALL VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS STATED IN CHAPTER IX OF THE CITY CODE.
- MAINTENANCE OF ALL PLANTINGS. THE REQUIRED LANDSCAPING MUST BE MAINTAINED IN A HEALTHY GROWING CONDITION AT ALL TIMES.

SITE DATA

ZONING:	EDO-CC
LOT AREA:	1,807.3 ACRES (78,724 S.F.)
PROPOSED USE:	DRIVE IN & DRIVE THRU RESTAURANT
BUILDING AREA:	5,526 S.F.
F.A.R.:	0.071:1
PARKING REQUIRED:	1 SPACE FOR EVERY 100 S.F. OF BLDG. AREA 1 SPACE FOR EVERY 3 OUTDOOR SEATS 5,526/100 + 98/3 = 89 SPACES 93 SPACES (4 H.C.)
BUILDING HEIGHT:	25' (1 STORY)
LANDSCAPE PROVIDED:	18,782 S.F. (23,86X)
IMPERVIOUS AREA PROVIDED:	59,842 S.F. (76,14X)
EXISTING LANDSCAPING:	13,611 S.F. (17,29X)



LANDSCAPE CALCULATIONS

STREET TREES

STREET TREES	REQUIRED	PROVIDED	OVER REQUIREMENTS
NORTH COLLINS SKYLINE	6	6 (4 EXISTING + 2 NEW)	1
ALL TREES TO BE SELECTED FROM CITY TREE LIST AND BE A MINIMUM OF 4" CALIPER.		14 (9 EXISTING + 5 NEW)	
SHRUB			
NORTH COLLINS SKYLINE	48	84+	36
ALL SCREENING SHRUBS TO BE A MINIMUM OF 30"HT AT PLANTING DROUGHT TOLERANT SELECTIONS FOR THE CITY LIST		106	16
PARKING LOT TREES: (4) + 1/3 SPACES FOR EXTRA SPACES			
(14) PARKING LOT TREES REQ	14	15	1
(2) PARKING LOT TREES REQ FOR (4) EXTRA SPACES	2	5	3
(14) REQUIRED TREES + 2 PARKING OVERAGE TREES	16	20	4
GRASS (18,782 X 40%)	MAX 40%	84%	
	7,513sf	7,359sf	

LANDSCAPE ON SKYLINE - AS PER OVERLAY NEW CANOPY TREES A MIXTURE OF EVERGREEN AND DECIDUOUS A MINIMUM OF 4" CAL. MINIMUM SHRUBS - 90 PROVIDED 106 MINIMUM TREES - 15 PROVIDED 14

REMAINDER OF LOT 14, BLOCK B TIMBERDALE ADDITION VOL. 388-104, PG. 611 P.R.T.C.T. ZONED: EDO-CC LAND USE: VACANT

LOT 9-R, BLOCK B TIMBERDALE ADDITION VOL. 388-104, PG. 611 P.R.T.C.T. ZONED: EDO-CC LAND USE: RESTAURANT

APPLICANT: CHICK-FIL-A, INC. 5200 BUFFINGTON ROAD ATLANTA, GEORGIA 30349 PHONE: (404) 765-8000 CONTACT: JOHN MARK WOOD

APPLICANT: CHICK-FIL-A, INC. 5200 BUFFINGTON ROAD ATLANTA, GEORGIA 30349 PHONE: (404) 765-8000 CONTACT: JOHN MARK WOOD

HKI LANDSCAPE ARCHITECTS LANDSCAPE CONTRACTORS 2417 BENSAL LANE PLANO, TEXAS 75023 OFC. (972) 596-4134 FAX (972) 867-7604



5200 Buffington Rd. Atlanta Georgia, 30349-2998

Revisions:
Mark Date By
1 3/18/15 CITY COMMENT

Mark Date By
1 3/31/15 CITY COMMENT (2)

Mark Date By
1 3/31/15 CITY COMMENT



1505 NORTH COLLINS STREET LOT 1-R3 - DALBY ACRES ADDITION THE CITY OF ARLINGTON, TEXAS

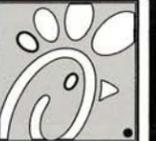
STORE SERIES S08-A MODIFIED

LANDSCAPE PLAN

For Permit
For Bid
For Construction

Job No. : 013-127
Store : 01307
Date : 02/10/15
Drawn By : HKI
Checked By : HKI

Sheet L-1



Chick-fil-e

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△

Seal



MAYSE & ASSOCIATES, INC.
Architects • Planning • Construction Management
1400 Collins St.
Dallas, Texas
Phone (972) 344-0208
Fax (972) 344-0270

STORE
NORTH COLLINS FSU
S08H CUSTOM

1505 N. Collins St.
Arlington, TX
76011

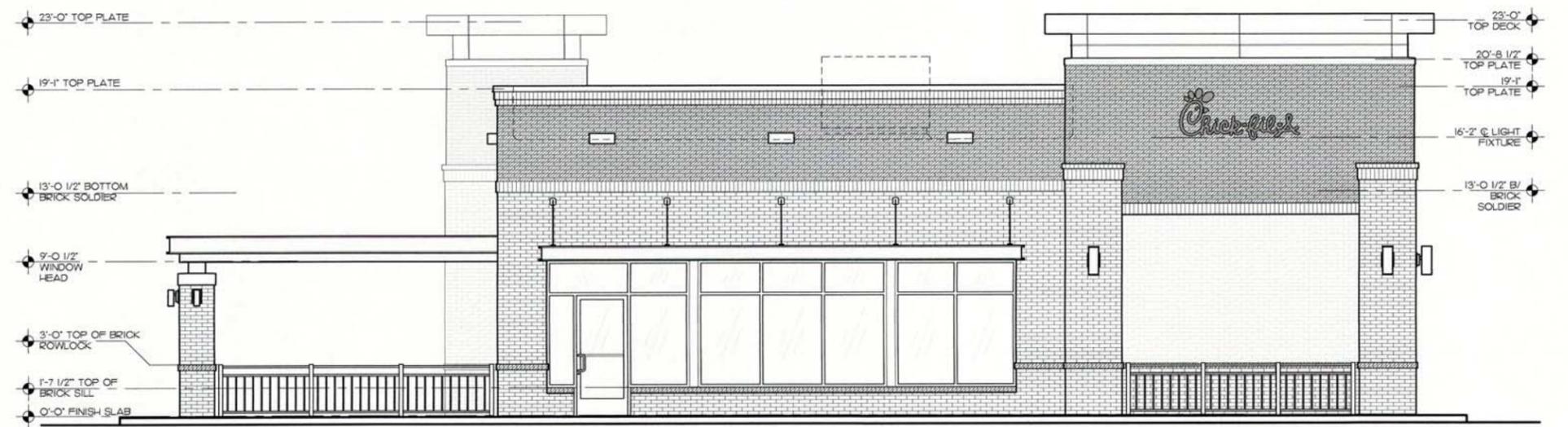
SHEET TITLE
**EXTERIOR
ELEVATIONS**

VERSION: V3
ISSUE DATE: 2-2015

Job No. : 14042
Store : 01307
Date : 03-20-15
Drawn By : BN
Checked By: _____

Sheet

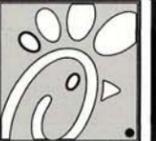
A-2.1



1 FRONT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"



Chick-fil-e

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△

Seal



MAYSE & ASSOCIATES, INC.
Architects • Planning • Construction Management
1400 Quorum Dr.
Dallas, Texas 75244
Phone (972) 344-0338
Fax (972) 344-0374

STORE
NORTH COLLINS FSU
S08H CUSTOM

1505 N. Collins St.
Arlington, TX
76011

SHEET TITLE
EXTERIOR
ELEVATION

VERSION: V3
ISSUE DATE: 2-2015

Job No. : 14042
Store : 01307
Date : 03-20-15
Drawn By : BN
Checked By: _____

Sheet

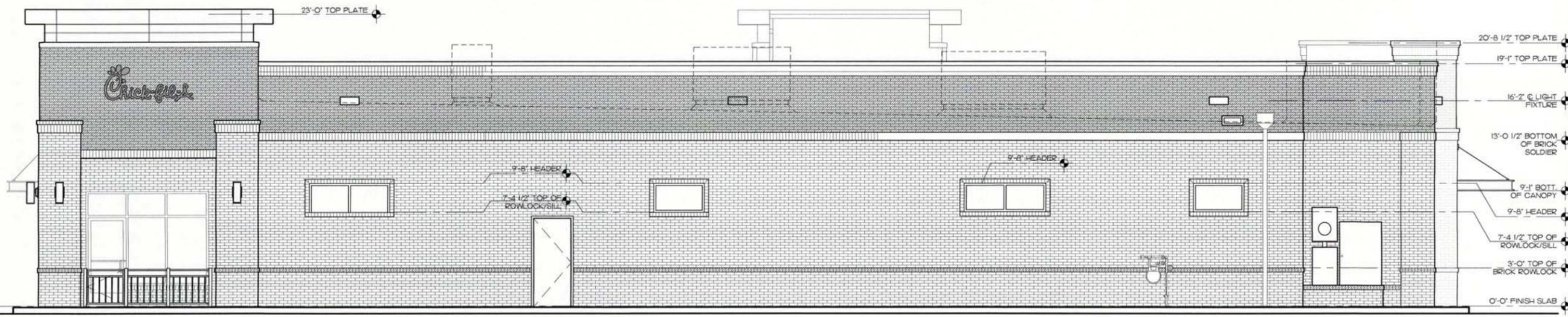
A-2.2



NOTE FOR STOREFRONT GLAZING - SEE GLASS SCHEDULE & INTERIOR ELEVATIONS

1 MAIN ENTRY ELEVATION

1/4" = 1'-0"



2 SERVICE SIDE ELEVATION

1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

BR-1	BRICK #1 (MODULAR SIZE) GENERAL SHALE BRICK, COLOR - RED VELOUR (ACME EQUIVALENT COLOR - CRIMSON) MORTAR: HOLCIM, COLOR: DESIGNER TAN
BR-2	BRICK #2 (MODULAR SIZE) GENERAL SHALE BRICK, COLOR - SILVERSTONE (ACME EQUIVALENT COLOR - MISSION BLEND 1) MORTAR: HOLCIM, COLOR: DESIGNER TAN
ST-1	STOREFRONT YKK - YES 45FI (YES 45 FS AT INTERIOR PLAY AREA LOCATIONS) COLOR - REFER TO EXTERIOR FINISH LEGEND ON A2.1
R-1	STANDING SEAM METAL ROOF DUROLAST/ EXCEPTIONAL METALS, COLOR - DARK BRONZE (MATTE)
EC-1	PARAPET WALL COPING DUROLAST/ EXCEPTIONAL METALS COLOR - DARK BRONZE (MATTE)
MP-1	ALUMINUM FASCIA DUROLAST/ EXCEPTIONAL METALS COLOR - DARK BRONZE (MATTE)
MP-2	ALUMINUM FASCIA DUROLAST/ EXCEPTIONAL METALS COLOR - SIERRA TAN (MATTE)
PT-7	EXTERIOR PAINT REFUSE ENCLOSURE SHERWIN WILLIAMS, #SW2807 'ROOKWOOD' (MEDIUM BROWN) SEMI-GLOSS FINISH ON DOOR FRAMES, SATIN FINISH ON WALLS
PT-9	EXTERIOR PAINT MISCELLANEOUS METALS SHERWIN WILLIAMS - SHER-CRYL HIGH PERFORMANCE ACRYLIC #866-350 COLOR - DARK BRONZE SEMI-GLOSS FINISH



1 NORTH ELEVATION
NTS



2 WEST ELEVATION
NTS



Chick-fil'de

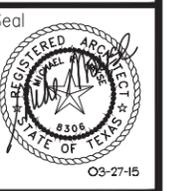
5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△		

Mark	Date	By
△		

Mark	Date	By
△		



MAYSE & ASSOCIATES, INC.
Architects • Planning • Construction Management
14000 Quorum Dr.
Houston, TX 77058-4038
Phone: (281) 366-4038
Fax: (281) 366-4038

STORE
NORTH COLLINS FSU
S08H CUSTOM

1505 N. Collins St.
Arlington, TX
76011

SHEET TITLE
EXTERIOR
ELEVATION

VERSION: V3
ISSUE DATE: 2-2015

Job No. : 14042
Store : 01307
Date : 03-27-15
Drawn By : BN
Checked By: _____

Sheet
A-2.3

EXTERIOR FINISH SCHEDULE

BR-1	BRICK #1 (MODULAR SIZE) GENERAL SHALE BRICK, COLOR - RED VELOUR (ACME EQUIVALENT COLOR - CRIMSON) MORTAR: HOLCIM, COLOR: DESIGNER TAN
BR-2	BRICK #2 (MODULAR SIZE) GENERAL SHALE BRICK, COLOR - SILVERSTONE (ACME EQUIVALENT COLOR - MISSION BLEND 1) MORTAR: HOLCIM, COLOR: DESIGNER TAN
ST-1	STOREFRONT YKK - YES 45FI (YES 45 FS AT INTERIOR PLAY AREA LOCATIONS) COLOR - REFER TO EXTERIOR FINISH LEGEND ON A2.1
R-1	STANDING SEAM METAL ROOF DUROLAST/EXCEPTIONAL METALS, COLOR - DARK BRONZE (MATTE)
EC-1	PARAPET WALL CORING DUROLAST/EXCEPTIONAL METALS COLOR - DARK BRONZE (MATTE)
MP-1	ALUMINUM FASCIA DUROLAST/EXCEPTIONAL METALS COLOR - DARK BRONZE (MATTE)
MP-2	ALUMINUM FASCIA DUROLAST/EXCEPTIONAL METALS COLOR - SIERRA TAN (MATTE)
PT-7	EXTERIOR PAINT REFUSE ENCLOSURE SHERWIN WILLIAMS, #SW2807 "CROOKWOOD (MEDIUM BROWN)" SEMI-GLOSS FINISH ON DOOR FRAMES, SATIN FINISH ON WALLS
PT-9	EXTERIOR PAINT MISCELLANEOUS METALS SHERWIN WILLIAMS - SHER-CRYL HIGH PERFORMANCE ACRYLIC #866-350 COLOR - DARK BRONZE SEMI-GLOSS FINISH



1 SOUTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



Chick-fil-A

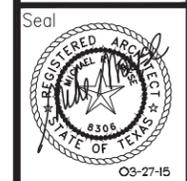
5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△		

Mark	Date	By
△		

Mark	Date	By
△		



MAYSE & ASSOCIATES, INC.
Architects • Planning • Construction Management
14000 Quaker Dr.
Houston, TX 77040-4038
Phone: 281-264-4038
Fax: 281-264-4038
Sales: 281-264-4038
Text: 281-264-4038

STORE
NORTH COLLINS FSU
S08H CUSTOM

1505 N. Collins St.
Arlington, TX
76011

SHEET TITLE
EXTERIOR
ELEVATION

VERSION: V3
ISSUE DATE: 2-2015

Job No. : 14042
Store : 01307
Date : 03-27-15
Drawn By : BN
Checked By: _____

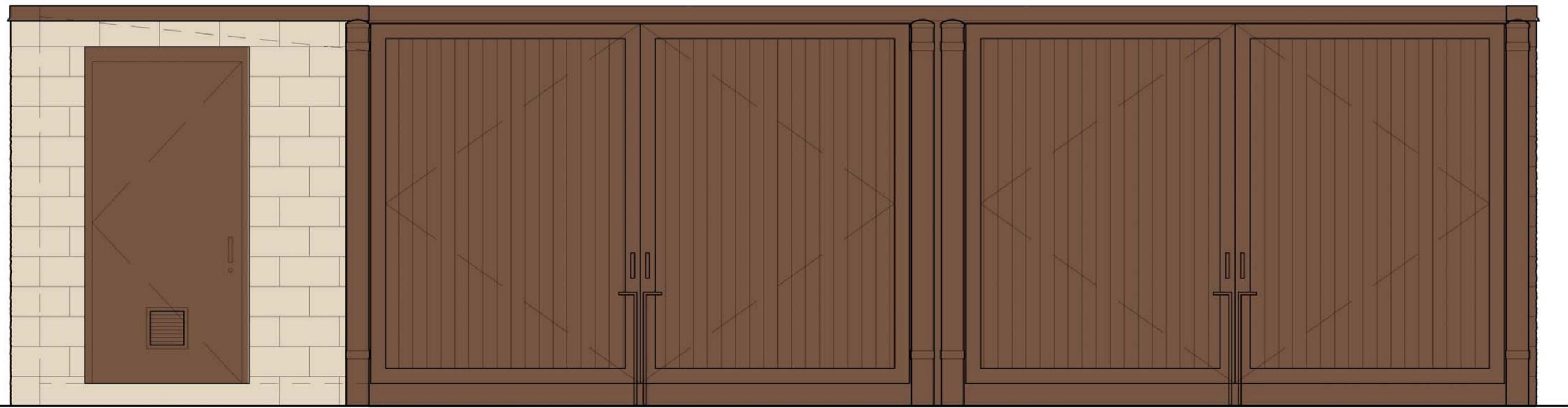
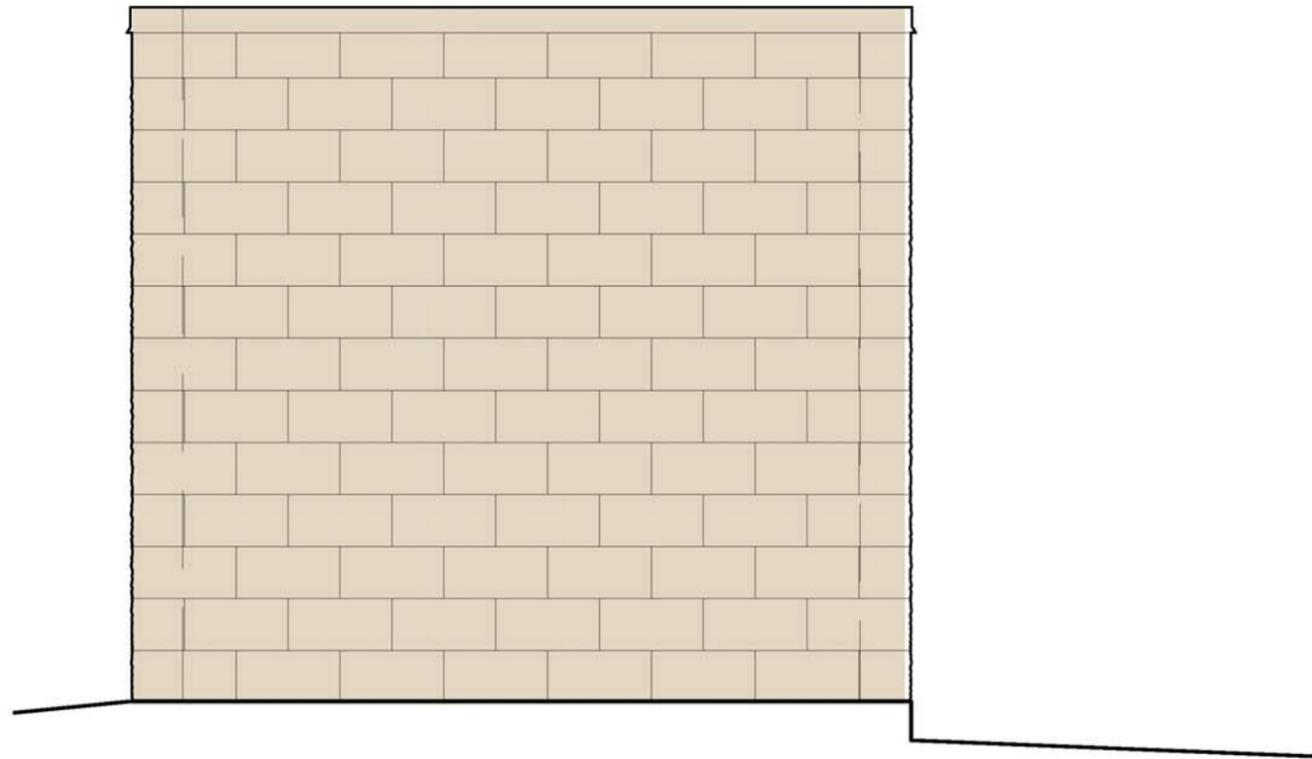
Sheet
A-2.4

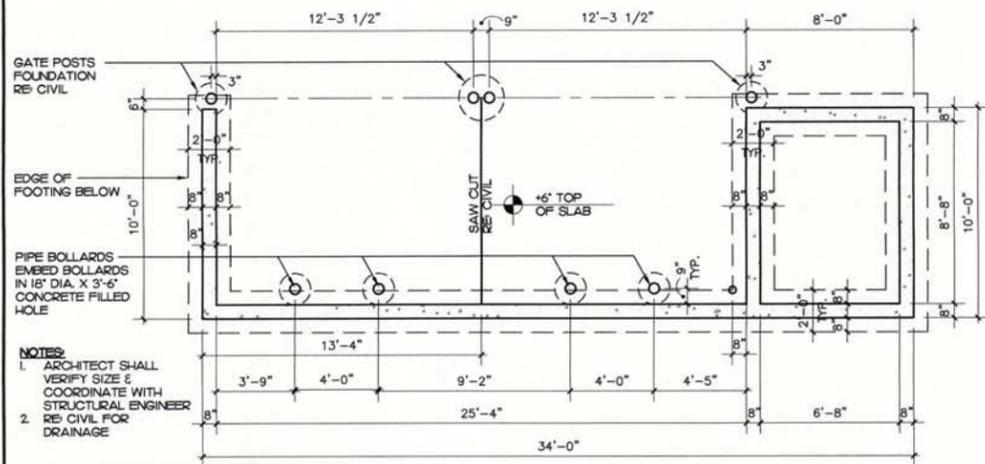






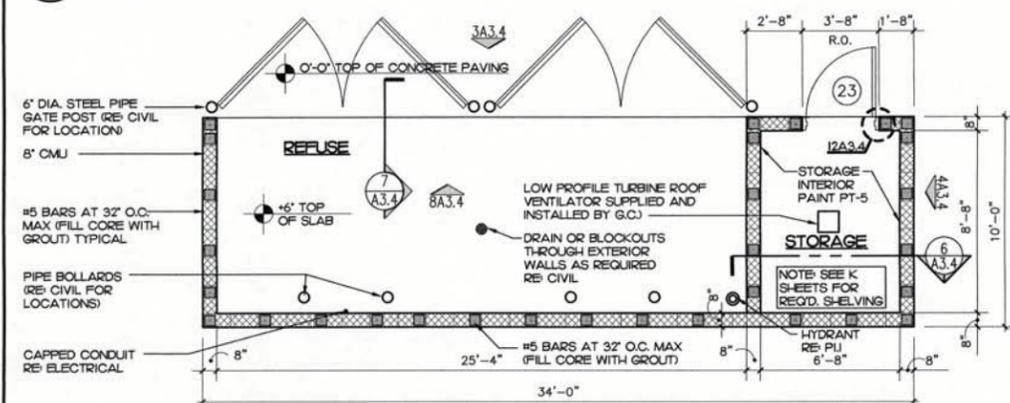






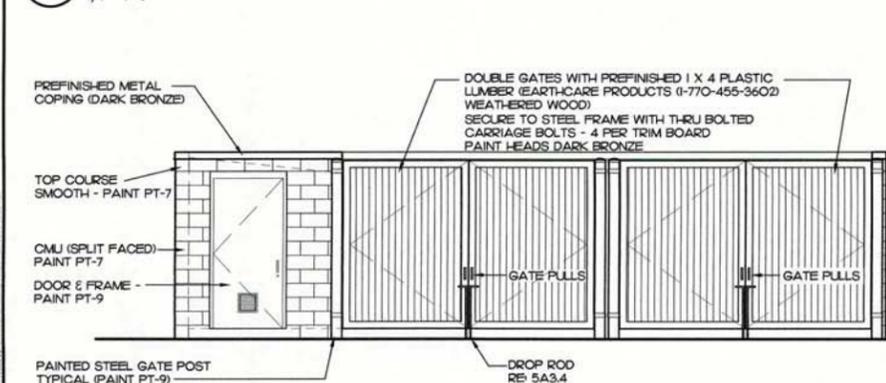
1 FOUNDATION PLAN

1/4" = 1'-0"



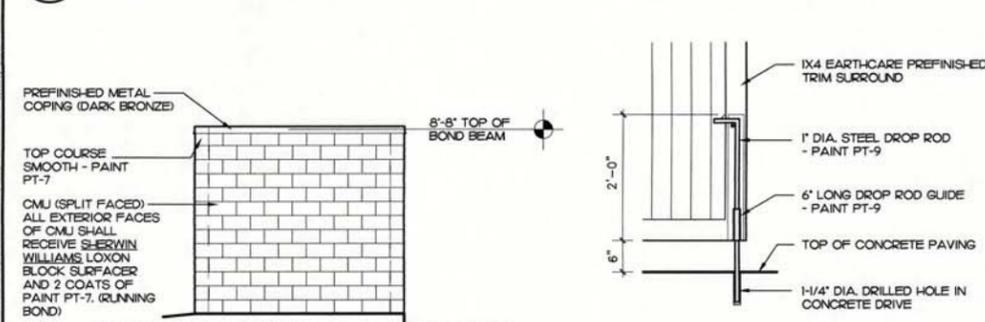
2 FLOOR PLAN

1/4" = 1'-0"



3 FRONT ELEVATION

1/4" = 1'-0"

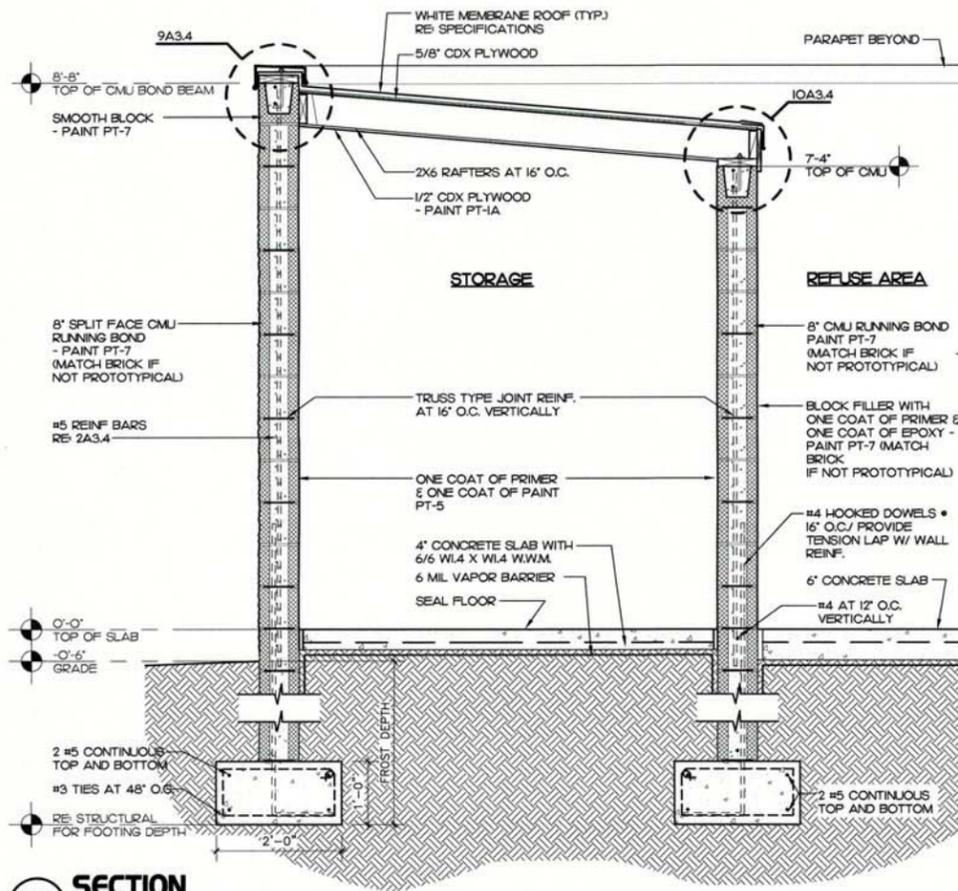


4 SIDE ELEVATION

1/4" = 1'-0"

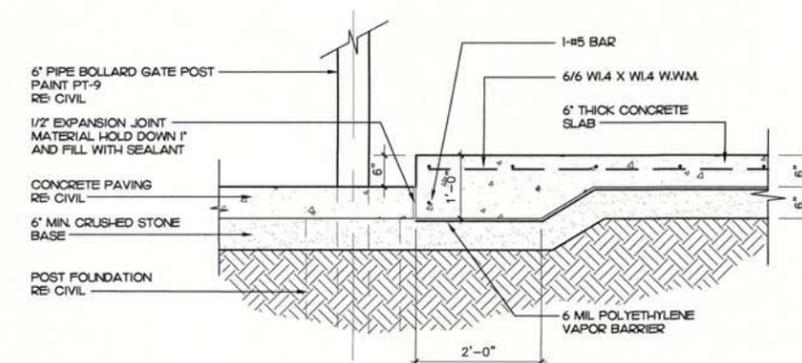
5 DROP ROD DETAIL

3/4" = 1'-0"



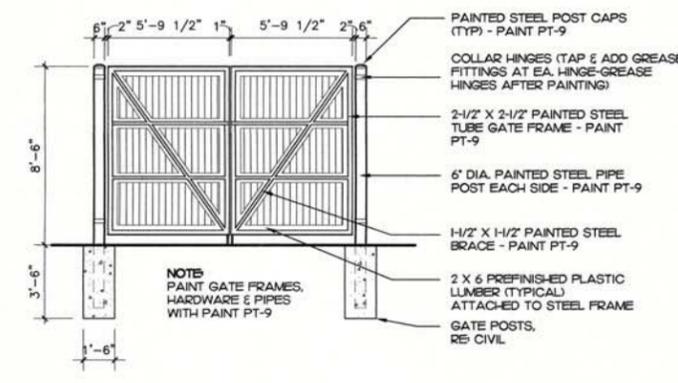
6 SECTION

3/4" = 1'-0"



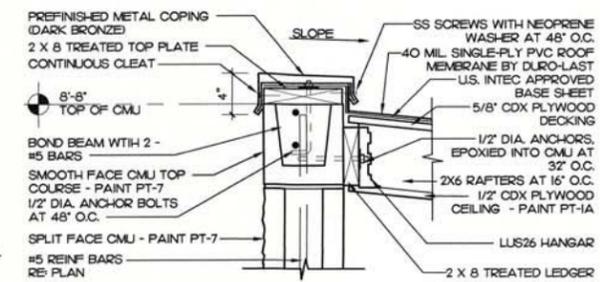
7 REFUSE PAD AT CONCRETE PAVING DETAIL

3/4" = 1'-0"



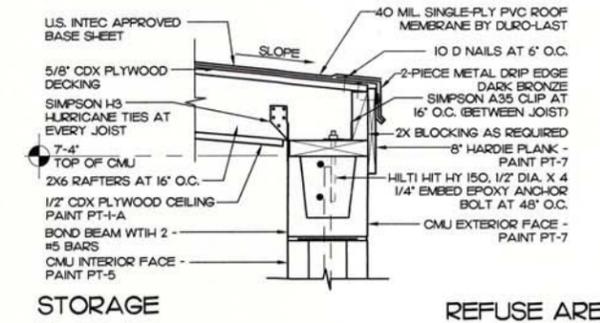
8 TYPICAL DOUBLE GATE ELEVATION

1/4" = 1'-0"



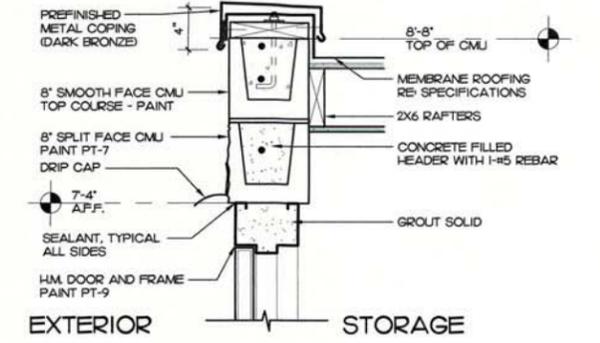
9 ROOF EDGE DETAIL

1 1/2" = 1'-0"



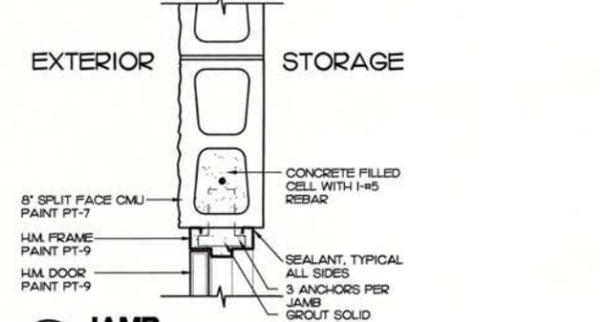
10 ROOF EDGE DETAIL

1 1/2" = 1'-0"



11 HEAD DETAIL

1 1/2" = 1'-0"



12 JAMB

1 1/2" = 1'-0"



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:
Mark Date By

MAYSE & ASSOCIATES, INC.
Architects • Planning • Construction Management
1400 Quorum Dr. Suite 201
Dallas, Texas 75244
Phone: (972) 384-0038 Fax: (972) 384-0078

STORE
NORTH COLLINS FSU
S08H CUSTOM

1505 N. Collins St.
Arlington, TX
76011

SHEET TITLE
REFUSE
ENCLOSURE

VERSION: V3
ISSUE DATE: 2-2015

Job No. : 14042

Store : 01307

Date : 03-20-15

Drawn By : BN-

Checked By: ---

Sheet

A-3.4

Staff Report



Zoning Case PD15-2 (Overture Arlington Highlands)

Planning and Zoning Meeting Date: 5-6-15

Document Being Considered: Ordinance

RECOMMENDATION

Following the public hearing, consider Zoning Case PD15-2, with a Development Plan.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

Request

The applicant requests to change the zoning on approximately 3.799 acres addressed at 250 West Arbrook Boulevard; generally located north of Highlander Boulevard and east of Matlock Road.

Current zoning: Office Commercial (OC) and General Commercial (GC)

Requested zoning: Planned Development (PD) for limited Office Commercial (OC) uses plus an Independent Senior Living facility, with a Development Plan

The subject site is an undeveloped lot with minimal trees on site. The applicant proposes to rezone the entire lot for the purposes of constructing an Independent Senior Living Facility.

An independent senior living facility is allowed by right only in the Downtown Business (DB) zoning district and the mixed-use zoning districts of Neighborhood Mixed-Use (NMU) and Regional Mixed-Use (RMU).

Adjacent Land Uses

The subject site is surrounded by commercial and residential uses. To the north of the site across West Arbrook Boulevard is a single family residential community zoned Residential Single Family 5 (RS-5). To the south is the Arlington Highlands commercial development zoned Planned Development (PD). To the east is undeveloped land zoned OC and GC, and to the west are medical office facilities in GC and OC zoning districts.

Development Plan

The applicant is proposing to construct a gated 170-unit Independent Senior Living Facility. The units will range in size from 640-square-foot one-bedroom units to 1,102-square-foot two-bedroom units.

The structure will be four stories and contain a leasing office and club house for the senior residents. The building materials for the proposed development will consist primarily of a combination of two brick types, architectural fiber cement, and stucco. Natural wood slats are used as accent material. The roof will be finished with composition shingles. The architecture resembles a modern residential complex with its use of materials and low-pitch roof.

The building materials, as well as the surface treatments on the site, have been inspired by the design elements of the Arlington Highlands commercial development. These include brick pavers, stained concrete, fencing, decorative bollards, pedestrian scale lighting, and landscaping plant materials.

The site will have two points of access. One access point is from a shared access drive on West Arbrook Boulevard on the north side of the property. The other access point is from Highlander Boulevard on the south side of the site. The proposed facility will require 185 parking spaces. This is based on the city’s requirement of one space per unit plus one space per 100 square feet of common area. The applicant is proposing 229 total spaces of which 80 spaces are covered with carports and 27 spaces are within garages. However, the applicant is proposing to supply an additional 44 parking spaces for guests/visitors/staff due to the nature of the project.

Landscaping

The applicant is proposing to provide landscaping throughout the subject site. Along the West Arbrook Boulevard frontage on the north side of the property, the applicant proposes to provide a 15-foot wide landscape setback, which will contain six four-inch caliper, 10-foot tall trees to meet the street tree requirement. Also, along the east side of the property, there will be approximately 200 plants arranged along the proposed perimeter ornamental iron fencing with masonry columns. On the west side of the property, adjacent to the medical office uses, the applicant proposes to provide a four-foot wide pedestrian pathway facilitating pedestrian connectivity through the site, which will be outside of the gated area and available for public use. The applicant proposes 100 percent of all trees and plants for installation on the site to be drought-tolerant native or adapted species.

	REQUIRED	PROPOSED
WIDTH OF LANDSCAPE SETBACK:		
1. Along W. Arbrook Blvd.	15 feet	15 feet
2. Along Highlander Blvd.	15 feet	15 feet
PLANTINGS WITHIN LANDSCAPE SETBACK:		
1. Along W. Arbrook Blvd.	Trees: Four 4-inch caliper	Six 4-inch caliper Chinkapin Oaks
	Shrubs: 14 per linear foot of frontage (50 shrubs required)	156 shrubs
2. Along Highlander Blvd.	Trees: Ten 4-inch caliper	Ten 4-inch caliper Burr Oaks
	Shrubs: 14 per linear foot of frontage (82 shrubs required)	181 shrubs
INTERNAL PARKING LOT TREES:		
	One 3-inch caliper tree per 10 parking spaces	17 parking lot islands provided, 30 parking lot trees. (Cedar Elms and Lacebark Elms)

Internal to the subject site, the applicant proposes to provide trees and plantings for each required landscape parking island, shrubs at the garage entries, and shrubs to screen the parking spaces facing the public right-of-way. In addition to the required plantings, the applicant also proposes to provide plants adjacent to the building on the north and south side, and provide trees and shrubs in the outdoor courtyard area. The applicant has also proposed a dog park enclosed within an ornamental iron fence with masonry columns.

The proposed planned development requests the following deviations from the Unified Development Code (UDC):

1. Internal Parking Area Landscaping - Landscape Island Location:

All surface parking lots shall incorporate the following internal landscaping:
(i) Landscape islands shall be installed at the terminus of each row of parking.
(ii) Landscape islands shall not be separated by more than 10 parking spaces.

Deviation:

The request complies with condition (i). However, it does not meet condition (ii). There are areas where the applicant is providing one landscaped island to separate every ten parking spaces; however, there are two rows where no islands exist. The applicant is providing carport structures along the entire east side of the development, thus mitigating the visual impacts of having fewer islands. The carports will be designed as an integral part of the architecture of the project.

2. Off-Street Parking Location:

All surface parking shall be separated from any building by a landscaped strip of at least ten feet in width that includes a five-foot wide sidewalk.

Deviation:

There are areas where the applicant is providing a landscape strip between the parking areas; however, there are places where they are seeking an exception. The applicant has provided enhanced plantings, in lieu of turf, within the landscape strip where they are being provided.

The applicant has identified a number of items which exceed the UDC requirements:

- Amenities such as swimming pool, spa, outdoor lounge seating, covered seating areas, grills, and dog park private yards for most first floor residents
- Of the 229 parking spaces provided, 47 percent include carports and garages.
- Enhanced paving
- Minimum 4-inch caliper trees along street frontages
- Pedestrian connectivity from Highlander Boulevard to Arbrook Boulevard
- Pedestrian scale lighting and decorative bollards throughout development
- Ornamental iron fencing with masonry columns
- Enhanced storefront glass system on west elevation
- Enhanced landscaping at site entrances
- Decorative paving, landscaped median and roundabout element at the site entrance along Highlander Boulevard

Comprehensive Plan

The recently adopted Comprehensive Plan contains goals to provide for senior housing where health and community facility services are accessible. The subject site is part of a Regional Activity Center, where a mix of uses is encouraged. With the close location to the Arlington Highlands Lifestyle Center and medical facilities, this proposed use helps to meet the goals of the Comprehensive Plan.

The proposed zoning change is consistent with the vision, principles, and strategies outlined in the Comprehensive Plan.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:

- i. Case Information
- ii. Itemized Allowable Uses
- iii. Location Map
- iv. Photos
- v. Development Plan (9 pages)

Under separate cover:

None

Available in the City Secretary's office:

None

CITY COUNCIL DATE

June 2, 2015

STAFF CONTACTS

Gincy Thoppil, AICP
Development Planning Manager
Community Development and Planning
817-459-6662
Gincy.Thoppil@arlingtontx.gov

Jennifer Pruitt, AICP, LEED AP
Principal Planner
Community Development and Planning
817-459-6138
Jennifer.pruitt@arlingtontx.gov

Case Information



Applicant: Mycoskie McInnis Associates represented by Cliff Mycoskie, RLA

Property Owner: Arlington Matlock Partners, LTD

Council District: 3

Allowable Uses: All uses as itemized in attachment ii.

Development History: The subject site is currently platted and commonly known as the Arlington Highlands Addition BR2R.

No previous zoning cases have occurred in the general vicinity within the past five years.

Transportation: The proposed development has two points of access. One point of access is from Highlander Boulevard. The other is from West Arbrook Boulevard.

Thoroughfare	Existing	Proposed
West Arbrook	80-foot, 4 lanes divided Major Arterial	100-foot, 6 lanes divided Major Arterial
Highlander Boulevard	70-foot, 4-lane undivided, Major Collector	70-foot, 4-lane undivided, Major Collector

Traffic Impact: The proposed PD zoning will generate similar traffic patterns as the existing OC and GC zoning and will not impact the adjacent street system.

Water & Sewer: Water is available from a 10-inch water line in West Arbrook Boulevard and an 8-inch water line in Highlander Boulevard. Sanitary Sewer is available from an 8-inch sanitary sewer line at the west property line and a 10-inch sanitary sewer line at the northwest corner of West Arbrook Boulevard and South Center Street.

Drainage: The site is located within the Johnson Creek drainage basin and South Fish Creek drainage basin. No portion of the site is located in a floodplain. No significant drainage impacts are expected to result from development of this site as long as the site complies with relevant city ordinances.

Fire: Fire Station Number 9, located at 909 Wimbledon Drive, provides protection to this site. The estimated fire response time is less than five minutes, which is in keeping with recommended standards.

Case Information



School District: Arlington Independent School District.

The proposed zoning request is located in the Arlington Independent School District and has no impact on the schools serving this site.

Notices Sent:

Neighborhood
Associations:

ACTION North
Arlington Alliance for Responsible Government
Arlington Chamber of Commerce
East Arlington Renewal
East Arlington Review
Far South Arlington Neighborhood Association
Forest Hills Home Owners Association
Northern Arlington Ambience
West Citizen Action Network (WECAN)

Property Owners: 16
Letters of Support: 0
Letter of Opposition: 0

Itemized Allowable Uses



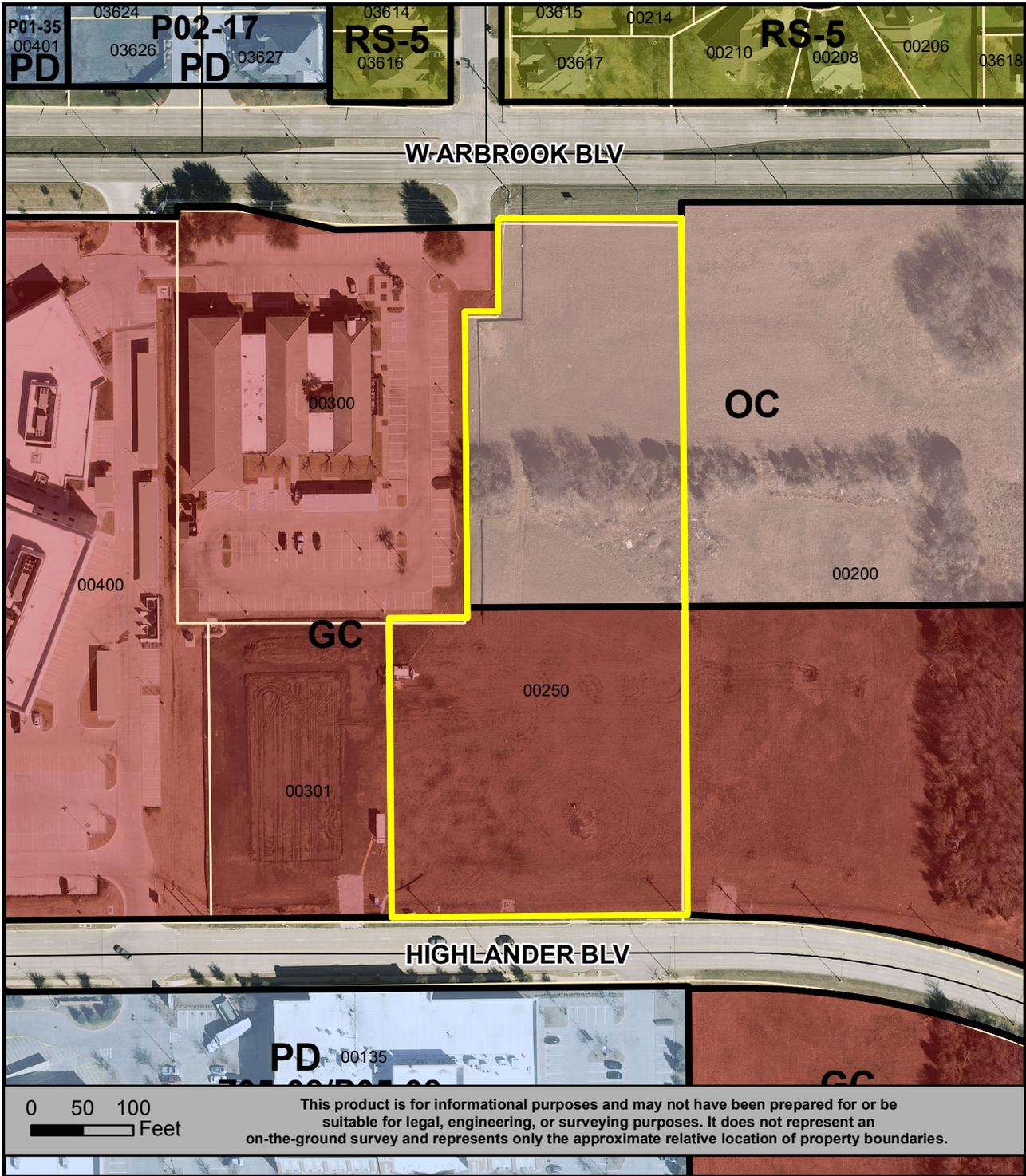
Allowable Uses:

Planned Development (PD) for limited Office Commercial (OC) uses plus an Independent Senior Living Facility, with a Development Plan

Permitted - Art gallery or museum, Business school, Public or private school, Government administration and civic buildings, Philanthropic institution (other than listed), Religious assembly, Medical or dental office or clinic, Community garden, Public park or playground Restaurant, Utility lines, towers or metering station, Day care center, General personal services (other than listed), Massage therapy clinic, Private club/lodge/fraternal organization, General retail store (other than listed), Medical or scientific research laboratory, Independent Senior Living Facility

Specific Use Permit (SUP) – Gas well, University/ college/ seminary, cemetery, Telecommunication Facilities, Cemetery, Bed and breakfast inn, Towers >75 ft., Stealth towers >100 ft.

Conditions (C) - Dwelling, live/work, Veterinary clinic, Financial services, Sidewalk café, Telecommunication Facilities, Hotel, full service, Office, business or professional, Building-mounted antennae and towers, Telecommunication Facilities Towers ≤75 ft., Stealth towers ≤100 ft.



LOCATION MAP
PD15-2

Planned Development for OC uses and an Independent Senior Living facility
3.799 ACRES



PD15-2

North of Highlander Boulevard and east of Matlock Road.



View of from subject site. View south



View of site from Highlander. View North.



View of residential neighborhood to the north.



View west.

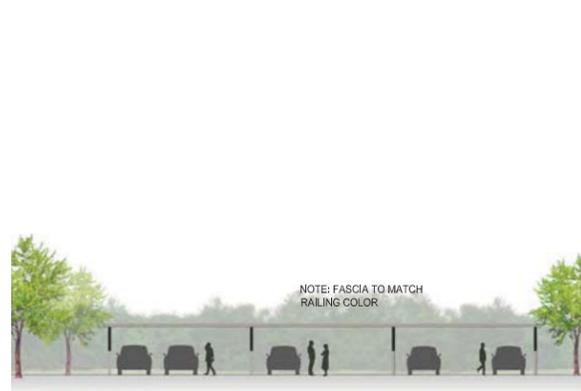
OVERTURE AT ARLINGTON HIGHLANDS



 PROPOSED SITE PLAN

GREYSTAR[®]

m|m|a



5 TYPICAL CARPORT ELEVATION
1/16" = 1'-0"



4 SOUTH ELEVATION
1/16" = 1'-0" TRANSPARENCY CALC: 2739.7/12816.7 = 21.3%

BRICK UNIT BY UNIT: 2640.2/12816.7 = 20.6%
TYPICAL STUCCO SYSTEM: 3947.5/12816.7 = 30.8%
FIBER CEMENT ARCHITECTURAL PANELS (NICHHA): 2727.7/12816.7 = 21.2%
FIBER CEMENT PANELS(PAINTED): 402.7/12816.7 = 3.1%
BALCONY SIDING 389.4/12816.7 = 3.0%



3 NORTH ELEVATION
1/16" = 1'-0" TRANSPARENCY CALC: 2910.1/12708.1 = 22.8%

BRICK UNIT BY UNIT: 2434.5/12708.1 = 19.1%
TYPICAL STUCCO SYSTEM: 4952/12708.1 = 38.9%
FIBER CEMENT ARCHITECTURAL PANELS (NICHHA): 1862.6/12708.1 = 14.6%
FIBER CEMENT PANELS(PAINTED): 266/12708.1 = 2.0%
BALCONY SIDING 324.9/12708.1 = 2.5%

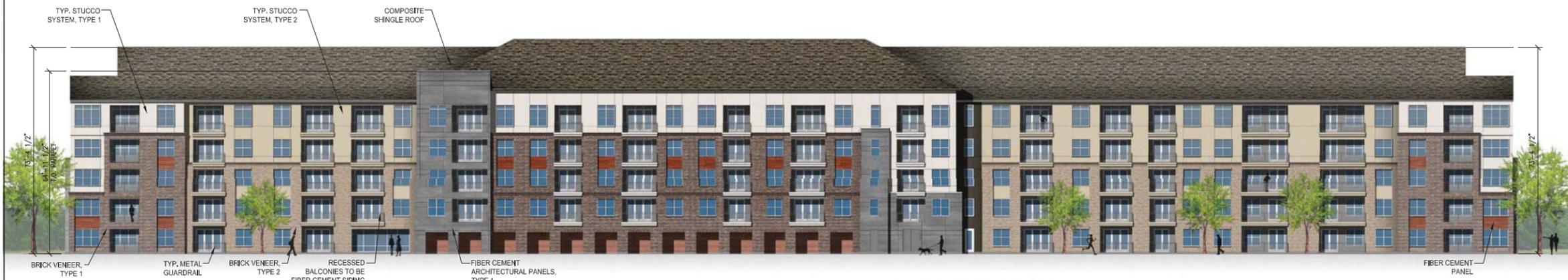


2 WEST ELEVATION
1/16" = 1'-0" TRANSPARENCY CALC: 8153.9/28890.8 = 35.4%

BRICK UNIT BY UNIT: 6765.2/28890.8 = 23.4%
TYPICAL STUCCO SYSTEM: 4776.5/28890.8 = 16.5%
FIBER CEMENT ARCHITECTURAL PANELS (NICHHA): 1791.5/28890.8 = 6.2%
FIBER CEMENT PANELS(PAINTED): 1762.3/28890.8 = 6.1%
GARAGE DOORS: 893/28890.8 = 3.1%
BALCONY SIDING 2704.3/28890.8 = 9.3%

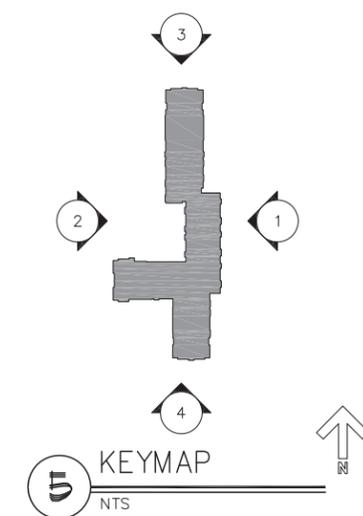
COLOR PALLETTE

BRICK LAID UNIT BY UNIT	- WINDMILL MANOR
BRICK LAID UNIT BY UNIT	- CAMERON HILLS
FIBER CEMENT ARCHITECTURAL PANELS -01 (NICHHA OR EQUAL)	- GRAY
FIBER CEMENT ARCHITECTURAL PANELS -02 (NICHHA OR EQUAL)	- WHITE
FIBER CEMENT PANEL (PAINTED)	- SW 6149 (RELAXED KHAKI)
TYPICAL STUCCO SYSTEM -01	- SW 7636 (ORIGAMI WHITE)
TYPICAL STUCCO SYSTEM -02	- SW 6149 (RELAXED KHAKI)
WOOD SLATS	- NATURAL WOOD
RAILSMESH INFILL	- SILVER
ASPHALT SHINGLES	- WEATHERWOOD
CARPORT COLUMNS AND FASCIA	- SILVER



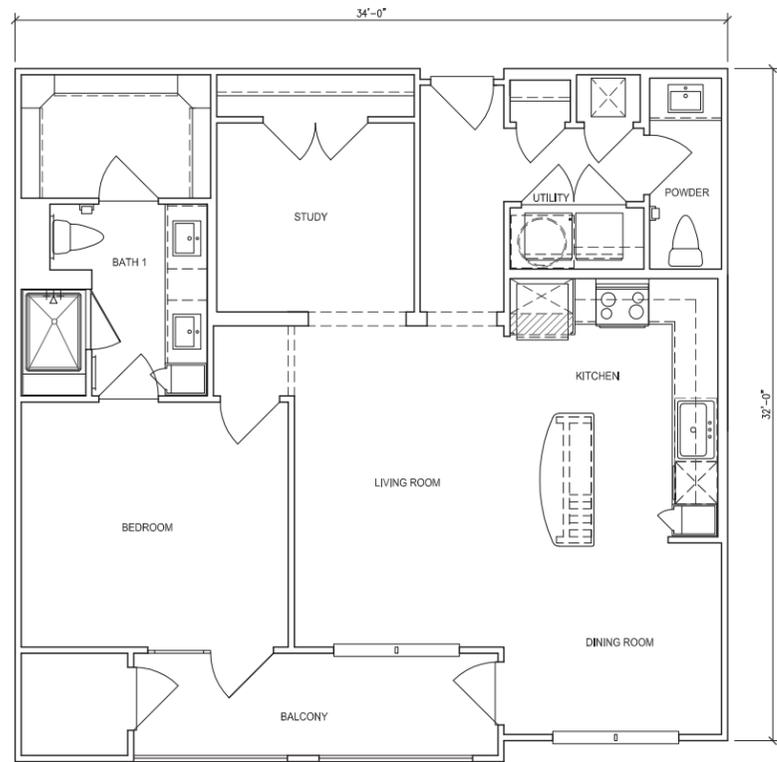
1 EAST ELEVATION
1'-0" = 20'-0" TRANSPARENCY CALC: 6779.1/28848.3 = 30.4%

BRICK UNIT BY UNIT: 7355.3/28848.3 = 25.4%
TYPICAL STUCCO SYSTEM: 5322.6/28848.3 = 18.4%
FIBER CEMENT ARCHITECTURAL PANELS (NICHHA): 1944.5/28848.3 = 6.7%
FIBER CEMENT PANELS(PAINTED): 1903.9/28848.3 = 6.6%
GARAGE DOORS: 901.3/28848.3 = 3.1%
BALCONY SIDING 2713/28848.3 = 9.4%

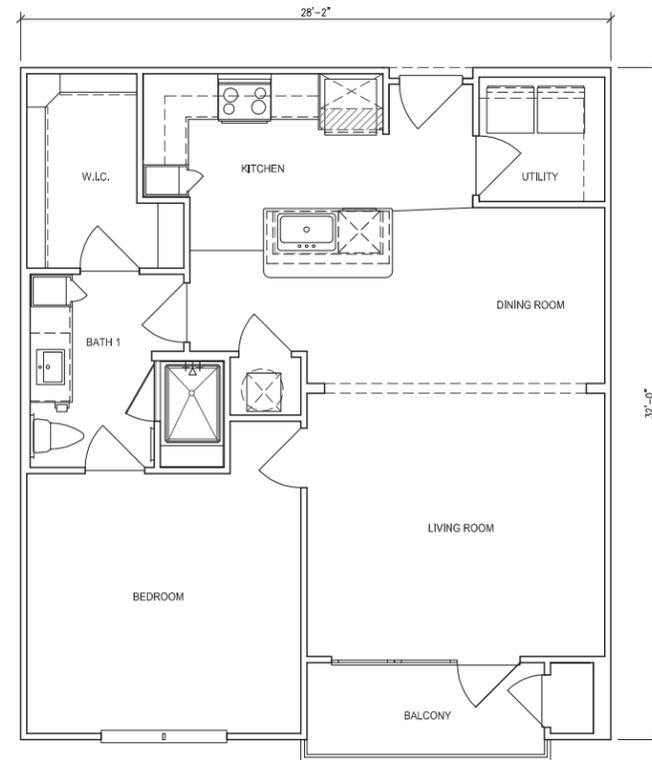


ARLINGTON HIGHLANDS
ARLINGTON, TX - GREYSTAR

These are copyright and are subject to copyright protection as set forth in the "Architecture Act" under Section 105 of the Copyright Act, 17 USC, as amended December 1, 1990, and Section 101 of the Architecture Act under Section 105 of the Copyright Act, 17 USC, as amended December 1, 1990. The protection includes but is not limited to, the overall form and composition of these drawings and the arrangement and composition of space and elements of the design. Their reproduction, distribution or use in any form, without the express written permission of Meeks + Partners, is prohibited.

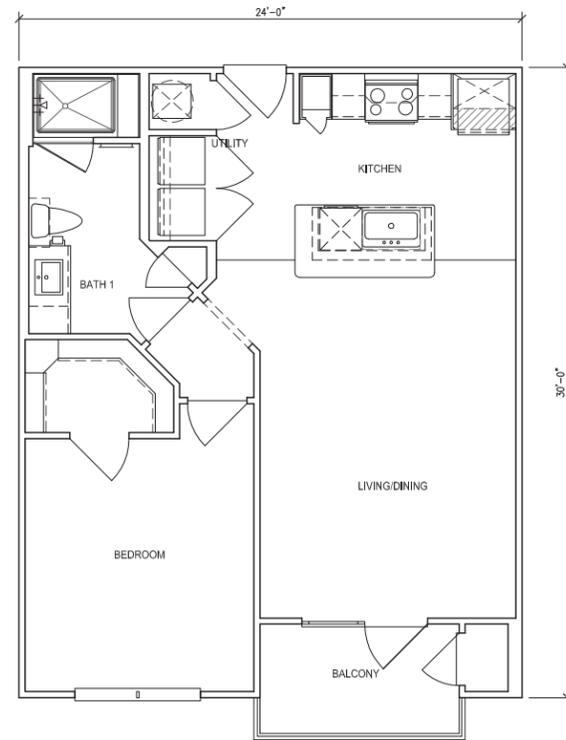


4 UNIT A4
 1/4" = 1'-0"
 990 NET SF
 1109 GROSS SF

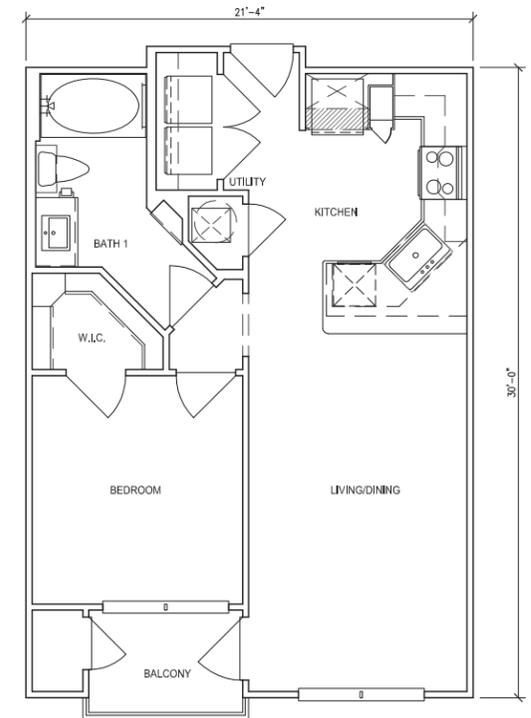


3 UNIT A2
 1/4" = 1'-0"
 846 NET SF
 911 GROSS SF

NOTE: ALL INTERIOR ELEVATIONS
 SIMILAR TO OTHER OVERTURE UNITS



2 UNIT A1
 1/4" = 1'-0"
 676 NET SF
 740 GROSS SF



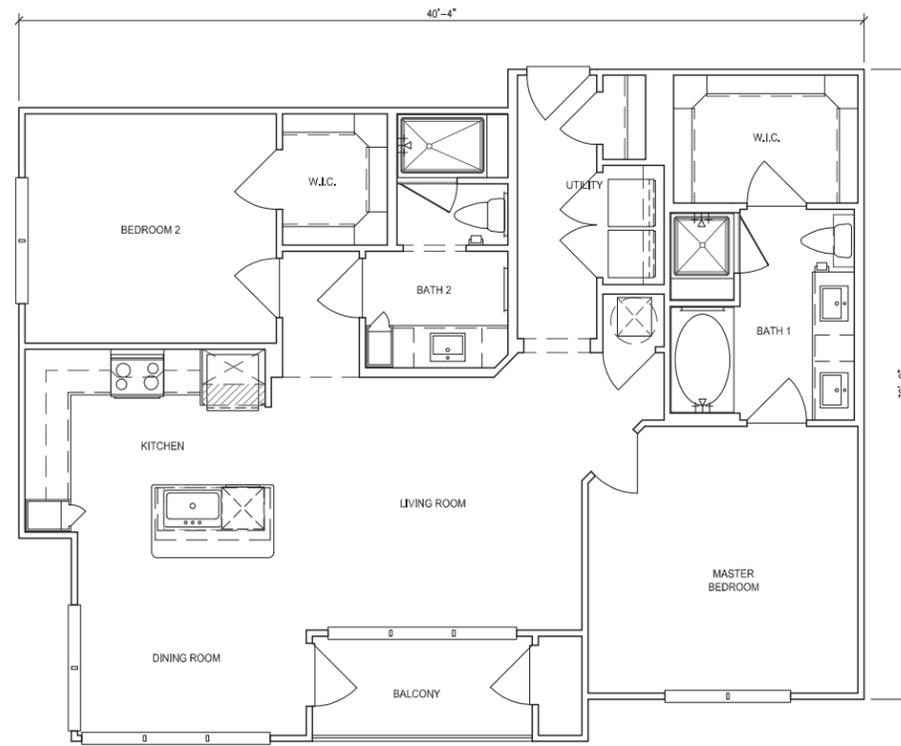
1 UNIT A0
 1/4" = 1'-0"
 605 NET SF
 656 GROSS SF

ARLINGTON HIGHLANDS
 ARLINGTON, TX - GREYSTAR

Meeks + Partners
 ARCHITECTURE
 LAND PLANNING
 16000 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77079
 281-558-8787 - 281-558-3337 - www.meekspartners.com
 CONCEPTUAL DESIGN

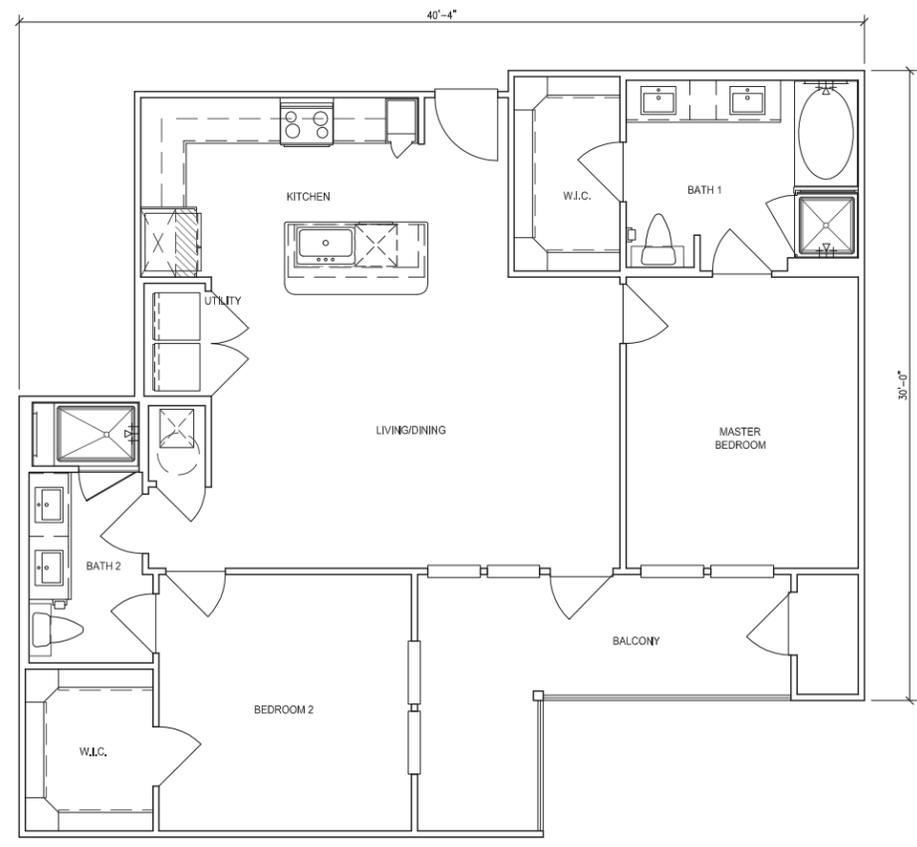
M P 2.0
 JOB NO. 15001

These are copyright and are subject to copyright protection as an "architectural plan" under Section 132 of the Copyright Act, 17 U.S.C. as amended December 1, 1990, and based on the architectural plan protection act of 1990. The protection includes but is not limited to, the exact form or style as the arrangement and composition of space and elements of the design. Under such protection, unauthorized use or copy of these plans, work, or forms represents an infringement of such construction or building laws and/or codes.

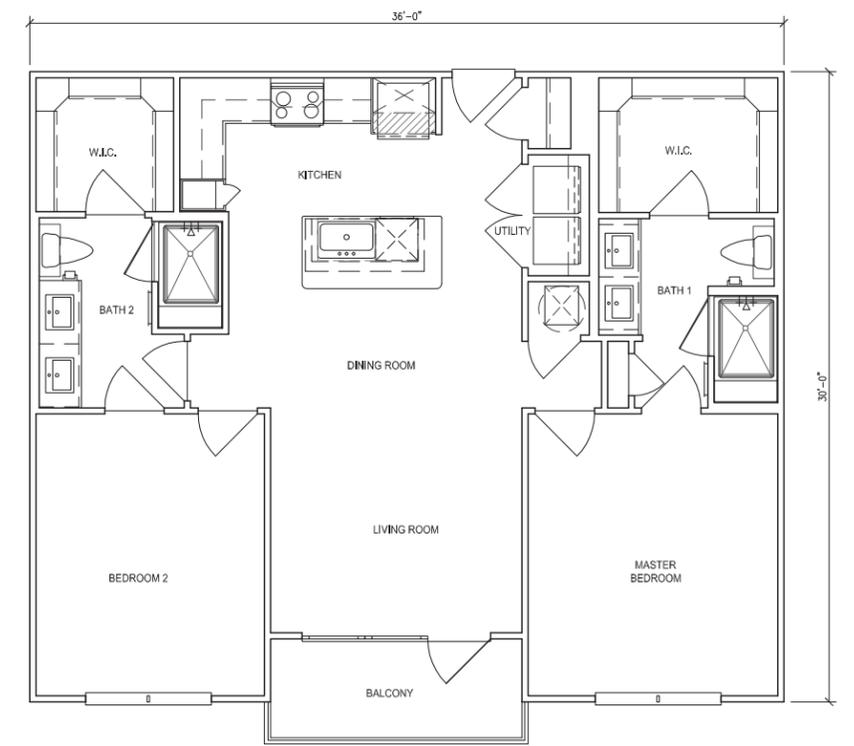


NOTE: ALL INTERIOR ELEVATIONS
SIMILAR TO OTHER OVERTURE UNITS

2 UNIT B2
1/4" = 1'-0" 1132 NET SF
1197 GROSS SF



3 UNIT B3
1/4" = 1'-0" 1102 NET SF
1296 GROSS SF



1 UNIT B1
1/4" = 1'-0" 1044 NET SF
1105 GROSS SF

ARLINGTON HIGHLANDS
ARLINGTON, TX - GREYSTAR

Meeks + Partners
ARCHITECTURE
LAND PLANNING
16000 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77079
281-558-8787 - 281-558-3337 - www.meekspartners.com
CONCEPTUAL DESIGN



3.0
JOB NO. 15001

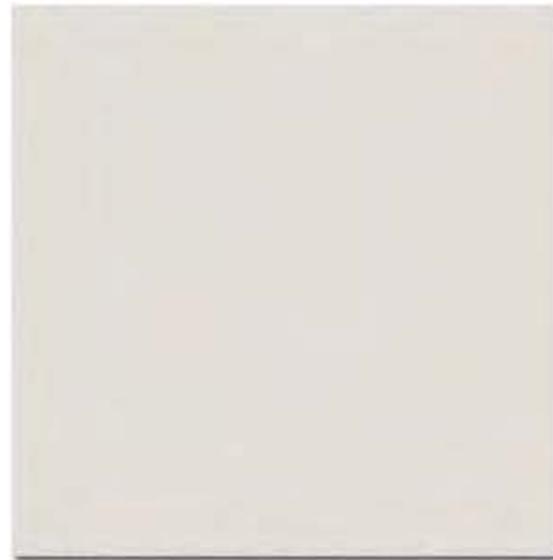
These are copyright and are subject to copyright protection as an "architectural plan" under Section 132 of the Copyright Act, 17 U.S.C. as amended December 1, 1990, and based on the architectural plan protection act of 1980. The protection includes but is not limited to, the exact form or style as the arrangement and composition of space and elements of the design. Under such protection, unauthorized use or copying, including but not limited to, the creation of such construction or building using these plans and/or model.



ARCHITECTURAL SHINGLES
TIMBERLINE - WEATHERED WOOD



FIBER CEMENT SIDING
SW7636 ORGAMIE WHITE



STUCCO TYPE 01 - SW7636 ORIGAMI WHITE



STUCCO TYPE 02 - SW6149 RELAXED KHAKI



STUCCO TYPE 03 - SW7020 BLACK FOX



WOODTONE - MOUNTAIN CEDAR



BRICK TYPE 01 - ACME BRICK WINDMILL MANOR



ARCHITECTURAL FIBER CEMENT PANELS - SW7074 SOFTWARE
(NICHHA OR EQUAL)



BRICK TYPE 02 - ACME BRICK CAMERON HILLS

MATERIAL BOARD - ARLINGTON HIGHLANDS

ARLINGTON, TX - GREYSTAR