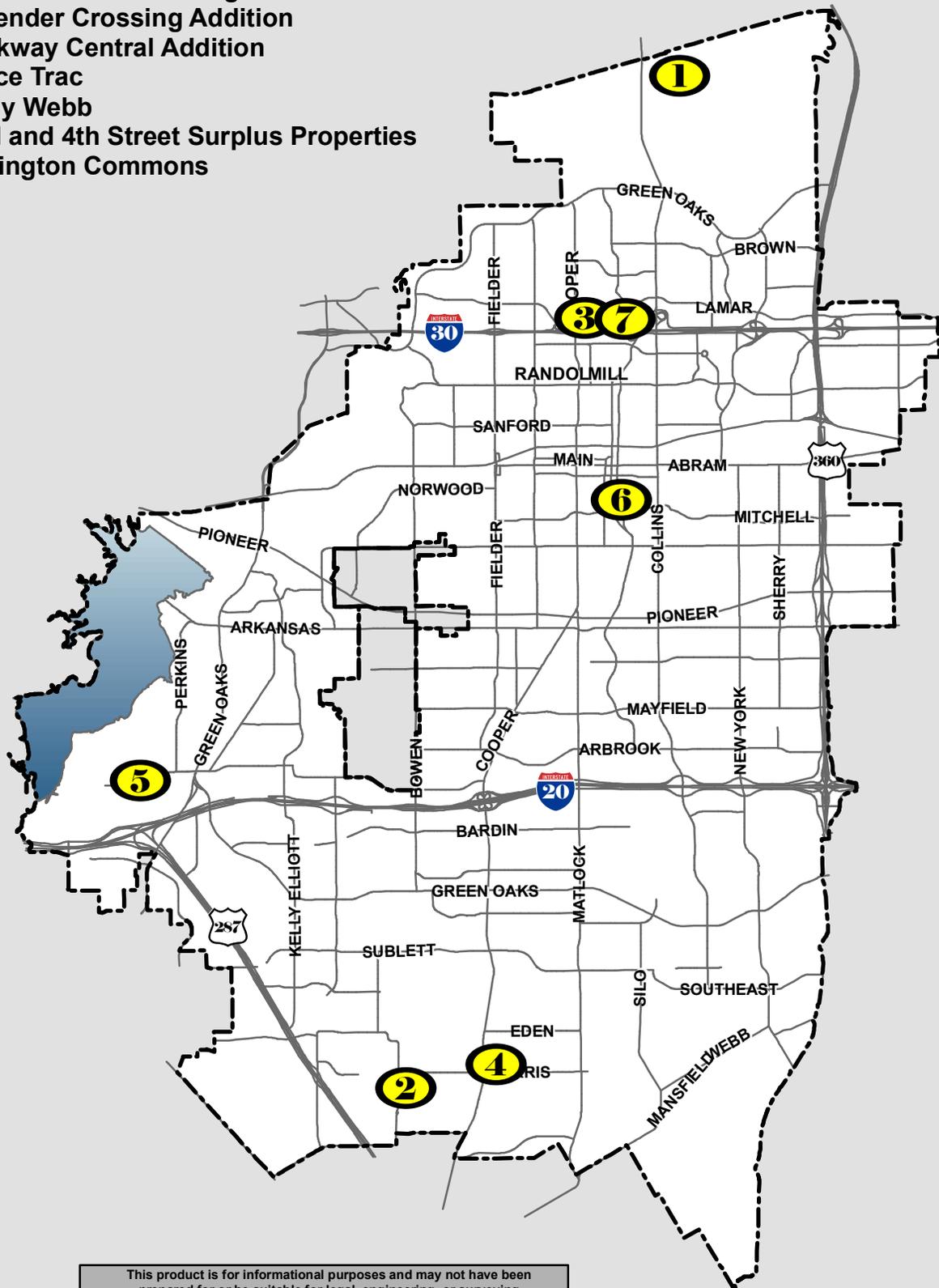


PLANNING & ZONING

September 16, 2015



1. Preliminary Plat - Viridian Village 1F
2. Replat - Calender Crossing Addition
3. Replat - Parkway Central Addition
4. ZA15-4 - Race Trac
5. ZA15-5 - Poly Webb
6. ZA15-6 - 3rd and 4th Street Surplus Properties
7. DP14-2 - Arlington Commons



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





AGENDA

**Planning and Zoning Commission
Work Session**

**Council Chamber
101 West Abram Street**

**SEPTEMBER 16, 2015
3:30 P.M.**

I. CALL TO ORDER

**II. DISCUSSION OF ARLINGTON COMMONS – THOROUGHFARE
DEVELOPMENT PLAN AMENDMENT REQUEST**

III. DISCUSSION OF REGULAR SESSION AGENDA ITEMS

IV. DIRECTOR UPDATE ON PREVIOUS COUNCIL ITEMS

- A. Specific Use Permit SUP15-4
(Rosenberger Pool House – 1408 West Second Street)

Application for approval of a Specific Use Permit for a Secondary Living Unit, currently zoned Conservation District Overlay-Residential Single-Family 7.2 (CDO-RS-7.2); generally located south of West Second Street and west of South Davis Drive.

CC Approved 9-0-0 on 09/01/15 on final reading

V. DISCUSSION OF FUTURE MEETING DATES AND TIMES

- (a) Planning and Zoning Commission Two-Hour Bus Tour – October 2, 2015
- (b) Planning and Zoning Commission Meeting on October 7, 2015

VI. ADJOURN

NOTE: City Hall is wheelchair accessible. For other accommodations or sign interpretive services, please call the Strategic Planning Division at 817-459-6667 not later than 24 hours in advance.



AGENDA

**Planning and Zoning Commission
Regular Session**

**Council Chamber
101 West Abram Street**

**SEPTEMBER 16, 2015
5:30 P.M.**

Meeting order is subject to change per the Commission's Discretion

I. CALL TO ORDER

II. PLEDGE

III. APPROVAL OF MINUTES

- A. Minutes of September 2, 2015 P&Z Meeting

IV. PLAT CONSENT AGENDA AND PUBLIC HEARING FOR PLATS

- A. Preliminary Plat – Viridian Addition, Viridian Village 1F, Lots 1X, 2-6, 7X, 8-12, 13X, 14-18, 19X, 20-25, Block 64; Lots 1-6, 7X, 8-11, 12X, 13-15, 16X, 17-24, 25X, 26-29, 30X and 31X, Block 65; Lots 1X, 2-4, 5X, 6-9, 10X and 11-12, Block 66; Lots 1-4, 5X, 6-8, 9X, 10-16, 17X, 18-19, and 20X, Block 67; Lots 1-6, 7X, 8-13, and 14X, Block 68; Lot 1X, Block 69; Lots 1X and 2X, Block 70; and Lot 1, Block 71 (Zoned Planned Development [PD]); generally located north of Lakes of Bird's Fort Trail and east North Collins Street with the approximate address being 4101 North Collins Street.

NOTE: City Hall is wheelchair accessible. For other accommodations or sign interpretive services, please call the Strategic Planning Division at 817-459-6652 not later than 24 hours in advance.

- B. Replat – Calender Crossing Addition, Lots 1 through 5, Lot 1X, Block 1; Lots 1 through 11, Lot 2X, Block 2; Lots 1 through 17, Block 3; Lots 1 through 20, Block 4; Lots 1 through 15, Lot 3X, Block 5; and Lot 5X, Block 6 and Lot 4XR (Zoned Planned Development [PD]); generally located south of West Harris Road and east of Calender Road with the approximate address being 2504 West Harris Road.

- C. Replat – Parkway Central Addition, Lots A-R-1 and A-R-2; Block 5, (Zoned Lamar Collins Mixed-Use Overlay-Planned Development [LCMUO-PD] for multi-family uses with a maximum density of 60 units per acre) with a Concept Brief, generally located north of East Lamar Boulevard and east of North Cooper Street with the approximate address being 425 East Lamar Boulevard.

V. PUBLIC HEARING FOR ZONING CASES

- A. Zoning Case ZA15-4
(Race Trac – 1211 West Harris Road)

Application to change the zoning on approximately 2.325 acres from Residential Estate (RE) and Light Industrial (LI) to Community Commercial (CC); generally located north of West Harris Road and east of South Cooper Street.

- B. Zoning Case ZA15-5
(Poly Webb – 6409 Poly Webb Road)

Application to change the zoning on approximately 0.43 acres from Residential Medium-Density 12 (RM-12) to Office Commercial (OC); generally located south of West Pleasant Ridge Road and east of West Poly Webb Road.

- C. Zoning Case ZA15-6
(3rd and 4th Street Surplus Properties - 110, 202, and 204 East Third Street; 201, 205, and 207 East Fourth Street; and 704 and 706 Glenn Crossett Court)

Application to change the zoning on approximately 1.12 acres from Residential Multi-Family – 22 (RMF-22) and Residential Medium-Density (RM-12) to Residential Single-Family 7.2 (RS-7.2); generally located south of East Third Street and west of South Mesquite Street.

- D. Development Plan DP14-2
(Arlington Commons – 425 East Lamar Boulevard)

Application for approval of a development plan on approximately 5.56 acres zoned Lamar Collins Mixed-Use Overlay-Planned Development (LCMUO-PD) for multi-family uses with a maximum density of 60 units per acre; generally located north of East Lamar Boulevard and west of Van Buren Drive.

VI. MISCELLANEOUS

- A. Reports from Boards/Commissions Liaisons
- B. Reports from Staff and Announcements
- C. Discussion of Future Meeting Dates and Times

VII. ADJOURN



AGENDA

Planning and Zoning Commission

Monthly Bus Tour

**OCTOBER 2, 2015
8:00 A.M.**

8:00 a.m. Planning and Zoning Commission Two-Hour Bus Tour of various metroplex developments.

A quorum of the Commission may be present. No formal action will be taken.

Staff Report



Preliminary Plat (Viridian Village 1F)	
Planning and Zoning Meeting Date: 9-16-15	Document Being Considered: Plat

RECOMMENDATION

Following the public hearing, consider a preliminary plat.

PRIOR BOARD OR COUNCIL ACTION

On May 20, 2008, City Council approved the 2008.16-acre Viridian Planned Development District with concept brief "PD07-5" by a vote of 9-0-0.

On September 30, 2008, City Council approved the addition of a 55.57-acre tract of land into the Viridian Planned Development District with concept brief "PD07-5R1" by a vote of 8-0-0.

On June 23, 2009, City Council approved the first development plan "PD07-5R1-DP1" for Villages 1a, 1c, and 1d within 'Planning Area 1' of the Viridian Planned Development by a vote of 9-0-0.

On February 08, 2011, City Council approved the second development plan "PD07-5R1-DP2" for Villages 1b, and 1e within 'Planning Area 1' of the Viridian Planned Development by a vote of 9-0-0.

On February 07, 2012, City Council approved an alternative sign package "PD07-5R2-ASP" for the Viridian Planned Development by a vote of 7-0-0.

On June 24, 2013, City Council approved an updated concept brief to the 2008.16-acre Viridian Planned Development District with concept brief "PD07-5R3" by a vote of 9-0-0.

On June 16, 2015, City Council approved the third development plan "PD07-5R3-DP3" for Viridian Village 1F by a vote of 8-0-1.

ANALYSIS

The applicant HC LOBF Arlington, LLC, represented by Howard Porteus, proposes to plat 82 residential lots and 24 non-residential lots and open space ("X") lots from approximately 14.81 acres of the William Jenkins Survey and Samuel Kephart Survey. Lots 1X, 7X and 19X, Block 64; Lots 7X, 12X, 16X, 30X and 31X, Block 65; Lots 1X and 5X, Block 66; Lots 5X, 17X and 20X, Block 67; Lot 7X, Block 68; Lot 1X, Block 69; and Lots 1X and 2X, Block 70 are common open spaces lots. Lot 13X, Block 64; Lot 25X, Block 65; Lot 10X Block 66; Lot 9X, Block 67; and Lot 14X, Block 68 are designated as streets and or alleys. Lot 1, Block 71 and Lot 26, Block 65 will be developed non-residentially. All of the X lots will be held in common ownership and perimeter fencing and landscaping and shall be maintained by a Property Owners Association.

The subject site is part of a larger development, zoned PD for various uses. This portion of the site was specifically identified for single family attached residential uses. The proposed minimum lot sizes and lot widths for Phase 1F will exceed the minimum lot sizes and widths for the attached single family products of Exhibit F of the approved PD.

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the subdivision regulations of the Unified Development Code.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Property Location: Generally located north of Lakes of Bird’s Fort Trail and east North Collins Street with the approximate address of 4101 North Collins Street.

Sector: North

Council District: 1

Current Zoning: Planned Development (PD) certain institutional uses; certain office uses; certain recreation and entertainment uses; certain residential and lodging uses; certain retail and personal service uses; certain temporary uses; certain utilities, communication, and transportation uses; and the following miscellaneous uses: distribution centers, gas drilling and production, community centers, community homes, libraries, medical clinic or ambulatory surgical centers, boutique hotels, extended care facilities, car washes, custom and craft work, farmers market, gasoline sales, personal services, veterinarian clinic, temporary outdoor sales, and radio, television, or microwave tower, and related accessory uses with development plan approval.

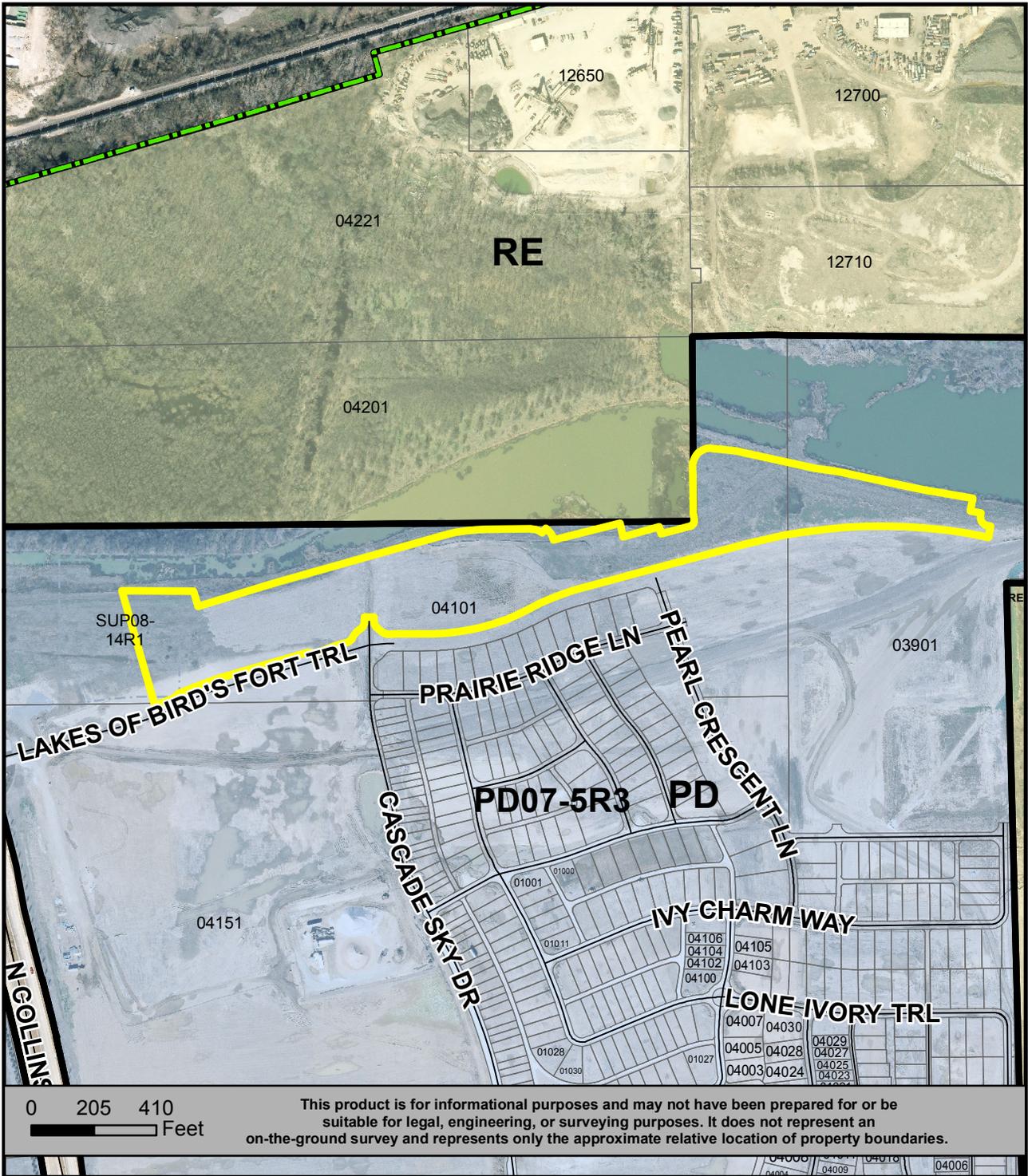
ATTACHED

- i. Location Map
- ii. 11 x 17 Plat
- iii. Overall Village Plan

STAFF CONTACT(S)

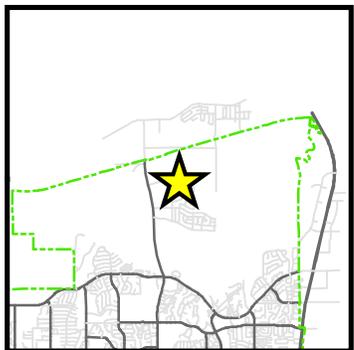
Gincy Thoppil, AICP
Development Planning Manager
Community Development and Planning
817-459-6662
Gincy.Thoppil@arlingtontx.gov

Jennifer Pruitt, AICP, LEED AP
Principal Planner
Community Development and Planning
817-459-6138
Jennifer.Pruitt@arlingtontx.gov



LOCATION MAP

**VIRIDIAN VILLAGE 1F AND FIRE STATION 17
PRELIMINARY PLAT**



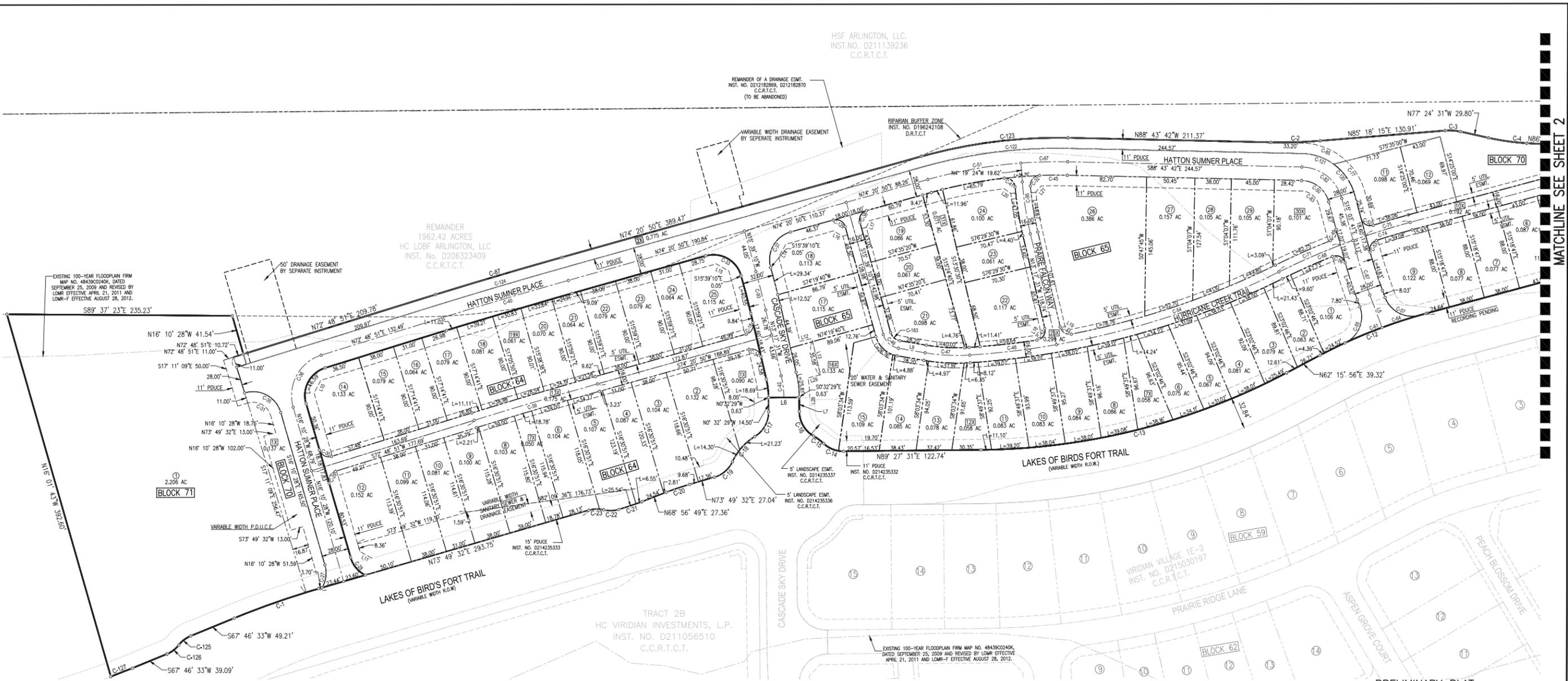
HSF ARLINGTON, LLC.
INST. NO. D211139236
C.C.R.T.C.T.

REMAINDER OF A DRAINAGE ESMT.
INST. NO. D2128289, D2128287
C.C.R.T.C.T.
(TO BE ABANDONED)

RIPIARIAN BUFFER ZONE
INST. NO. D196242108
D.R.T.C.T.

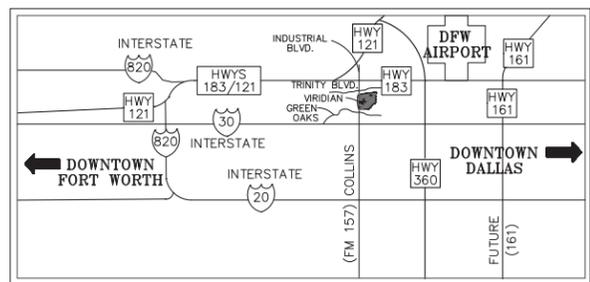
REMAINDER
1962.42 ACRES
HC LOBF ARLINGTON, LLC
INST. No. D206323409
C.C.R.T.C.T.

EXISTING 100-YEAR FLOODPLAIN FROM
MAP NO. 4843902240K, DATED
SEPTEMBER 25, 2009 AND REVISED BY
LOMR-F EFFECTIVE APRIL 21, 2011 AND
LOMR-F EFFECTIVE AUGUST 28, 2012.



MATCHLINE SEE SHEET 2

BASIS OF BEARING IS CITY OF ARLINGTON GPS
MONUMENTATION BASED ON TEXAS STATE PLANE
COORDINATE SYSTEM (NAD-83)



LEGEND:

- ME MAINTENANCE EASEMENT
- PDUCE PUBLIC SIDEWALK, DRAINAGE, UTILITY, & CITY CONSTRUCTION EASEMENT.
- PPDE PRIVATE ACCESS, PUBLIC UTILITY, & DRAINAGE EASEMENT.
- FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ELEVATION CERTIFICATE WILL NOT BE REQUIRED FOR THESE LOTS.
- PWSE PRIVATE WATER SERVICE EASEMENT.
- DE DRAINAGE EASEMENT.
- UE UTILITY EASEMENT
- PME PRIVATE MAINTENANCE EASEMENT



- NOTES:**
- 1.) LOT DIMENSIONS AND AREAS ARE APPROXIMATE.
 - 2.) ALL PARKS, OPEN SPACES AND PUBLIC ACCESS EASEMENTS ARE DESIGNATED AS "X" LOTS.
 - 3.) THE LIMITS OF THE 100-year FLOODPLAIN ARE BASED ON THE MOST CURRENT CLOMR PANEL NUMBERS: 336 OF 595 & 337 OF 595
 - 4.) ANY "X" LOTS FULLY CONTAINED WITHIN THE DEDICATED R-O-W INFERS THE RIGHTS TO MAINTENANCE AND CONSTRUCTION.
 - 5.) PDUCE - PUBLIC SIDEWALK, DRAINAGE, UTILITY & CITY CONSTRUCTION EASEMENT.

PRELIMINARY PLAT
 LOTS 1X, 2-6, 7X, 8-12, 13X, 14-18, 19X, 20-25 BLOCK 64
 LOTS 1-6, 7X, 8-11, 12X, 13-15, 16X, 17-24, 25X, 26-29, 30X, 31X, BLOCK 65
 LOTS 1X, 2-4, 5X, 6-9, 10X, 11-12, BLOCK 66
 LOTS 1-4, 5X, 6-8, 9X, 10-16, 17X, 18-19, 20X, BLOCK 67
 LOTS 1-6, 7X, 8-13, 14X, BLOCK 68
 LOT 1X, BLOCK 69
 LOTS 1X, 2X BLOCK 70
 LOT 1, BLOCK 71

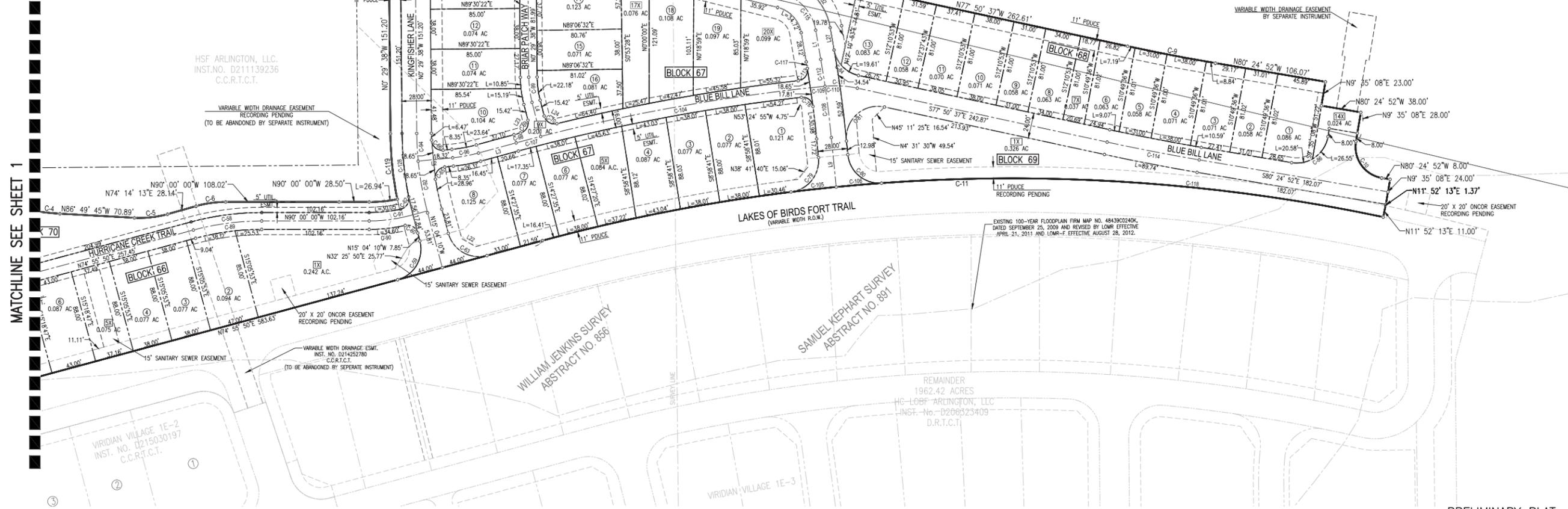
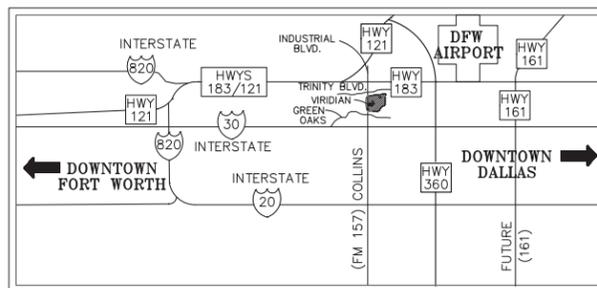
VIRIDIAN VILLAGE 1F
 82 SINGLE FAMILY & 24 NON RESIDENTIAL LOTS
 Being 14.815 ACRES
 SITUATED IN THE
 WILLIAM JENKINS SURVEY, ABST. No. 856
 SAMUEL KEPHART SURVEY, ABST. No. 891
 CITY OF ARLINGTON,
 TARRANT COUNTY, TEXAS
 JULY 2015

Graham Associates, Inc.
 CONSULTING ENGINEERS & PLANNERS
 600 SIX FLAGS DR. STE. 500
 ARLINGTON, TEXAS 76011 (817) 648-9535
 TBE FIRM: F-1191/TPLS FIRM: 101538-00



MATCHLINE SEE SHEET 1

LOTS	NUMBER	USES	ACRES
RESIDENTIAL	82	SINGLE FAMILY	10.046
NON RESIDENTIAL	24	PUBLIC ACCESS/PARK/OPEN SPACE OTHER (ROADS)	2.591 2.097
TOTAL	106		14.815



HSF ARLINGTON, LLC
INST. NO. D211139236
C.C.R.T.C.T.

REMAINDER
1962.42 ACRES
HC LOBF ARLINGTON, LLC
INST. No. D206323409
D.R.T.C.T.

REMAINDER
1962.42 ACRES
HC LOBF ARLINGTON, LLC
INST. No. D206323409
D.R.T.C.T.

WILLIAM JENKINS SURVEY
ABSTRACT NO. 886

SAMUEL KEPHART SURVEY
ABSTRACT NO. 891

VIRIDIAN VILLAGE 1E-2
INST. NO. D215030197
C.C.R.T.C.T.

VIRIDIAN VILLAGE 1E-3



- NOTES:
- 1.) LOT DIMENSIONS AND AREAS ARE APPROXIMATE.
 - 2.) ALL PARKS, OPEN SPACES AND PUBLIC ACCESS EASEMENTS ARE DESIGNATED AS "X" LOTS.
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 - 5.) PDUCE - PUBLIC SIDEWALK, DRAINAGE, UTILITY & CITY CONSTRUCTION EASEMENT.

- LEGEND:
- ME MAINTENANCE EASEMENT
 - PDUCE PUBLIC SIDEWALK, DRAINAGE, UTILITY, & CITY CONSTRUCTION EASEMENT.
 - PPDE PRIVATE ACCESS, PUBLIC UTILITY, & DRAINAGE EASEMENT.
 - * FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ELEVATION CERTIFICATE WILL NOT BE REQUIRED FOR THESE LOTS.
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 - UE UTILITY EASEMENT
 - PME PRIVATE MAINTENANCE EASEMENT

BASIS OF BEARING IS CITY OF ARLINGTON GPS MONUMENTATION BASED ON TEXAS STATE PLANE COORDINATE SYSTEM (NAD-83)



PRELIMINARY PLAT
 LOTS 1X, 2-6, 7X, 8-12, 13X, 14-18, 19X, 20-25 BLOCK 64
 LOTS 1-6, 7X, 8-11, 12X, 13-15, 16X, 17-24, 25X, 26-29, 30X, 31X, BLOCK 65
 LOTS 1X, 2-4, 5X, 6-9, 10X, 11-12, BLOCK 66
 LOTS 1-4, 5X, 6-8, 9X, 10-16, 17X, 18-19, 20X, BLOCK 67
 LOTS 1-6, 7X, 8-13, 14X, BLOCK 68
 LOT 1X, BLOCK 69
 LOTS 1X, 2X BLOCK 70
 LOT 1, BLOCK 71

VIRIDIAN VILLAGE 1F
 82 SINGLE FAMILY & 24 NON RESIDENTIAL LOTS
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 WILLIAM JENKINS SURVEY, ABST. No. 886
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 600 SIX FLAGS DRIVE, SUITE 500
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 TPBE FIRM: F-1191/TBPLS FIRM: 101538-00

1F.01.01
 SHEET
 20F3

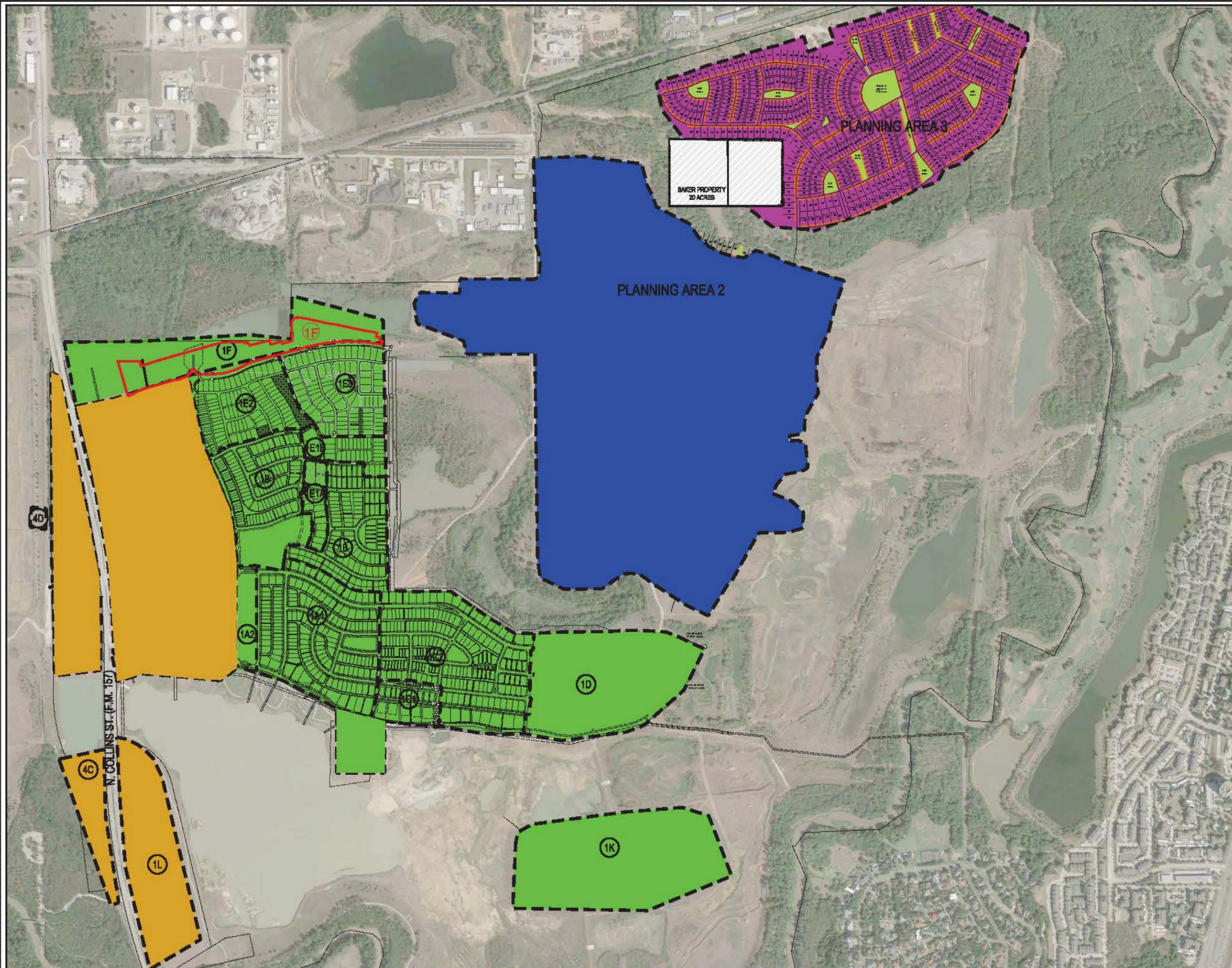
CURVE TABLE						
CURVE #	Δ	RADIUS	TANGENT	LENGTH	LCB	LCD
C-1	6° 02' 59"	882.50'	46.63'	93.18'	N70° 48' 03"E	93.14'
C-2	5° 58' 03"	496.50'	25.88'	51.71'	S88° 17' 16"W	51.69'
C-3	17° 17' 15"	53.50'	8.13'	16.14'	N86° 03' 08"W	16.08'
C-4	9° 25' 14"	246.50'	20.31'	40.53'	N82° 07' 08"W	40.48'
C-5	18° 56' 02"	96.50'	16.09'	31.89'	S83° 42' 14"W	31.74'
C-6	15° 45' 47"	103.50'	14.33'	28.47'	S82° 07' 07"W	28.38'
C-7	93° 53' 43"	69.00'	73.86'	113.08'	S46° 27' 13"W	100.84'
C-8	10° 25' 24"	275.00'	25.08'	50.03'	N81° 23' 13"W	49.96'
C-9	2° 34' 15"	1895.00'	42.52'	85.03'	N79° 07' 44"W	85.02'
C-10	90° 00' 00"	30.00'	30.00'	47.12'	N35° 24' 52"W	42.43'
C-11	26° 56' 23"	1717.00'	411.26'	807.31'	N88° 24' 01"E	799.90'
C-12	12° 39' 54"	540.50'	59.98'	119.48'	N68° 35' 53"E	119.23'
C-13	27° 11' 35"	700.00'	169.30'	332.23'	N75° 51' 43"E	329.12'
C-14	43° 24' 23"	300.00'	11.94'	22.73'	S68° 50' 19"E	22.19'
C-15	12° 40' 06"	60.00'	6.66'	13.27'	S53° 28' 10"E	13.24'
C-16	59° 15' 44"	30.00'	17.06'	31.03'	S30° 10' 21"E	29.66'
C-17	59° 15' 44"	30.00'	17.06'	31.03'	N29° 05' 23"E	29.66'
C-18	87° 38' 20"	10.00'	9.60'	15.30'	S30° 31' 40"W	13.85'
C-18	33° 56' 00"	60.00'	18.31'	35.53'	N41° 45' 15"E	35.02'
C-19	49° 02' 18"	30.00'	13.68'	25.68'	N49° 18' 23"E	24.90'
C-20	4° 52' 43"	300.00'	12.78'	25.54'	N71° 23' 11"E	25.54'
C-21	4° 52' 43"	300.00'	12.78'	25.54'	N71° 23' 11"E	25.54'
C-22	29° 55' 35"	30.00'	8.02'	15.67'	N88° 47' 20"E	15.49'
C-23	29° 55' 35"	30.00'	8.02'	15.67'	N88° 47' 20"E	15.49'
C-27	46° 43' 36"	30.00'	12.96'	24.47'	N7° 11' 20"E	23.79'
C-28	47° 10' 00"	30.00'	13.10'	24.70'	N39° 45' 28"W	24.00'
C-29	88° 59' 19"	10.00'	9.83'	15.53'	N28° 19' 12"E	14.02'
C-30	91° 00' 41"	10.00'	10.18'	15.88'	N61° 40' 48"W	14.27'
C-31	91° 00' 41"	19.00'	19.34'	30.18'	N61° 40' 48"W	27.11'
C-32	92° 59' 09"	10.00'	10.54'	16.23'	S41° 21' 18"W	14.51'
C-33	90° 00' 00"	30.00'	30.00'	47.12'	S60° 39' 10"E	42.43'
C-34	92° 21' 40"	10.00'	10.42'	16.12'	S59° 28' 20"E	14.43'
C-35	91° 00' 41"	30.00'	30.53'	47.65'	N61° 40' 48"W	42.80'
C-36	88° 59' 19"	44.00'	43.23'	68.34'	S28° 19' 12"W	61.67'
C-37	90° 00' 00"	30.00'	30.00'	47.12'	S29° 20' 50"W	42.43'
C-38	90° 00' 00"	10.00'	10.00'	15.71'	S29° 20' 50"W	14.14'
C-39	1° 31' 58"	5008.00'	67.00'	133.98'	S73° 34' 51"W	133.98'
C-40	1° 31' 58"	5120.00'	68.49'	136.98'	S73° 34' 51"W	136.98'
C-41	91° 25' 44"	10.00'	10.25'	15.96'	N50° 46' 20"W	14.32'
C-42	12° 45' 01"	100.00'	11.17'	22.25'	N6° 55' 00"W	22.21'

CURVE TABLE						
CURVE #	Δ	RADIUS	TANGENT	LENGTH	LCB	LCD
C-43	94° 43' 55"	10.00'	10.86'	16.53'	N34° 04' 27"E	14.71'
C-44	87° 44' 14"	10.00'	9.61'	15.31'	S57° 09' 37"E	13.86'
C-45	3° 25' 25"	486.00'	14.52'	29.04'	S89° 33' 35"W	29.04'
C-46	64° 44' 17"	20.00'	12.68'	22.60'	S48° 01' 19"E	21.41'
C-47	13° 21' 46"	200.00'	23.43'	46.65'	S87° 04' 21"E	46.54'
C-48	22° 31' 43"	855.02'	170.30'	336.19'	N74° 58' 55"E	334.03'
C-49	83° 31' 19"	10.00'	8.93'	14.58'	N26° 41' 58"E	13.32'
C-50	73° 40' 01"	30.00'	22.47'	38.57'	N51° 53' 42"W	35.97'
C-51	16° 55' 28"	500.00'	74.39'	147.69'	S82° 48' 34"W	147.16'
C-52	92° 53' 04"	10.00'	10.52'	16.21'	S61° 30' 14"E	14.49'
C-53	87° 21' 52"	10.00'	9.55'	15.25'	S28° 13' 50"W	13.81'
C-54	22° 31' 43"	855.02'	170.30'	336.19'	N74° 58' 55"E	334.03'
C-55	85° 43' 40"	30.00'	27.84'	44.89'	N22° 27' 59"E	40.82'
C-56	95° 59' 18"	10.00'	11.10'	16.75'	N63° 51' 41"W	14.86'
C-57	85° 25' 32"	30.00'	27.70'	44.73'	S63° 06' 37"E	40.70'
C-58	15° 04' 10"	258.00'	34.13'	67.86'	S82° 27' 55"W	67.66'
C-59	90° 00' 00"	30.00'	30.00'	47.12'	N29° 55' 50"E	42.43'
C-60	87° 28' 34"	10.00'	9.57'	15.27'	N58° 48' 27"W	13.83'
C-61	4° 25' 53"	540.50'	20.91'	41.80'	S67° 32' 45"W	41.79'
C-62	89° 23' 44"	10.00'	9.90'	15.60'	S33° 10' 32"W	14.07'
C-63	90° 00' 00"	30.00'	30.00'	47.12'	N60° 04' 11"W	42.43'
C-64	5° 10' 08"	540.50'	24.40'	48.76'	S72° 20' 46"W	48.74'
C-65	93° 44' 22"	10.00'	10.67'	16.36'	N37° 36' 04"E	14.60'
C-66	93° 44' 22"	10.00'	10.67'	16.36'	N48° 39' 34"W	14.60'
C-67	5° 20' 09"	498.50'	23.23'	46.43'	S17° 43' 47"E	46.41'
C-68	6° 25' 46"	750.00'	42.13'	84.16'	S66° 55' 56"W	84.12'
C-69	89° 26' 12"	10.00'	9.90'	15.61'	S30° 24' 41"W	14.07'
C-70	89° 26' 12"	10.00'	9.90'	15.61'	N59° 01' 31"W	14.07'
C-71	5° 21' 26"	750.00'	35.09'	70.12'	S66° 23' 46"W	70.10'
C-72	1° 54' 28"	236.00'	3.93'	7.86'	S85° 38' 41"E	7.86'
C-73	94° 34' 06"	10.00'	10.83'	16.51'	S37° 24' 25"E	14.69'
C-74	4° 47' 01"	750.00'	31.33'	62.62'	S72° 32' 19"W	62.60'
C-75	3° 42' 40"	750.00'	24.30'	48.58'	S73° 04' 30"W	48.57'
C-76	93° 56' 51"	10.00'	10.71'	16.40'	N56° 51' 04"E	14.62'
C-77	73° 40' 01"	69.00'	51.68'	88.72'	N51° 53' 42"W	82.73'
C-78	88° 58' 51"	10.00'	9.82'	15.53'	S51° 52' 27"E	14.02'
C-79	88° 33' 24"	30.00'	29.25'	46.37'	S38° 41' 43"W	41.89'
C-80	88° 26' 13"	30.00'	29.19'	46.31'	S49° 48' 06"E	41.84'
C-81	107° 44' 22"	30.00'	41.09'	56.41'	S48° 17' 12"W	48.46'
C-82	73° 40' 01"	44.00'	32.96'	56.57'	N51° 53' 42"W	52.76'

CURVE TABLE						
CURVE #	Δ	RADIUS	TANGENT	LENGTH	LCB	LCD
C-83	73° 40' 01"	19.00'	14.23'	24.43'	N51° 53' 42"W	22.78'
C-84	67° 58' 55"	30.00'	20.23'	35.60'	S43° 51' 09"E	33.54'
C-85	73° 40' 01"	69.00'	51.68'	88.72'	N51° 53' 42"W	82.73'
C-86	90° 00' 00"	30.00'	30.00'	47.12'	N54° 35' 08"E	42.43'
C-87	1° 31' 58"	5145.00'	68.83'	137.65'	S73° 34' 51"W	137.65'
C-89	15° 04' 10"	250.00'	33.07'	65.75'	S82° 27' 55"W	65.56'
C-90	12° 06' 59"	163.00'	17.30'	34.47'	N83° 56' 31"E	34.41'
C-91	15° 04' 10"	150.00'	19.84'	39.45'	N82° 27' 55"E	39.34'
C-92	14° 34' 32"	300.00'	38.37'	76.32'	S7° 46' 54"E	76.11'
C-93	2° 21' 40"	1000.00'	20.61'	41.21'	N14° 28' 20"W	41.20'
C-94	14° 34' 32"	300.00'	38.37'	76.32'	S7° 46' 54"E	76.11'
C-95	8° 58' 07"	350.00'	27.45'	54.79'	S8° 48' 27"E	54.73'
C-96	9° 32' 25"	150.00'	12.52'	24.98'	N79° 42' 02"E	24.95'
C-97	16° 55' 28"	500.00'	74.39'	147.69'	S82° 48' 34"W	147.16'
C-98	0° 11' 58"	1821.00'	3.17'	6.34'	S75° 01' 49"W	6.34'
C-99	13° 48' 46"	100.00'	12.11'	24.11'	S7° 24' 02"E	24.05'
C-100	93° 53' 43"	44.00'	47.10'	72.11'	S46° 27' 13"W	64.30'
C-101	10° 22' 17"	150.00'	13.61'	27.15'	S4° 41' 30"W	27.11'
C-102	10° 25' 24"	250.00'	22.80'	45.48'	N81° 23' 13"W	45.42'
C-103	10° 25' 24"	250.00'	22.80'	45.48'	N81° 23' 13"W	45.42'
C-104	9° 26' 43"	1813.00'	149.78'	298.87'	S79° 39' 11"W	298.53'
C-105	1° 26' 36"	1716.98'	21.63'	43.25'	S83° 41' 43"W	43.25'
C-106	1° 26' 36"	1716.98'	21.63'	43.25'	S85° 08' 19"W	43.25'
C-107	9° 26' 43"	1813.00'	149.78'	298.87'	S79° 39' 11"W	298.53'
C-108	4° 16' 42"	1000.00'	37.35'	74.67'	N7° 43' 20"W	74.65'
C-109	0° 26' 39"	1813.00'	7.03'	14.06'	S84° 09' 13"W	14.06'
C-110	8° 09' 03"	100.00'	7.12'	14.23'	S88° 27' 04"W	14.21'
C-111	17° 46' 51"	100.00'	15.64'	31.03'	N86° 44' 02"W	30.91'
C-112	4° 16' 42"	1000.00'	37.35'	74.67'	N7° 43' 20"W	74.65'
C-113	93° 27' 24"	10.00'	10.62'	16.31'	S36° 52' 01"W	14.56'
C-114	2° 34' 15"	1988.00'	44.61'	89.20'	S79° 07' 44"E	89.19'
C-115	66° 17' 53"	44.00'	28.74'	50.91'	N43° 01' 34"W	48.12'
C-116	66° 18' 49"	69.00'	45.08'	79.86'	N43° 01' 06"W	75.48'
C-117	0° 21' 34"	986.00'	3.09'	6.19'	S9° 40' 54"E	6.19'
C-118	16° 00' 37"	1716.98'	24.46'	47.97'	N86° 08' 05"W	47.82'
C-119	11° 01' 46"	325.00'	31.38'	62.56'	S6° 00' 31"E	62.47'
C-120	39° 00' 04"	58.00'	20.54'	39.48'	N34° 33' 43"W	38.72'
C-121	34° 39' 57"	58.00'	18.10'	35.09'	N71° 23' 44"W	34.56'
C-122	16° 55' 28"	514.00'	76.47'	151.83'	S82° 48' 34"W	151.28'
C-123	16° 55' 28"	525.00'	78.11'	155.08'	N82° 48' 34"E	154.52'

Parcel Line Table		
LINE #	LENGTH	DIRECTION
L1	28.13'	S9° 51' 41"E
L2	32.93'	N84° 28' 15"E
L3	37.10'	N74° 55' 50"E
L4	33.34'	N14° 18' 25"W
L5	36.21'	S20° 23' 51"E
L6	32.00'	N89° 27' 31"E
L7	14.50'	S0° 32' 29"E
L8	28.20'	S80° 23' 28"E
L9	47.17'	S5° 34' 59"E
L10	14.91'	S28° 19' 12"W
L11	14.34'	N61° 10' 28"W
L12	13.00'	N76° 42' 29"E
L13	39.00'	S13° 17' 31"E
L14	15.25'	S29° 20' 50"W
L15	15.25'	N60° 39' 10"W
L16	11.31'	N60° 39' 10"W
L17	7.60'	S25° 28' 10"W
L18	7.36'	N34° 04' 28"E
L19	6.93'	S57° 09' 38"E
L20	8.54'	N54° 49' 35"W
L21	8.47'	S39° 18' 14"W
L22	15.25'	S60° 04' 10"E
L23	7.04'	S30° 24' 41"W
L24	7.04'	S59° 01' 31"E
L25	16.55'	S46° 27' 13"W
L26	28.05'	N9° 52' 38"E
L27	21.45'	N9° 51' 41"W
L28	14.50'	S0° 32' 29"E
L29	13.29'	S76° 42' 29"W

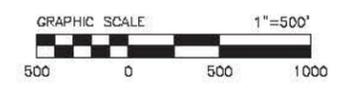
CURVE TABLE						
CURVE #	Δ	RADIUS	TANGENT	LENGTH	LCB	LCD
C-124	1° 31' 58"	5134.00'	68.68'	137.36'	S73° 34' 51"W	137.35'
C-125	29° 55' 35"	30.00'	8.02'	15.67'	N52° 48' 45"E	15.49'
C-126	29° 55' 35"	30.00'	8.02'	15.67'	N52° 48' 45"E	15.49'
C-127	1° 40' 49"	825.50'	12.11'	24.21'	N68° 36' 57"E	24.21'
C-128	11° 01' 42"	314.00'	30.31'	60.44'	S6° 00' 29"E	60.34'
C-129	90° 00' 00"	10.00'	10.00'	15.71'	N60° 39' 10"W	14.14'
C-130	93° 53' 43"	5				



CAUTION:
 EXISTING UTILITIES AND UNDERGROUND FACILITIES OF THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION AND AS-BUILT PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION.

LEGEND

- VILLAGE LINE
- VILLAGE
- PLANNING AREA 1
- PLANNING AREA 2
- PLANNING AREA 3
- TOWN CENTER



VIRIDIAN

OVERALL VILLAGE EXHIBIT

CITY OF ARLINGTON
 TARRANT COUNTY, TEXAS

Graham Associates, Inc.
 CONSULTING ENGINEERS & PLANNERS
 10000 FLYING SAUCERS, SUITE 100
 ARLINGTON, TEXAS 76011 (817) 840-6636
 TYPE PRINT P-1/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30

DRAWN BY: GAJ	PROJECT NO. --	SHEET
DATE: 07/20/16	SHEET OF	2

PLOTTED BY: AMIE HECKER
 PLOTTED ON: 6/2/2016 12:12 PM
 FILE NAME: A:\VIRIDIAN\DEVELOPMENT PLANS\VF & PRE-CONSTRUCTION\OVERALL VILLAGE PLANNING
 DATE: 07/20/16 12:12 PM

Staff Report



Replat (Calender Crossing)

Planning and Zoning Meeting Date: 9-16-15	Document Being Considered: Plat
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RECOMMENDATION

Following the public hearing, consider a replat.

PRIOR BOARD OR COUNCIL ACTION

On January 22, 2014, the Planning and Zoning Commission recommended approval of Zoning Case PD13-18, in order to change the zoning of the site from Agriculture (A) to PD for all Estate (E), uses with a concept brief by a vote of 9-0-0.

On March 4, 2014, the City Council approved Zoning Case PD13-18, by a vote of 8-0-0.

On July 16, 2014, the Planning and Zoning Commission approved the preliminary plat by a vote of 8-0-0. On December 4, 2014, the final plat was filed with Tarrant County.

ANALYSIS

The applicant, WMSA Partners, LTD., represented by William M. Smith, proposes a replat of the Calendar Crossing Plat. The purpose of the replat is to dedicate additional public utility, and drainage easements to be located in Lot 4XR, and to abandon a drainage and slope easement located on Lots 7R and 8R that are no longer needed.

The site is currently under construction for a single family residential development. This replat meets the PD district requirements.

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the Subdivision Regulations.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Property Location: Generally located south of West Harris Road and east of Calendar Road with the approximate address being 2504 West Harris Road

Sector: Southwest

Council District: 2

Current Zoning: Planned Development for Residential Single-Family 15 (PD-RS-15), per the Unified Development Code, effective July 10, 2014. (Prior zoning was PD-E)

ATTACHED

- i. Location Map
- ii. 11 x 17 Plat

STAFF CONTACT(S)

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Development Planning Manager
Community Development and Planning
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Gincy.Thoppil@arlingtontx.gov

Kevin Charles
Senior Planner
Community Development and Planning
817-459-6515
Kevin.Charles@arlingtontx.gov



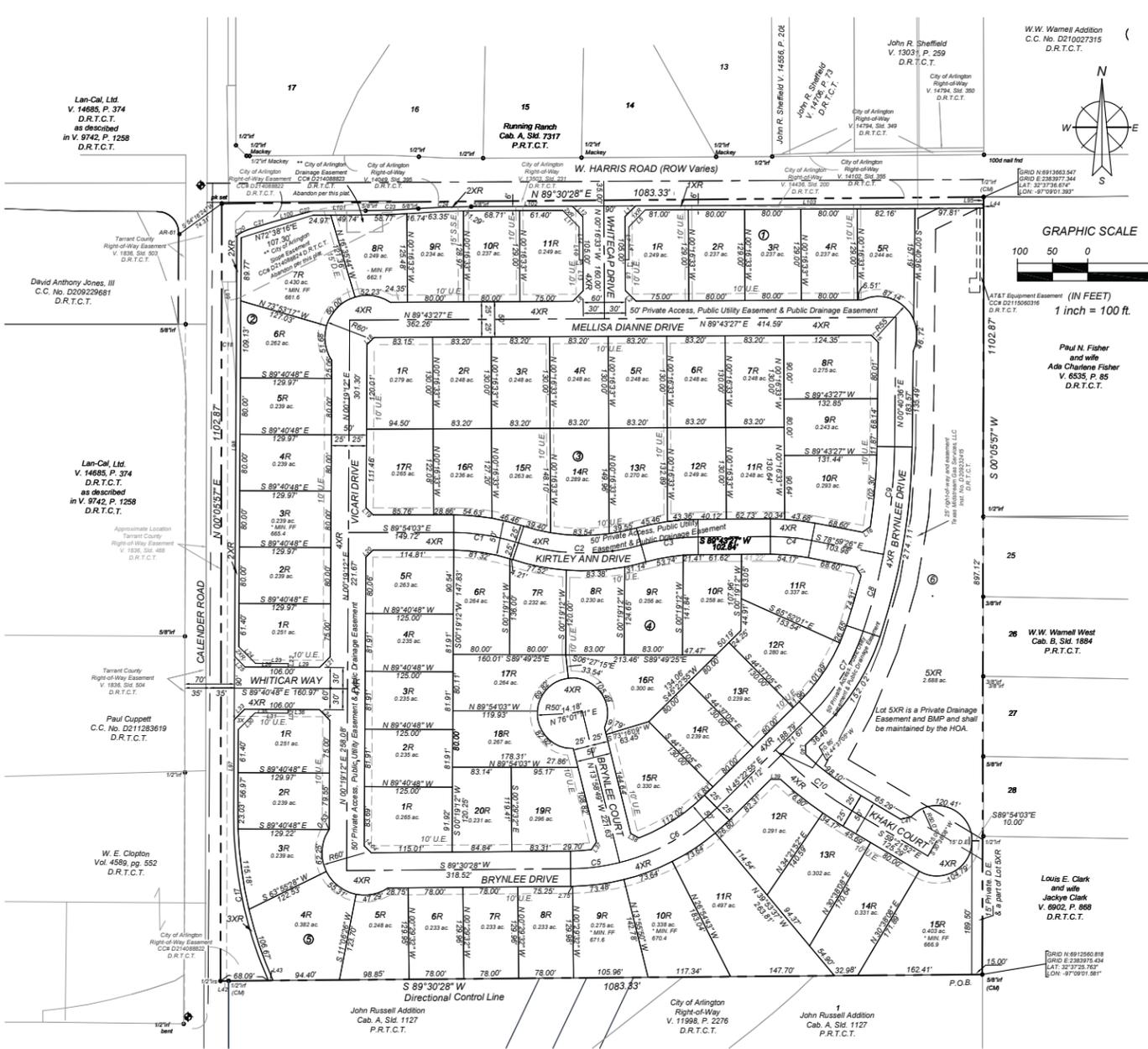
LOCATION MAP



**CALENDER CROSSING
REPLAT**







LINE	LENGTH	BEARING
L1	21.21'	N44°43'27"E
L2	21.21'	S45°16'33"W
L3	5.17'	S89°43'27"W
L4	46.87'	N00°16'33"W
L5	33.29'	S44°27'29"W
L6	43.48'	N00°16'33"W
L7	61.52'	N00°16'33"W
L8	21.21'	N44°43'27"E
L9	5.17'	N89°43'27"E
L10	46.86'	N00°16'33"W
L11	33.29'	S45°03'35"E
L12	21.21'	N45°16'33"W
L13	43.49'	N00°16'33"W
L14	61.51'	N00°16'33"W
L15	14.02'	S44°47'59"E
L16	13.88'	S54°58'13"W
L17	13.88'	S32°57'09"E
L18	14.22'	S45°01'19"W
L19	14.11'	S44°47'25"E
L20	14.17'	S45°12'35"W
L21	21.21'	N45°19'12"E
L22	5.17'	S00°19'12"W
L23	46.87'	S89°40'48"E
L24	33.29'	S44°56'48"E
L25	21.17'	N44°40'48"W
L26	61.55'	S89°40'48"E
L29	44.45'	S89°40'48"E
L30	33.29'	N45°35'07"E
L31	46.87'	S89°40'48"E
L32	5.17'	N00°19'12"E
L33	21.22'	N45°19'12"E
L34	21.21'	S44°40'48"E
L35	61.55'	S89°40'48"E
L36	44.45'	S89°40'48"E
L37	13.39'	S34°05'59"W
L38	13.35'	N62°06'33"W
L39	14.40'	S89°20'12"W
L40	13.85'	S00°46'24"E

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	BEARING
C1	93.31'	300.00'	17°49'17"	47.04'	92.94'	N80°59'24"W
C2	177.26'	300.00'	33°51'17"	91.30'	174.70'	S89°02'46"E
C3	81.99'	300.00'	15°39'29"	41.25'	81.73'	S81°53'42"W
C4	59.09'	300.00'	11°17'07"	29.64'	58.99'	N64°38'00"W
C5	70.62'	300.00'	13°29'16"	35.48'	70.46'	N82°45'49"E
C6	160.42'	300.00'	30°38'16"	82.18'	158.51'	N60°42'03"E
C7	140.33'	300.00'	26°48'03"	71.47'	139.05'	N31°58'54"E
C8	112.62'	852.18'	7°36'19"	56.29'	112.54'	N14°47'43"E
C9	153.68'	852.18'	10°19'58"	77.05'	153.47'	N05°50'25"E
C10	128.69'	500.00'	14°44'47"	64.70'	128.33'	S51°59'28"E
C17	244.75'	583.00'	24°03'14"	124.21'	242.96'	S11°42'31"E
C18	133.65'	691.00'	11°04'54"	67.03'	133.44'	N05°13'21"W
C20	21.03'	58.00'	20°46'28"	10.63'	20.91'	N60°38'17"E
C21	34.93'	583.00'	3°25'57"	17.47'	34.92'	S72°44'35"W
C22	14.61'	399.00'	2°03'55"	7.31'	14.61'	S73°02'35"W
C23	75.09'	1024.36'	4°12'00"	37.56'	75.07'	N87°43'08"E
C24	75.12'	1024.36'	4°12'07"	37.58'	75.11'	S87°54'41"W

Benchmarks
Reference Benchmark:
 City of Arlington Monument No. AR 61 - Aluminum cap on Harris rd. and access road stamped "AR 61" located at the Southwest corner of Harris Rd. with Calender Rd. The monument is currently located inside of a chain link fence enclosure. This enclosure is on the West side of Calender Rd. at a "T" intersection with Harris Rd. The monument is 72' South Southwest of a Northeast fence corner and 91' West of the East fence line. This fence was formerly used to enclose a water tower. Elev. = 657.68'

Benchmarks Set:
TBM #1 - Railroad spike set in the West side of a power pole 1.0' above the ground.
 Power pole is located on the North side of Harris Rd. approx. 25' North of the North edge of asphalt of Harris Rd. and approx. 40' East of a culvert at the Northeast corner of subject tract. Elev. = 658.77'

TBM #2 - Box cut at the Southeast corner of the concrete around a traffic control box located at the Northwest corner of Calender Rd. and Russell Rd. 15' West of the West edge of asphalt of Calender Rd. and 18' North of the North edge of asphalt of Russell Rd.
 Elev. = 675.49'

TBM #3 - Box cut at the Southeast corner of the concrete around a sanitary sewer
Reference Benchmark:

The purpose of this plat is to note that Lot 4XR is a 50' or 60' Private Access, Public Utility & Public Drainage Easement and to abandon easements noted with **.

HERBERT S. BEASLEY
 REGISTERED PROFESSIONAL SURVEYORS
 LAND SURVEYORS L.P.
 • LAND • TOPOGRAPHIC
 • CONSTRUCTION SURVEYING
 FIRM NO. 10094900
 METRO 817-429-0194
 P. O. BOX 8873
 FORT WORTH, TEXAS 76124
 hsbeasley@msn.com

WMSA Partners, Ltd.
 Engineers - Surveyors - Planners
 Firm Reg. No. F-9681

Owner/Developer:
BALAO, LLC
 P.O. Box 170155
 Arlington, Texas 76003
 817-980-0127

DEVELOPER'S/OWNER'S SIGNATURE

- Notes:
- All existing structures on this property to be removed.
 - Screening wall per city ordinance shall be installed along Calender Road and West Harris Road frontage.
 - Direct residential access to Calender Road and West Harris Road will not be allowed.
 - Visibility triangles shall be provided at all public or private street intersections in accordance with current City ordinance.
 - All landscaping (nothing over 2 feet in height as measured from the top of curb) within the visibility triangles shall comply with the Visibility Ordinance.
 - The City of Arlington reserves the right to require minimum finished floor elevations on any lot within this subdivision. The minimum elevations shown are based on the most current information available at the time the plat is filed and may be subject to change. Additional lots other than those shown, may also be subject to minimum finish floor requirements.
 - Lots with a minimum finish floor elevation that is noted with an asterisk (*) will not be required to have a FEMA Elevation Certificate.
 - The City of Arlington will only be responsible for the fully lined concrete channel, fully lined concrete gabion mattress, permanent pipe system, and concrete overflow flume within the public drainage easement. The City of Arlington will not be responsible for other amenities, including but not limited to paving and fences within the drainage easement, and for general maintenance such as mowing.
 - The Property Owners Association shall be responsible for the maintenance of perimeter fencing along Calender Road and West Harris Road and Lots 1XR, 2XR, 3XR, 4XR and 5XR, which will be held in common ownership.
 - This property may be subject to charges related to impact fees, and the applicant should contact the City regarding any applicable fees due.
 - This plat does not increase the number of lots in the previously recorded subdivision, nor attempt to alter or remove existing deed restrictions or covenants, if any on this property.
 - Lots denoted with ** to be abandoned with filing of this plat.

MAINTENANCE STATEMENT FOR BMP

THE CITY OF ARLINGTON IS NOT RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, OR USE OF ANY STORM WATER TREATMENT FACILITY (IDENTIFIED AS A BEST MANAGEMENT PRACTICE(S) (BMP'S) FOR STORM WATER QUALITY IN THE ACCEPTED STORM WATER MANAGEMENT SITE PLAN FOR THIS DEVELOPMENT) AND ITS ASSOCIATED DRAINAGE EASEMENTS, HEREINAFTER REFERRED TO AS "IMPROVEMENTS," TO BE DEVELOPED AND CONSTRUCTED BY DEVELOPER OR SUCCESSORS. DEVELOPER WILL INDEMNIFY, DEFEND AND HOLD HARMLESS THE CITY OF ARLINGTON, ITS OFFICERS, EMPLOYEES AND AGENTS FROM ANY DIRECT OR INDIRECT LOSS, DAMAGE, LIABILITY OR EXPENSE AND ATTORNEYS' FEES FOR ANY NEGLIGENCE ARISING OUT OF THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, CONDITION OR USE OF THE IMPROVEMENTS, INCLUDING ANY NON-PERFORMANCE OF THE FOREGOING. DEVELOPER WILL REQUIRE ANY SUCCESSOR IN INTEREST OF ALL OR PART OF THE PROPERTY, INCLUDING ANY PROPERTY OWNERS ASSOCIATION TO ACCEPT FULL RESPONSIBILITY AND LIABILITY FOR THE IMPROVEMENTS. ALL OF THE ABOVE SHALL BE COVENANTS RUNNING WITH THE LAND. DEVELOPER SHALL IMPOSE THESE COVENANTS UPON LOTS 1 - 5, & 1X, BLOCK 1, LOTS 1-11 & 2X BLOCK 2, LOTS 1 - 17, BLOCK 3, LOTS 1 - 20, BLOCK 4, LOTS 1 - 15, & LOT 3X, BLOCK 5, LOT 4XR AND LOT 5X, BLOCK 6, ABUTTING, ADJACENT OR SERVED BY THE "IMPROVEMENTS" THE FULL OBLIGATION AND RESPONSIBILITY OF MAINTAINING AND OPERATING SAID IMPROVEMENTS. ACCESS TO THE IMPROVEMENTS IS GRANTED TO THE CITY FOR ANY PURPOSE RELATED TO THE EXERCISE OF GOVERNMENTAL SERVICES OR FUNCTIONS, INCLUDING BUT NOT LIMITED TO, FIRE AND POLICE PROTECTION, INSPECTION AND CODE ENFORCEMENT.

MAINTENANCE STATEMENT FOR BMP

LOCATION MAP
 nts



STATE OF TEXAS:
 COUNTY OF TARRANT:

WHEREAS, BALAO, LLC., acting by and through the undersigned, its duly authorized agent, is the sole owner of all that certain tract, parcel, or lot of land located in the John Russell Survey, Abstract No. 1278, City of Arlington, County of Tarrant, Texas, according to the deed recorded in D214166133 Deed Records, Tarrant County, Texas, also being all of CALENDER CROSSING, an addition to the city of Arlington, Tarrant County, Texas, as recorded in County Clerk Document Number D214277826, Tarrant County, Texas, and being more particularly described by bounds as follows:

Being 27.427 acres of land located in the John Russell Survey, Abstract No. 1278, Tarrant County, Texas, being the tract of land described in the deed to Alvin J. Woods, and wife, Dena Wells Woods, recorded in Volume 2970, Page 542, Deed Records, Tarrant County, Texas. Said 27.427 acres of land being more particularly described as follows:

BEGINNING at a 5/8" iron rod found at the Southeast corner of said Woods tract, being the Northeast corner of John Russell Addition, an addition to the City of Arlington, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 1127, Plat Records, Tarrant County, Texas;

THENCE S89°30'28"W, along the South line of said Woods tract and the North line of said John Russell Addition, at a distance of 1071.79 feet passing a 1/2" iron rod found at the Northwest corner of Lot 2 of said John Russell Addition, continuing in a line at a distance of 1,083.33 feet to a 1/2" iron rod stamped "Beasley RPLS 4050" set at the Southwest corner of said Woods tract;

THENCE N00°05'57"E, along the West line of said Woods tract, a distance of 1,102.87 feet to a PK nail set at the Northwest corner of said Woods tract;

THENCE N89°30'28"E, along the North line of said Woods tract, a distance of 1,083.33 feet to a 1/2" iron rod found at the Northeast corner of said Woods tract, being the Northwest corner of a tract of land described in the deed to Paul N. Fisher, and wife, Ada Charlene Fisher, recorded in Volume 6535, Page 85, Deed Records, Tarrant County, Texas;

THENCE S00°05'57"E, along the East line of said Woods tract, a distance of 1,102.87 feet to the point of beginning, containing 27.427 acres of land.

The bearings recited herein are oriented to NAD 83, Texas North Central Zone.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT BALAO, LLC., acting by and through the undersigned, its duly authorized agent, does hereby adopt this plat designating the herein above described real property as CALENDER CROSSING, an Addition to the City of Arlington, Tarrant County, Texas, and do hereby dedicate to the public's use the streets and easements shown thereon.

WITNESS MY HAND at Arlington, Tarrant County, Texas, this _____ day of _____, 2015.

BALAO, LLC, a Texas Limited Liability Company

By: _____
 Title: Partner

STATE OF TEXAS:
 COUNTY OF TARRANT:

BEFORE ME, the undersigned authority, on this day, personally appeared _____ of BALAO, LLC, a Texas Limited Liability Company and known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration therein expressed.

GIVEN MY HAND AND SEAL on this the _____ day of _____, 2015.

Notary Public, State of Texas
 My Commission Expires: _____

THIS is to certify that I, Herbert S. Beasley, a Registered Professional Land Surveyor of the State of Texas, have surveyed the above described property on the ground, and that all lot corners, angle points, and points of curve shall be set after construction and will be 1/2" iron rods capped and imprinted "BEASLEY 4050". Irons that are damaged, disturbed, or not so marked are not original corners.

Herbert S. Beasley
 Registered Professional Land Surveyor
 Texas Registration No. 4050



THIS is to certify that I, William M. Smith, Jr., a Registered Professional Land Surveyor of the State of Texas, have plotted the above subdivision from an actual survey on the ground by Herbert S. Beasley, a Registered Professional Land Surveyor of the State of Texas.

William M. Smith, Jr.
 Registered Professional Land Surveyor
 Texas Registration No. 4647



Replat

Calender Crossing

Lots 1 - 5, & 1X, Block 1, Lots 1 - 11 & 2X Block 2
 Lots 1 - 17, Block 3, Lots 1 - 20, Block 4
 Lots 1 - 15, & Lot 3X, Block 5, Lot 5X, Block 6
 and Lot 4XR

Being 27.427 Acres Located in the
 John Russell Survey, A-1278,
 Arlington, Tarrant County, Texas

May 2015
 68 SF Lots & 5 HOA Lots

This plat filed in County Clerk's
 Document No. _____

Staff Report



Replat (Parkway Central Addition Lots A-R-1 & A-R-2)

Planning and Zoning Meeting Date: 9-16-15

Document Being Considered: Plat

RECOMMENDATION

Consider a Replat on the consent agenda.

PRIOR BOARD OR COUNCIL ACTION

On December 18, 2013, the Planning and Zoning Commission recommended approval of PD13-19 by a vote of 8-0-1.

On February 25, 2014, the City Council approved PD13-19 by a vote of 8-0-0.

ANALYSIS

The applicant, Arlington Commons Lands, LLC, represented by Howard Porteus, proposes to replat Lot A-R, creating Lot A-R-1 and Lot A-R-2 of the Parkway Central Addition. The apartment buildings on the existing Lot A-R have been demolished. Multi-Family development is proposed on both of the lots.

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the subdivision regulations.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Property Location: Generally located north of East Lamar Boulevard and east of North Cooper Street with the approximate address being 425 East Lamar Boulevard.

Sector: North

Council District: 1

Current Zoning: Lamar Collins Mixed-Use Overlay-Planned Development (LCMUO-PD) for multi-family uses with a maximum density of 60 units per acre, with a Concept Brief

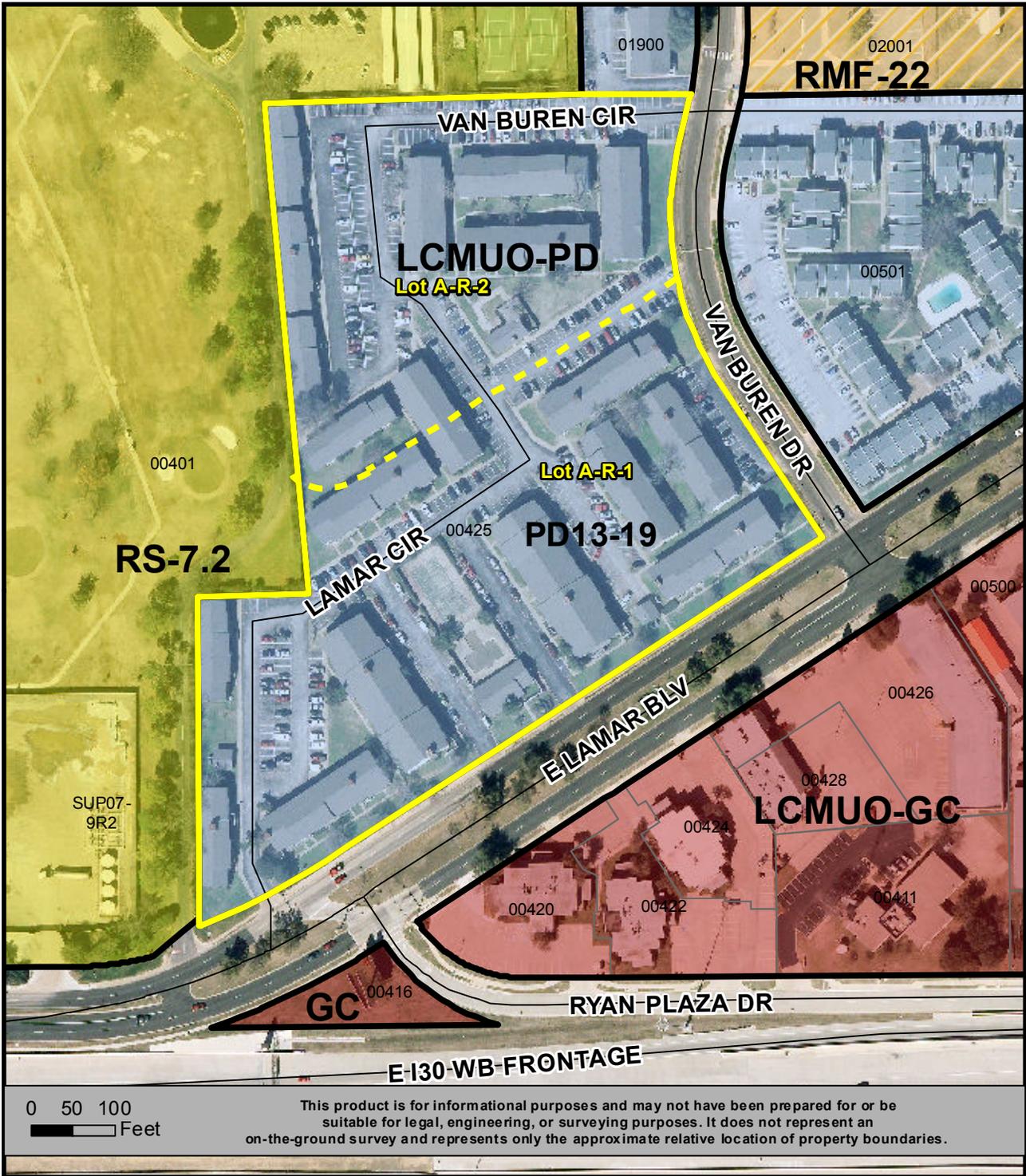
ATTACHED

- i. Location Map
- ii. 11 x 17 Plat

STAFF CONTACT(S)

Gincy Thoppil, AICP
Development Planning Manager
Community Development and Planning
817-459-6662
Gincy.Thoppil@arlingtontx.gov

Shon Brooks
Senior Planner
Community Development and Planning
817-459-6514
Shon.Brooks@arlingtontx.gov



LOCATION MAP

**PARKWAY CENTRAL
REPLAT**



GENERAL NOTES

- The bearings and coordinates shown hereon are based on the Texas Coordinate System (NAD 83), North Central Zone (4202). Combined Scale Factor = 0.999880014
- The subject property shown hereon appears to be located in Zone X, (areas determined to be outside the 0.2% annual chance floodplain) as indicated on the Flood Insurance Rate Map published by the Federal Emergency Management Agency of the Homeland Security Administration, Map No. 48439C0240K, Map Revised: September 25, 2009, for Tarrant County, Texas and incorporated areas. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. This flood statement shall not create liability on the part of the surveyor.
- Selling a portion of this addition by metes and bounds description without a replat being approved by the City of Arlington is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits.
- The City of Arlington reserves the right to require minimum finish floor elevations on any lot contained within this addition. The minimum finish floor elevations shown are based on the most current information available at the time the plat is filed and may be subject to change. Additional lots, other than those shown, may also be subject to minimum finish floor criteria.
- This property may be subject to charges related to impact fees, and the applicant should contact the City regarding any applicable fees due.
- Visibility Triangles shall be provided at all public or private street intersections in accordance with current city ordinance, and all landscaping shall comply with the Visibility Triangle Ordinance.
- This plat does not alter or remove deed restrictions or covenants, if any, on this property.

OWNER'S CERTIFICATE

STATE OF TEXAS §
 COUNTY OF TARRANT §

WHEREAS, ARLINGTON COMMONS LANDS, LLC, is the sole owner of a 10.278 acre tract of land situated in the J. M. Henderson Survey, Abstract No. 696 and being all of Lot A-R, Block 5 of Parkway Central, an addition to the City of Arlington, according to plat filed for record in Volume 388-61, Page 1, Plat Records, Tarrant County, Texas (P.R.I.C.T.), and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found with a cap stamped "GAI" for the southeast corner of said Lot A-R, Block 5, the intersection of the northwesterly right-of-way line of East Lamar Boulevard (a 120 feet public right-of-way), and the southwesterly right-of-way line of Van Buren Drive (a 60 feet wide public right-of-way);

THENCE S56°33'51"W with said northwesterly right-of-way line of East Lamar Boulevard and the southeasterly line of said Lot A-R, Block 5, a distance of 685.00 feet to 1/2 inch iron rod found for the beginning of a tangent curve to the right having a radius of 786.70 feet, a central angle of 14 degrees 20 minutes 10 seconds, a chord bearing of South 63 degrees 43 minutes 56 seconds West and a chord length of 196.33 feet;

THENCE along said right-of-way line and along said tangent curve to the right an arc distance of 196.84 feet to a 1/2 inch iron rod found for corner;

THENCE N00°11'11"W, leaving the right-of-way line of East Lamar Boulevard, following with the northwest line of Lot A-R and the southeast line of Lot 3, G. W. Coonrod Addition, as recorded in Cabinet A, Page 5308, Plat Records, Tarrant County, Texas, a distance of 393.17 feet to a 1/2 inch iron rod found for corner;

THENCE N89°04'55"E, continuing along the northeast line of Lot A-R and the southeast line of said Lot 3, a distance of 132.51 feet to a 1/2 inch iron rod found for corner;

THENCE N05°05'41"W, continuing along the northwest line of Lot A-R and the southeast line of Lot 3, a distance of 593.53 feet to a 1/2 inch iron rod found for corner;

THENCE N88°11'13"E, with the northwest line of Lot A-R and the southwest line of Lot 3, a distance of 380.88 feet to a 1/2 inch iron rod found for the southeast corner of Lot 3 and the southwest corner of Lot D, Block 6 of Parkway Central, an addition to the City of Arlington, Tarrant County, Texas as recorded in Volume 388-75, Page 59 (P.R.I.C.T.);

THENCE N89°41'57"E, departing the west line of said Lot D and the east line of said Lot 3, a distance of 128.87 feet for a set 1/2 inch iron rod with cap stamped "Graham Associates, Inc." in the westerly right-of-way line of Van Buren Drive, being in the east line of said Lot D;

THENCE S11°33'51"W, with the westerly line of Van Buren Drive right-of-way and the easterly line of Lot A-R, a distance of 64.92 feet to a 1/2 inch iron rod found for the beginning of a tangent curve to the left having a radius of 392.13 feet, a central angle of 45 degrees 00 minutes 00 seconds, a chord bearing of South 10 degrees 56 minutes 09 seconds East and a chord length 300.12 feet;

THENCE along said curve to the left for an arc distance of 307.98 feet to a 1/2 inch iron rod found for a corner;

THENCE S33°26'09"E, continuing with said southwesterly Van Buren Drive right-of-way line, and the northeasterly line of Lot A-R a distance of 210.00 feet to the POINT OF BEGINNING and containing 447,717 square feet or 10.278 acres of land, more or less.

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, ARLINGTON COMMONS LANDS, LLC by and through the undersigned, its duly authorized agent does hereby adopt this plat designating the hereinabove described real property as LOT A-R-1 and LOT A-R-2, BLOCK 5, PARKWAY CENTRAL an addition to the City of Arlington, Tarrant County, Texas. This plat does not alter or remove existing deed restrictions, or covenants, if any, on this property. Pursuant to Section 12.002 of the Texas Property Code, as amended, I have obtained original tax certificates from each taxing unit with jurisdiction over each parcel of real property in said subdivision indicating that no delinquent ad valorem taxes are owed on the real property which is the subject of the plat or replat I have submitted to the City of Arlington, Tarrant County, Texas for filing and recording with the Tarrant County Clerk's Office.

Pursuant to Section 12.002 of the Texas Property Code, as amended, I have obtained original tax certificates from each taxing unit with jurisdiction over each parcel of real property in said subdivision indicating that no delinquent ad valorem taxes are owed on the real property which is the subject of the plat or replat I have submitted to the City of Arlington, Tarrant County, Texas for filing and recording with the Tarrant County Clerk's office.

ARLINGTON COMMONS LANDS, LLC

By: _____

Printed Name: _____

STATE OF _____ §

COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me to that he/she executed the same for the purpose and consideration therein expressed and in the capacity therein stated, and as the act and deed therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2015.

Notary Public, State of _____

My commission expires: _____

SURVEYOR'S CERTIFICATE

This is to certify that I, Michael L. Peterson, a Registered Professional Land Surveyor in the State of Texas, having plotted the above subdivision from an actual survey on the ground; and that all lot corners, angle points and points of curvature have been properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

Michael L. Peterson
 Registered Professional Land Surveyor
 Texas Registration No. 5999

Date _____

Replat
PARKWAY CENTRAL
 LOT A-R-1 & LOT A-R-2
 BLOCK 5

REPLAT APPROVAL BLOCK

Approved by the City of Arlington Planning and Zoning Commission on: _____

(Date) _____

Chairman - Planning and Zoning Commission _____

Secretary - Planning and Zoning Commission _____

BEING A REVISION OF A PORTION OF LOT A-R, BLOCK 5, PARKWAY CENTRAL, AN ADDITION TO THE CITY OF ARLINGTON, TARRANT COUNTY, TEXAS, ACCORDING TO THE PLAT FILED FOR RECORD IN VOLUME 388-61, PAGE 1, PLAT RECORDS, TARRANT COUNTY, TEXAS,

2 LOTS - 10.278 ACRES
 J. M. HENDERSON SURVEY, ABSTRACT NO. 696,
 CITY OF ARLINGTON, TARRANT COUNTY, TEXAS.

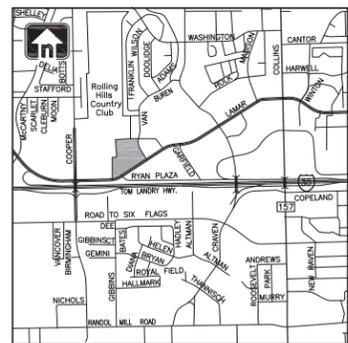
SEPTEMBER 2015

OWNER:
 ARLINGTON COMMONS LANDS, LLC
 835 EAST LAMAR BLVD.
 SUITE 175
 ARLINGTON, TEXAS 76011-3504
 PHONE NO. (972) 757-7586
 EMAIL: hportus@thenehiahcompany.com



Graham Associates, Inc.
 CONSULTING ENGINEERS & PLANNERS
 800 SK FLATS DRIVE, SUITE 200
 ARLINGTON, TEXAS 76011 | (817) 644-5335
 TPE FIRM # 11911/PLS FIRM # 101538-00

PLAT FILED FOR RECORD IN INSTRUMENT NO. _____, DATE: _____



* LEGEND *

CIRF	1/2 INCH IRON ROD FOUND WITH CAP STAMPED "GAI"	INSTR.	INSTRUMENT
IRF	IRON ROD FOUND	D.R.T.C.T.	DEED RECORDS, TARRANT COUNTY, TEXAS
XCF	"X" CUT IN CONCRETE FOUND	P.R.T.C.T.	PLAT RECORDS, TARRANT COUNTY, TEXAS
P.F.C.	POINT FOR CORNER	O.P.R.T.C.T.	OFFICIAL PUBLIC RECORDS, TARRANT COUNTY, TEXAS
(CM)	CONTROLLING MONUMENT	ESMT.	EASEMENT
(XXX.XX)	RECORD BEARING/DISTANCE	R.O.W.	RIGHT-OF-WAY
FND.	FOUND	⊕	CENTERLINE
VOL.	VOLUME	(R1)	RECORD DEED/PLAT REFERENCE NUMBER
PG.	PAGE	(R3)	RECORD DEED/PLAT REFERENCE NUMBER
CAB.	CABINET		
C.C.	COUNTY CLERK		

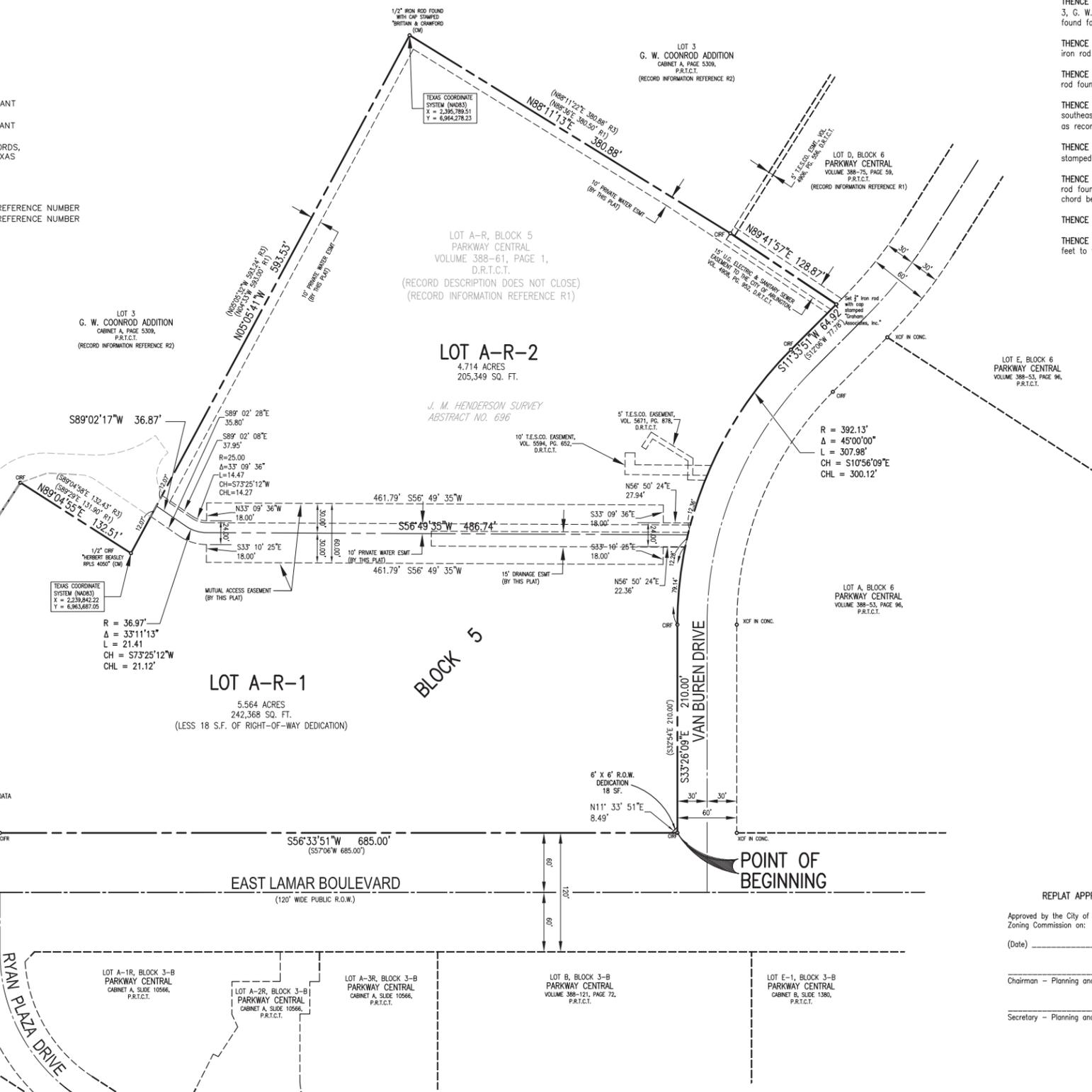
MAINTENANCE STATEMENT

The City of Arlington is not responsible for the design, construction, operation, maintenance, or use of the following: 1. Access Easements and associated improvements. 2. Any storm water treatment facility (identified as a best management practice BMP for storm water quality in the accepted storm water management site plan for this development and its associated drainage easements, hereinafter collectively referred to as "improvements"), developed or constructed by developer or his predecessors, or to be developed and constructed by developer or his successors. Developer will indemnify, defend and hold harmless the City of Arlington, its officers, employees, and agents from any direct or indirect loss, damage, liability or expense and attorney's fees for any negligence arising out of design, construction, operation, maintenance, condition or use of the improvements, including any non-performance of the foregoing. Developer will require any successor in interest of the portion of the property on which the improvements are constructed, including any property owners association, to accept full responsibility and liability for the improvements. All of the above shall be covenants running with the land. Developer shall impose these covenants upon Lot A-R-1 and Lot A-R-2, abutting, adjacent or served by the improvements. The covenants shall include the full obligation and responsibility of maintaining and operating said improvements and access to the improvements is granted to the city for any purpose related to the exercise of governmental services or functions, including but not limited to, fire and police protection, inspection and code enforcement.

ARLINGTON COMMONS LANDS, LLC

By: _____

Printed Name: _____



PLotted BY: DAVID LITTLE
 PLOTTED ON: 9/8/2015 2:19 PM
 SHEET SIZE: 36x24 1/4" = 1"



Staff Report



Zoning Case ZA15-4 (RaceTrac)

Planning and Zoning Meeting Date: 9-16-15

Document Being Considered: Ordinance

RECOMMENDATION

Following the public hearing, consider Zoning Case ZA15-4.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

Request

The applicant requests to change the zoning on approximately 2.325 acres addressed at 1211 West Harris Road, and generally located north of West Harris Road and east of South Cooper Street.

Current zoning: Residential Estate (RE) and Light Industrial (LI)

Requested zoning: Community Commercial (CC)

The subject site is undeveloped, unplatted, and has split zoning with RE on the western section and LI on the eastern portion. The applicant is requesting a zoning change for the construction of a convenience store with a fuel station on the western section of the lot and future commercial development on the eastern section. The change in zoning would reduce the amount of industrial zoning in the area. Given the location along a six-lane divided major arterial, it is unlikely that a single family residential use would be developed.

Adjacent Land Uses

The properties to the north, east and west are all undeveloped. The properties to the north and east are zoned Residential Estate (RE). The property to the west, across South Cooper Street, is zoned General Commercial (GC). The properties to the south are zoned General Commercial (GC) and Light Industrial (LI) and is developed with a Goodwill Industries donation and resource center, and an auto repair business.

Sector Plan Conformity

The 2015 Comprehensive Plan, *99 Square Miles*, contains goals for residential neighborhoods to have commercial development which provides convenient neighborhood services to those who live there. CC is a lower intensity zoning that allows these types of neighborhood convenience uses without the potential for more intense future uses.

The proposed zoning change is consistent with the strategies and goals in the Comprehensive Plan.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:

- i. Case Information
- ii. Itemized Allowable Uses
- iii. Location Map
- iv. Photos

Under separate cover:

None

Available in the City Secretary's office:

None

CITY COUNCIL DATE

October 13, 2015

STAFF CONTACTS

Gincy Thoppil, AICP
Development Planning Manager
Community Development and Planning
817-459-6662
Gincy.Thoppil@arlingtontx.gov

Nathaniel Barnett, AICP
Senior Planner
Community Development and Planning
817-459-6670
Nathaniel.Barnett@arlingtontx.gov

Case Information



Applicant: Winstead, P.C. represented by Tommy Mann and Laura Hoffmann

Property Owner: Carroll Family Investments, Ltd.

Sector Plan: Southeast

Council District: 2

Allowable Uses: All uses as itemized in attachment ii.

Development History: The subject site is currently unplatted and commonly known as Tract 5E of the Temple O Harris Survey, A-645.

Previous zoning cases in the general vicinity in the past five years include:

Case No.	Location	Request	Disposition
PD13-13	7108 S Cooper	PD for LI uses	Limited industrial uses

Transportation: The proposed development has two points of access. One point of access from South Cooper Street and one point from West Harris Road.

Thoroughfare	Existing	Proposed
S Cooper Street	115-foot, 6-lane divided major arterial	115-foot, 6-lane divided major arterial
W Harris Road	60 – 95-foot, 2-lane, rural road with auxiliary lanes	70 – 80-foot, 4-lane undivided, major collector

Traffic Impact: The proposed CC zoning will generate an increase of 2,489 vehicles per day, an increase of 160 vehicles in the AM Peak Hour and an increase of 205 vehicles in the PM Peak Hour. Improvements to handle the increased traffic to the adjacent street system will be reviewed with development.

Water & Sewer: Water is available from a 12-inch water line in South Cooper Street and a 12-inch water line in West Harris Road. Sanitary Sewer is available from an 8-inch sanitary sewer line in South Cooper Street.

Drainage: The site is located within the Rush Creek drainage basin. No portion of the site is located in a floodplain. No significant drainage impacts are expected to result from development of

Case Information



this site as long as the site complies with relevant city ordinances.

Fire: Fire Station Number 15, located at 906 Eden Road, provides protection to this site. The estimated fire response time is less than five minutes, which is in keeping with recommended standards.

School District: Mansfield Independent School District.

The proposed zoning request is located in the Mansfield Independent School District and has no impact on the schools serving this site.

Notices Sent:

Neighborhood
Associations:

- ACTION North
- Arlington Alliance for Responsible Government
- Arlington Chamber of Commerce
- East Arlington Review
- Fannin Farm HOA
- Fannin Farms West Assn, Inc.
- Far South Arlington Neighborhood Assn
- Forest Hills HOA
- Northern Arlington Ambience
- WeCan (West Citizen Action Network)
- Arlington ISD
- Kennedale ISD
- Mansfield ISD
- FW ISD
- HEB ISD

Property Owners: 8
Letters of Support: 0
Letter of Opposition: 0

Itemized Allowable Uses

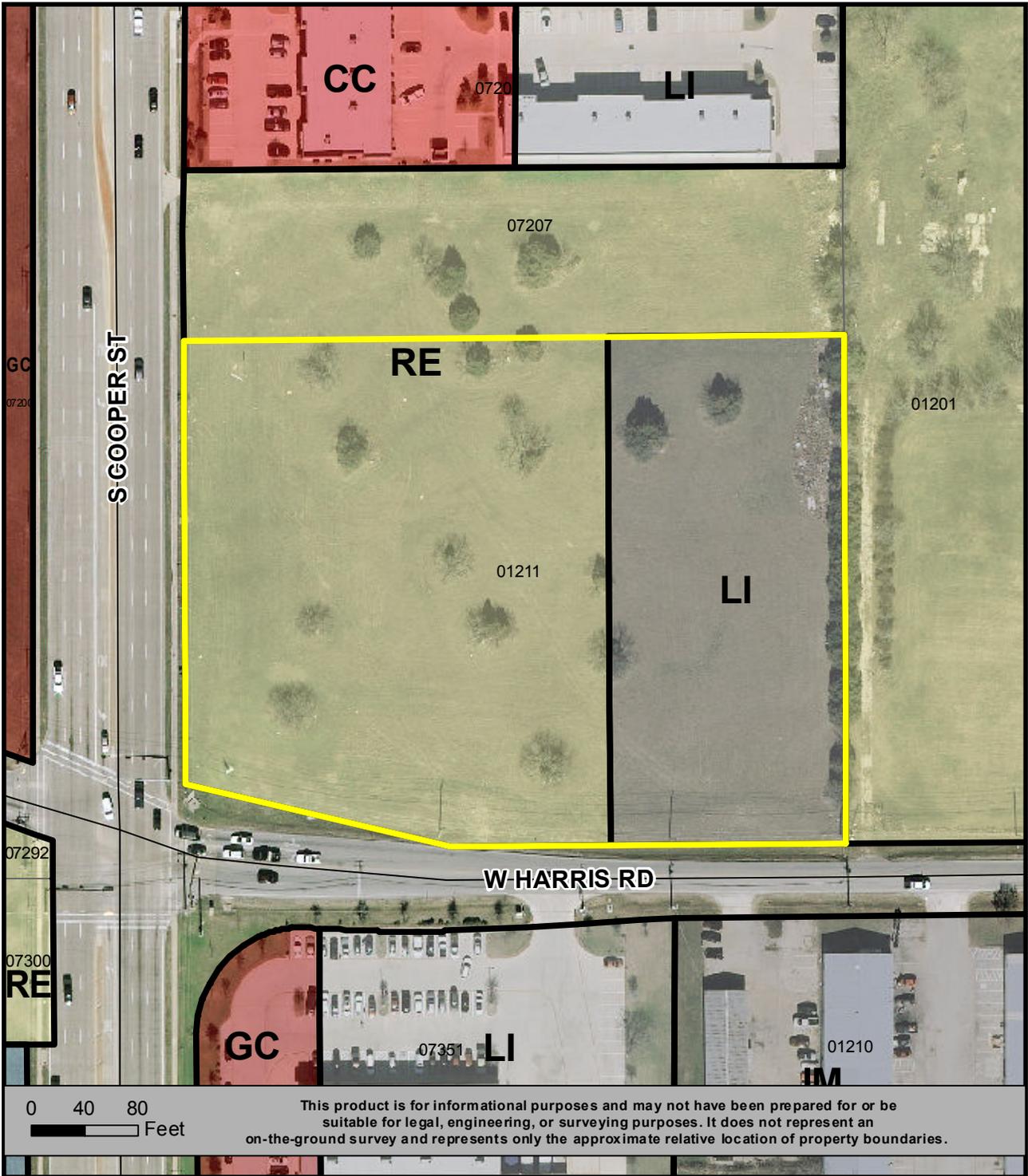


Allowable Uses: **COMMUNITY COMMERCIAL (CC)**

Permitted – Nursing home, Art gallery or museum, Government administration and civic buildings, Domestic violence shelter, Mortuary/crematory/funeral chapel, Philanthropic institution (other than listed), Religious assembly, Business school, Public or private school, University/college/seminary, Hospital, Medical or dental office or clinic, Cemetery, Community garden, Public park or playground, Crop production, Gasoline sales, Catering service, Restaurant, Restaurant/take-out and delivery only, Office/business or professional, Telemarketing call center, Day care center, Private club/lodge/fraternal, General personal services (other than listed), Massage therapy clinic, Recreation/ indoor (other than listed), Wedding chapel, Country club, Golf course, Major tourist attraction, General retail store (other than listed), Firearm sales, Pawn shop, Second-hand goods store, Swimming pool/spa and accessory sales and service, Medical or scientific research laboratory, Electric utility substation, Radio or TV station or studio, Utility lines, towers or metering station

Specific Use Permit (SUP) – Halfway House, Hospital/psychiatric, Hotel/limited service, Residence hotel, Bail bond service, Banquet hall, Billiard parlor, Bowling alley, Bingo hall, Gun range, Night club, Recreation general outdoor (other than listed), Marina, Specialty paraphernalia sales, Wrecker service, Gas well, Transit passenger terminal, Utility installation other than listed, Telecommunication Facilities Towers >75 ft., Stealth towers >100 ft., Self-storage facility

Conditions (C) – Kennel/commercial, Veterinary clinic, Motor vehicle rental, Financial services, Restaurant with drive-through, Sidewalk café, Hotel/full service, Skating rink, Teen club, Theatre indoor, Building and landscaping materials and lumber sales, Nursery/garden shop or plant sales, Food processing, Custom and craft work, Telecommunication Facilities Building-mounted antennae and towers, Telecommunication Facilities Towers ≤75 ft., Stealth towers ≤100 ft.



**LOCATION MAP
ZA15-4**

 **RE & LI to CC
2.325 ACRES**





ZA15-4

RE/LI to CC

North of West Harris Road and east of South Cooper Street



View of subject site. View east.



View of adjacent commercial use located south of the subject site.



View of adjacent property north of the subject site.



View of from the subject site looking west

Staff Report



Zoning Case ZA15-5 (Poly-Webb-NCLB)

Planning and Zoning Meeting Date: 9-16-15

Document Being Considered: Ordinance

RECOMMENDATION

Following the public hearing, consider Zoning Case ZA15-5.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

Request

The applicant requests to change the zoning on approximately 0.43 acres addressed at 6409 West Poly Webb Road, and generally located south of West Pleasant Ridge Road and east of West Poly Webb Road.

Current zoning: Residential Medium-Density 12 (RM-12)

Requested zoning: Office Commercial (OC)

The subject site is currently developed with a 4,000-square-foot structure that previously served as an institutional use. The change in zoning would improve the applicant's ability to market the property, allowing more uses that complement the existing building and the location along West Poly Webb Road, a major collector.

The applicant has submitted a site plan application for a daycare center in the existing building. A daycare center will be allowed by right in the proposed OC zoning district.

Adjacent Land Uses

The property to the north is zoned Community Commercial (CC) and is currently undeveloped. The properties to the south and west, across West Poly Webb Road are zoned Residential Medium-Density (RM-12). The property to the east is zoned Residential Single-Family (RS-7.2). All these properties are currently developed with a variety of residential products.

Sector Plan Conformity

The 2015 Comprehensive Plan contains goals for residential neighborhoods to have commercial development which provides convenient neighborhood services to those who live there. OC is a low intensity zoning that allows these types of neighborhood convenience uses without the potential for more intense future uses.

The proposed zoning change is consistent with the strategies and goals in the Comprehensive Plan.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:

- i. Case Information
- ii. Itemized Allowable Uses
- iii. Location Map
- iv. Photos

Under separate cover:

None

Available in the City Secretary's office:

None

CITY COUNCIL DATE

October 13, 2015

STAFF CONTACTS

Gincy Thoppil, AICP
Development Planning Manager
Community Development and Planning
817-459-6662
Gincy.Thoppil@arlingtontx.gov

Kevin Charles
Senior Planner
Community Development and Planning
817-459-6515
Kevin.Charles@arlingtontx.gov

Case Information



- Applicant:** Peyco Southwest represented by Jim Maibach
- Property Owner:** NCLB, Investors for Education, LLC.
- Sector Plan:** West
- Council District:** 4
- Allowable Uses:** All uses as itemized in attachment ii.
- Development History:** The subject site is currently platted, developed with a 4,000-square-foot structure and commonly known as D. Strickland Addition Lot 4.
- There have been no zoning cases in the general vicinity in the past five years.
- Transportation:** The proposed development has one point of access. This point of access is from west Poly Webb Road.
- | Thoroughfare | Existing | Proposed |
|---------------------|---|---|
| West Poly Webb Road | 70-foot, 4-lane divided major collector | 70-foot, 4-lane divided major collector |
- Traffic Impact:** Change in zoning will increase the average daily trips by 2, with an addition of 6 trips during the a.m. peak hour and 4 trips during p.m. peak hour. The additional trips will not significantly impact the adjacent roadway systems.
- Water & Sewer:** Water is available from a 12-inch line and sanitary sewer is available from a 10-inch line located in the West Poly Webb Road right-of-way.
- Drainage:** The site is located within the Village Creek drainage basin. No portion of the site is located in a floodplain. No significant drainage impacts are expected to result from development of this site as long as the site complies with relevant city ordinances.
- Fire:** Fire Station Number 7, located at 4000 Little Road, provides protection to this site. The estimated fire response time is less than five minutes, which is in keeping with recommended standards.

Case Information



School District: Arlington Independent School District.

The proposed zoning request is located in the Arlington Independent School District and has no impact on the schools serving this site.

Notices Sent:

Neighborhood
Associations:

ACTION North
Arlington Alliance for Responsible Government
East Arlington Review
Far South Arlington Neighborhood Assn
Forest Hills HOA
Northern Arlington Ambience
WeCan (West Citizen Action Network)
Arlington ISD
Overland Stage Neighborhood Assoc
Arlington Alliance for Responsible Government

Property Owners: 19
Letters of Support: 0
Letter of Opposition: 0

Itemized Allowable Uses

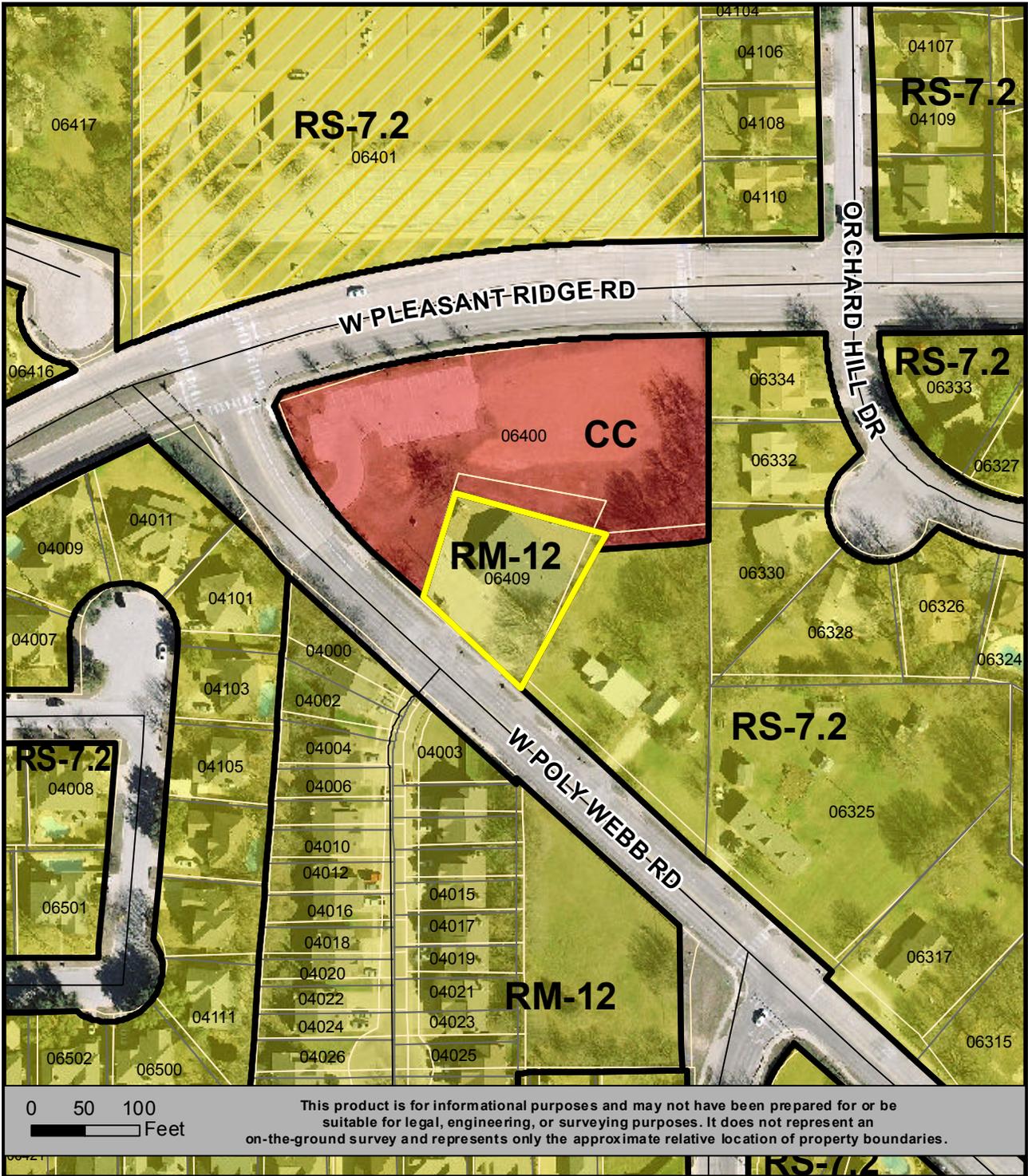


Allowable Uses: OFFICE COMMERCIAL "OC"

Permitted - Art gallery or museum, Domestic violence shelter, Business school, Public or private school, Government administration and civic buildings, Philanthropic institution (other than listed), Religious assembly, Medical or dental office or clinic, Community garden, Public park or playground Restaurant, Utility lines, towers or metering station, Telemarketing call center, Day care center, General personal services (other than listed), Massage therapy clinic, Private club / lodge / fraternal organization, Country club, Golf course, General retail store (other than listed), Medical or scientific research laboratory,

Specific Use Permit (SUP) – Gas well, University/college/seminary, Telecommunication Facilities, Cemetery, Bed and breakfast inn, Towers >75 ft., Stealth towers >100 ft.

Conditions (C) - Dwelling, live/work, Veterinary clinic, Financial services, Sidewalk café, Telecommunication Facilities, Hotel, full service, Office, business or professional, Marina, Building-mounted antennae and towers, Telecommunication Facilities Towers ≤75 ft., Stealth towers ≤100 ft.



LOCATION MAP ZA15-5

RM-12 to OC



ZA15-5
RM-12 to OC
North of West Harris Road and east of South Cooper Street



View of subject site. View east.



View of adjacent use located south of the subject site.



View of adjacent property north of the subject site.



View of from the subject site looking west

Staff Report



Zoning Case ZA15-6 (3rd and 4th Street Surplus Properties)

Planning and Zoning Meeting Date: 9-16-15

Document Being Considered: Ordinance

RECOMMENDATION

Following the public hearing, consider Zoning Case ZA15-6.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

Request

Upon direction from City Council, the City of Arlington is proposing to change the zoning on approximately 1.12 acres of land addressed at 110, 202, and 204 East Third Street; 201, 205, and 207 East Fourth Street; and 704 and 706 Glenn Crossett Court, generally located south of East Third Street and west of South Mesquite Street.

Current zoning: Residential Multi-Family – 22 (RMF-22) and Residential Medium-Density (RM-12)

Requested zoning: Residential Single-Family – 7.2 (RS-7.2)

Existing Site Conditions

The subject site consists of eight lots; all of which are currently vacant and owned by the City of Arlington since 2007. In the 1940s and 1950s, all of these lots were developed with single family homes. When these homes fell into disrepair, they were demolished by the City of Arlington in 2009.

The lot addressed at 203 E. Fourth Street is not a part of the subject site for this rezoning request. It is privately owned and has an existing single family house.

Previously, the lots were zoned Multi-Family (MF22) and Duplex (D); however, with the adoption of the Unified Development Code (UDC), these zoning districts were converted to RMF-22 (high density multi-family, with a maximum density of 22 units per acre) and RM-12 (medium density housing type, with a maximum density of 12 units per acre) zoning districts.

Not all of these lots conform to the minimum lot dimension requirements of the proposed Residential Single-Family (RS-7.2) zoning district and will need to be brought into conformance through rezoning or platting before any development is approved.

Adjacent Land Uses

The properties to the north, east, south and west are zoned a mix of Residential Multi-Family – 22 (RMF-22) and Residential Medium-Density (RM-12). The properties to the north are developed with multi-family developments, the properties to the east are developed with a single family residence or are currently vacant, the properties to the south are developed with single family residences and multi-family developments, and the properties to the west are developed with a single family residence and multi-family developments.

Sector Plan Conformity

The Downtown Master Plan (2004) places the subject site in the Housing District, which is intended to be a moderately dense residential area with housing opportunities for students, the elderly, and young people who to live in an urban setting.

The Comprehensive Plan (2015) indicates that single-family development would be suitable in the Downtown/University Neighborhood future development area where the subject site is located; however, this area is primarily identified as the most suitable location in the City for high intensity uses, including mixed-use and multi-family development. The Plan recommends that the highest intensity uses should be located within the boundaries of Cooper and Collins Streets, Division Street on the north, and the UTA boundary to the south. The subject site is just outside of this defined boundary for highest intensity uses.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:

- i. Case Information
- ii. Itemized Allowable Uses
- iii. Location Map
- iv. Photos

Under separate cover:

None

Available in the City Secretary's office:

None

CITY COUNCIL DATE

October 13, 2015

STAFF CONTACTS

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Case Information



Applicant: Roger Venables

Property Owner: City of Arlington

Sector Plan: Central

Council District: 5

Allowable Uses: **Permitted** - Dwelling, single-family detached on minimum 7,200 Square Feet, Non-Residential on minimum 15,000 square foot lots, Assisted living facility (≤ 6 residents), Community home for disabled persons, Foster family home, Foster group homes, Government administration and civic buildings, Religious assembly, Public or private school, Community garden, Public park or playground, Golf course, Utility lines, towers or metering station, garage (private), and accessory swimming pool (private).

Specific Use Permit (SUP) - Assisted living facility (≥ 7 residents), Philanthropic institution (other than listed), Bed and breakfast inn, Day care center, Country club, Marina, Airport or landing field, Gas well, Telecommunication Facilities Towers ≤ 75 ft., Stealth towers ≤ 100 ft., Telecommunication Facilities Towers > 75 ft., Stealth towers > 100 ft., Community center (private), and Secondary living unit.

Conditions (C) - Telecommunication Facilities Building-mounted antennae and towers, Accessory building, Alternative energy system, Carport, and Home-based business.

Development History: The subject site is platted.

No previous zoning cases have occurred in the general vicinity within the past five years.

Transportation: The proposed zoning case has three points of access from South Mesquite Street, East Third Street and Glenn Crossett Court.

Thoroughfare	Existing	Proposed
South Mesquite Street	60-foot, 3-lane one way Major Arterial	60-foot, 3-lane one way Major Arterial
East Third Street	50-foot, 2-lane undivided Local Street	50-foot, 2-lane undivided Local Street
Glenn Crossett Court	30-foot, 2-lane undivided Local Street	Not on Thoroughfare Development Plan

Case Information



Traffic Impact:	Change in zoning will decrease the average daily trips compared to the existing zoning classification. The reduced trips will benefit the adjacent roadway systems.
Water & Sewer:	Water is available in East Third Street & South Mesquite Street and sewer is available in Glenn Crossett Court and East Third Street.
Drainage:	The site is located in the Johnson Creek drainage basin. The site has no portion within the FEMA floodplain. No significant drainage impacts are expected to result from development of this site as long as all relevant city ordinances are complied with.
Fire:	Fire Station Number 1, located at 401 West Main Street, provides protection to this site. The estimated fire response time is less than five minutes, which is in keeping with recommended standards.
School District:	AISD Independent School District. The proposed zoning request is located in the Arlington Independent School District and has no impact on the schools serving this site.
Notices Sent:	
Neighborhood Associations:	ACTION North Arlington Alliance for Responsible Government East Arlington Review Far South Arlington Neighborhood Assn Northern Arlington Ambience WeCan (West Citizen Action Network) Arlington ISD Kennedale ISD Mansfield ISD FW ISD HEB ISD Heart of Arlington Neighborhood Assn Stratford Court HOA Town North Neighbors
Property Owners:	24
Letters of Support:	0
Letter of Opposition:	0

Itemized Allowable Uses

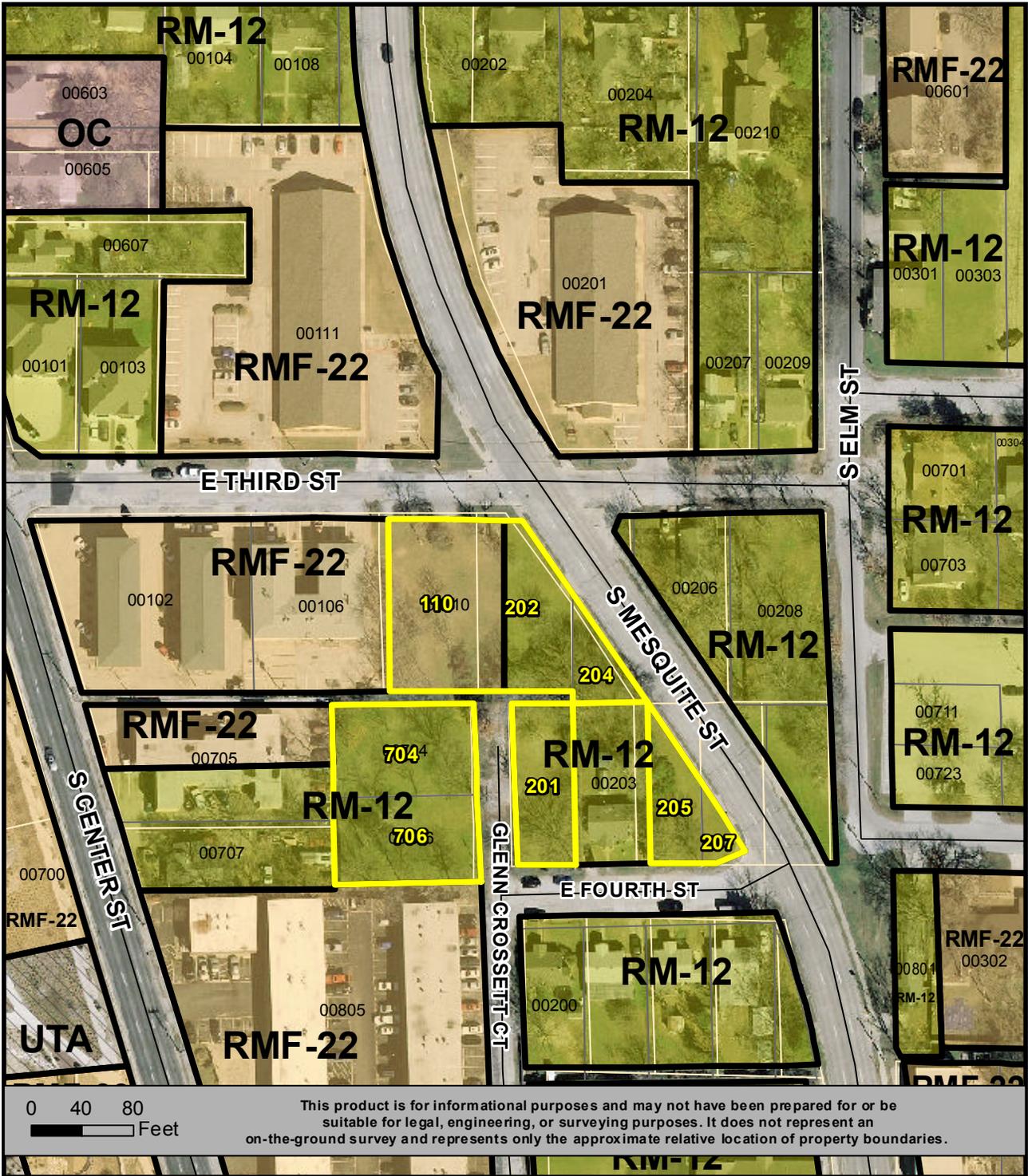


Allowable Uses: Residential Single-Family "RS-7.2"

Permitted - Dwelling, single-family detached on minimum 7,200 Square Feet, Non-Residential on minimum 15,000 square foot lots, Assisted living facility (≤ 6 residents), Community home for disabled persons, Foster family home, Foster group homes, Government administration and civic buildings, Religious assembly, Public or private school, Community garden, Public park or playground, Golf course, Utility lines, towers or metering station, garage (private), and accessory swimming pool (private).

Specific Use Permit (SUP) - Assisted living facility (≥ 7 residents), Philanthropic institution (other than listed), Bed and breakfast inn, Day care center, Country club, Marina, Airport or landing field, Gas well, Telecommunication Facilities Towers ≤ 75 ft., Stealth towers ≤ 100 ft., Telecommunication Facilities Towers > 75 ft., Stealth towers > 100 ft., Community center (private), and Secondary living unit.

Conditions (C) - Telecommunication Facilities Building-mounted antennae and towers, Accessory building, Alternative energy system, Carport, and Home-based business.



LOCATION MAP ZA15-6

RMF-22 and RM-12 to RS-7.2



ZA15-6
RMF-22 and RM-12 to RS-7.2
South of East Third Street and West of South Mesquite Street



View of adjacent property located east of the subject site



View of adjacent property located south of the subject site.



View of adjacent property located north of the subject site.



View of the subject site looking west

Staff Report



Development Plan DP14-2 (Arlington Commons, Phase 1A)	
Planning and Zoning Meeting Date: 9-16-15	Document Being Considered: Ordinance

RECOMMENDATION

Following the public hearing, consider Development Plan DP14-2.

PRIOR BOARD OR COUNCIL ACTION

On December 18, 2013, the Planning and Zoning Commission recommended approval of Zoning Case PD13-19 by a vote of 8-0-1.

On February 25, 2014, the City Council approved Zoning Case PD13-19 by a vote of 8-0-0.

ANALYSIS

Request

The applicant requests approval of a development plan for multi-family uses on approximately 5.56 acres addressed at 425 East Lamar Boulevard, and generally located north of East Lamar Boulevard and west of Van Buren Drive.

The subject site is only Phase 1A of the entire site (22.18 acres) that was rezoned to a Planned Development (PD) for multi-family uses, with a maximum density of 60 units per acre, in the Lamar Collins Mixed Use Overlay (LCMUO). The entire site was previously developed with three multi-family apartment complexes built in the 1970s: Huntington Chase Apartments, the Pointe of North Arlington Apartments, and Country Wood Apartments, which have all been recently demolished. The subject site has frontages on two streets: East Lamar Boulevard and Van Buren Drive.

Adjacent Land Uses

Both the Roquemore Elementary School and Parkway Central Park existing to the north of the subject property are zoned Residential Multi-family-22 (RMF-22). The property to the east is currently vacant and is part of the same PD as the subject site. The properties on the south side of Lamar Boulevard are developed with office buildings and are zoned LCMU Overlay – General Commercial (LCMUO-GC). The property to the west is the Rolling Hills Country Club and the Rolling Hills Drill site; both zoned Residential Single Family-7.2 (RS-7.2).

Development Plan

The applicant is proposing the development of the Arlington Commons Phase 1A which will be a multi-family development of a total of 353 units on the 5.56 acre site, resulting in 63 DUA. However, the total Arlington Commons will be developed with approximately 1,328 units in four phases; which will comply with the PD requirement of a total maximum density of 60 units per acre.

Phase 1A will be developed as a four-story, multi-family apartment building, wrapped around a multi-story parking garage. This is not a student housing project. The units in phase 1A will range in size from a 580-square-foot efficiency units, 777-square-foot one-bedroom units and 1,281-square-foot two-bedroom units. The structure will incorporate a leasing office of 1,589 square feet, a 869-square-foot club house for the residents, a 1,173-square-foot Fitness Center and a 2,100-square-foot lounge/conference area.

The building materials for the proposed development will consist primarily of a combination of architectural cementitious panels, stucco stone and stucco. Composite wood slats and wood columns and brackets are used as accent materials. The roof will be architecturally

finished with a combination of standing seam metal roofing material and composition shingles. The architecture resembles a modern residential complex with its use of materials and low-pitch roof.

The site will have two points of access. The primary access point is from Van Buren Drive and a secondary emergency access is shared from the Rolling Hills Country Club property to the west. The parking garage will be accessed from two points from the north of the site. Multiple pedestrian access points are incorporated on the East Lamar Boulevard frontage and the Van Buren Drive frontage. The unique 'wrap' style design allows for resident entry of units and has been incorporated into the unit design of 63 percent of the ground floor units resulting in either direct or indirect pedestrian access from the street. Most units have a private patio/balcony.

The main pedestrian entry point is designed with a corner architectural treatment at East Lamar Boulevard and Van Buren Drive that will enhance the high profile focal point of the project.

A unit comparison of the proposed Arlington Commons and other recent northern Arlington multi-family developments that are currently under construction is provided below.

Criteria	PROPOSED Arlington Commons Phase 1A	404 Border Lofts
Density (dwelling units per acre)	63 dua	47 dua
Number of Units	353 Units	135 Units
Efficiency	3	0
One-Bedroom Units	266	63
Two-Bedroom Units	87	72
Three-Bedroom Units	0	0
Four-Bedroom Units	0	0
Average Unit Size	879 SF	818 SF
Parking	574	215
Parking Garage	4-level (482 spaces)	8 Garages (private)
Surface Parking		
Onsite:	33	89 on-site (77 carports)
Offsite:	37	0
On-street parking:	22	33
Maximum Building Height	4 stories	3 to 4 stories

Landscaping

Along the East Lamar frontage, the applicant is proposing a series of courtyards totaling 9,100 square feet, in which the units have direct access, as well as a leasing plaza courtyard and a south plaza courtyard of approximately 2,600 square feet. The applicant proposes to provide a varied width landscape setback on East Lamar Boulevard, which will contain a four-foot green space with 34 four-inch caliper, 10-foot tall trees to meet the street tree requirement. In addition, the streetscape also includes 31 ornamental trees and a five-foot to seven-foot wide sidewalk. Also, along the south side of the building, there will be a large quantity of shrubbery to accentuate the building perimeter. On the east side of the property on the Van Buren Drive, a four-foot green space with a 11 four-inch caliper, 10-foot tall trees to meet the street tree requirement, 13 ornamental trees and a five-foot to seven-foot wide sidewalk, in addition to accentuate the building perimeter.

The applicant also proposes two internal courtyard areas: one of which is designed to have a swimming pool court theme and the other area is designed as a more passive courtyard area. The courtyard areas will have a combination of shade trees and ornamental trees, in addition to a substantial amount of shrubs.

The proposed Development Plan reflects deviations administratively approved through the Alternative Equivalent Compliance (AEC) process, which is allowed per the previously approved Zoning Case PD13-19:

UDC Requirements	Proposed	Applicant's justification
<p>Perimeter Streetscape A minimum 10-foot wide sidewalk shall be constructed in the streetscape.</p>	<p>5-foot wide sidewalks on East Lamar Boulevard and Van Buren Drive</p>	<p>The proposed master plan indicates a 10-ft wide trail in the median (Lamar Common Park). Additionally, the applicant is proposing on-street parallel parking spaces on East Lamar Boulevard, creating a buffer from the vehicular traffic.</p>
<p>Dwelling Unit Size (Min.) Efficiency 600 sf 1 bedroom 800 SF 2 bedroom 950 sf</p>	<p>Efficiency 580 sf 1 bedroom 770 sf 2 bedroom 1,281 sf</p>	<p>There is a significant demand for smaller one-bedroom units and larger two-bedroom units.</p>
<p>Off-premise Parking Required to be located on the same lot as the principal use.</p>	<p>37 spaces are proposed on the adjacent lot, just north of a common drive located on the subject site.</p>	<p>Per the proposed master plan, the adjacent lot to the north is Phase 1B of this development and those parking spaces are located within 600 feet from the entrance to the building.</p>
<p>Building Length 180 feet maximum</p>	<p>840 feet</p>	<p>There are a couple of courtyards with direct access to the building along the 840-foot façade; and hence meets the desired intent of the standard.</p>
<p>Building Design All ground-floor units with frontage along the primary street shall have an entrance that faces the street.</p>	<p>63% of ground-floor units with frontage along the primary street comply with the requirement.</p>	<p>The developer wants to provide choices to the residents, because not all residents prefer a unit facing the street, for safety reasons.</p>
<p>Building Materials Cementitious fiberboard may only be used on multi-family structures that are three stories or less in height.</p>	<p>Cementitious fiberboard is proposed in the proposed four-storied structure.</p>	<p>The amount of cementitious fiberboard siding material is 5-10 percent of the materials proposed.</p>

Additionally, the following deviation is requested as part of the Development Plan:

1. A six-to-eight feet tall screening fence is required along the western property line (adjacent to residential zoning) to be built with one of the following materials:
 - a) 100 percent masonry (brick, stone, architecturally finished reinforced concrete), or any sustainable material with more than a 30-year life expectancy; or
 - b) Composite fencing or vinyl fencing in a natural tone flat color such as rust or tan; or
 - c) Double-sided wood stockade fence with metal posts, metal brackets, and metal caps.

The applicant is not proposing a fence along the western property line. On the west side of the Rolling Hills Country Club driveway (which is also being used as this development's secondary emergency access point) there is an existing gas well site, which has an existing six-foot tall masonry fence. The gas well company is required

to install additional landscaping outside of that wall, as per their recently approved Specific Use Permit. Starting from the corner of that wall at the north, a new wrought iron fence, approximately 260 feet in length, is proposed wrapping Phase 1A at the northwest corner. It will include an emergency gate with knock box across the golf course drive.

A 10-foot landscape buffer is also required along the western property line, with one three-inch caliper tree for each 450 square feet of buffer area. The applicant is proposing a 20-foot landscape buffer that will include 11 street trees of at least four inches in caliper as well as 14 ornamental trees and various shrubs, ornamental grasses and a five-foot wide sidewalk along the western boundary.

Traffic Impact

Currently, the portion of Lamar Boulevard in front of the development is a four-lane, divided roadway. The City's Thoroughfare Development Plan (TDP) shows this road section to become a six-lane, divided major arterial. The applicant is also requesting an amendment to the TDP to reduce the future six-lane, divided major arterial to a three-lane, divided roadway with one westbound lane and two eastbound lanes. The existing outside westbound lane would be converted to on-street parallel parking.

The project would include the following modifications to the existing roadway system to compensate for the loss in traffic capacity:

- For the intersection of Lamar Boulevard at Lincoln Drive:
 - Convert the existing westbound shared through/right turn lane to a right turn only lane.
 - Add protective/permissive left turn phasing for the northbound and southbound approaches.
- For the intersection of Lamar Boulevard at Garfield Street:
 - Signalize the intersection. Eastbound and westbound left turns must have protective-only phasing for pedestrian considerations.
 - Stripe the minor northbound and southbound approaches with one right turn lane and one shared left/through lane. With an existing roadway width on the northbound approach of approximately 36 feet, this can be accomplished without pavement widening.
- For the intersection of Lamar Boulevard at Van Buren Drive:
 - Signalize the intersection. Provide protective-only left turn phasing for the eastbound left turn lane, based on pedestrian considerations.
 - Extend the existing eastbound left turn lane so that it provides 250 feet of storage length.
 - Provide an overhead variable lane use sign on the signal mast arm to allow double left turns and a single through lane on the eastbound approach during the PM peak hour, but provide two through lanes and a single left turn lane at all other times. This alternative was developed to save space in the median for the linear park while also preserving capacity for left-turning apartment residents after single left turn lane options showed excessive queuing during the PM peak hour.
 - Prohibit on-street parking in the westbound right turn lane for 100 feet prior to the intersection to provide space for a short dedicated right turn lane.
 - Stripe the minor southbound approach so that there is a single shared lane for southbound left and right turns. Stripe the northbound direction with two lanes to receive double left turns during the PM peak hour. Because the southbound approach is about 40 feet wide, this can be accomplished without pavement widening. One of the northbound lanes can be dropped either as a

left turn only lane or a right turn only lane at the apartment driveway intersection to facilitate a transition back to a two-lane cross section in front of the school to the north.

- For the intersection of Lamar Boulevard at Ryan Plaza Drive:
 - Stripe the Ryan Plaza Drive approach so that there is a left turn lane and a shared left and right turn lane. This necessitates that the on-street parking on Lamar Boulevard end just east of this intersection so that it can receive the double left turns exiting the intersection to the west
- For the corridor of Lamar Boulevard:
 - Coordinate all signals and optimize all timings in the study network along Lamar Boulevard.
 - Reset the speed limit for the westbound direction of Lamar Boulevard only to 30 mph. It is assumed that the reduction to one through lane and the on-street parking will calm traffic.

Staff has not reviewed the above proposed mitigation measures at this time. The applicant's traffic study analyzed the existing and proposed traffic adjacent to the proposed development along East Lamar Boulevard between Cooper Street and Lincoln Drive. The scope of the study focused on two scenarios: (i) the future 2024 background traffic conditions (including anticipated traffic from the two I-30/Collins projects) without the additional traffic from the proposed project (but includes traffic from the recently demolished multi-family apartments), and (ii) the future 2024 background traffic conditions including the additional traffic from the proposed project as well as the effects of the proposed roadway modifications.

Below is a comparison table, only showing the intersections that show an inadequate level of service (LOS). LOS of an intersection is a measure of capacity and operating conditions and is directly related to vehicle delay time. LOS "A", "B", or "C" is considered to be adequate. A LOS of "D", "E", or "F" is considered inadequate and proposed solutions to the transportation issues should be provided.

Arlington Commons Traffic Conditions

Intersection	2024 LOS (Delay in sec/veh)			
	AM Peak Hour		PM Peak Hour	
	Background	Background + Project	Background	Background + Project
Lamar Boulevard at Van Buren Drive	A (3.5)	<u>D (35.6)</u>	A (1.8)	C (24.4)
Lamar Boulevard at Lincoln Drive	B (17.2)	C (25.6)	C (23.1)	<u>D (42.1)</u>
Center Street at Ryan Plaza Drive	<u>D (45.7)</u>	C (28.8)	<u>D (48.2)</u>	C (29.0)
Center Street at IH-30 WB Frontage Road/Ryan Plaza Drive	B (16.7)	B (19.0)	C (25.9)	<u>D (38.7)</u>

Staff Considerations

At this time, staff has not reviewed the applicant’s proposed roadway solutions stated above. Additionally, the analysis shows that there are three intersections with an inadequate level of service “D”, even with the proposed roadway solutions.

Comprehensive Plan Conformity

Land use goals for this area are defined as “Regional Activity Center.” These areas provide the opportunity to create special places that include residential, retail, offices, and entertainment. These areas are typically considerably larger and more diverse in land uses than other land use classifications. Development opportunities specific to the LCMUO should include mixed use developments, higher density residential developments, restaurants and shopping, hotels, skating and other sports facilities, and sports-related medical and training facilities. Per the Hike and Bike System Master Plan (2011), there are no planned bicycle facilities at this site.

The proposed Development Plan for multi-family is consistent with strategies and goals in the Comprehensive Plan.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:

- i. Case Information
- ii. Location Map
- iii. Photos
- iv. Development Plan (51 pages)
- v. AISD Letter

Under separate cover:

None

Available in the City Secretary’s office:

None

CITY COUNCIL DATE

October 13, 2015

STAFF CONTACTS

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Community Development and Planning
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Case Information



Applicant: The Nehemiah Company represented by Howard Porteus.

Property Owner: Arlington Commons Lands, LLC. Represented by Howard Porteus.

Sector Plan: North

Council District: 1

Development History: The subject site is currently platted as Tract AR, Block 5 of the Parkway Central Addition; Tract D, Block 5A of the Parkway Central Addition; Tract A, Block 6 of the Parkway Central Addition; and Tract B, Block 6 of the Parkway Central Addition.

Previous zoning cases in the general vicinity in the past five years include:

Case No.	Location	Request	Disposition
PD13-19	On site	Planned Development for multi-family at 60 dwelling units per acre.	Approved

Transportation: The site will have two point of vehicular access from East Lamar Boulevard and Van Buren Drive.

Thoroughfare	Existing	Proposed
East Lamar Boulevard	120-foot, 4-lane divided major arterial	120-foot, 6-lane divided major arterial * Subject to change with the TDP amendment
Van Buren Drive	60-foot, 2-lane undivided minor collector	60-foot, 2-lane undivided minor collector

Traffic Impact: Currently, the portion of Lamar Boulevard in front of the development is a four-lane, divided roadway. The City’s Thoroughfare Development Plan (TDP) shows this road section to become a six-lane, divided major arterial. The applicant is also requesting an amendment to the TDP to reduce the future six-lane, divided major arterial to a three-lane, divided roadway with one westbound lane and two eastbound lanes. The existing outside westbound lane would be converted to on-street parallel parking.

Case Information



Water & Sewer: Water and sewer services are available to the subject site. At such time as the development plan is submitted, staff will determine adequacy of these systems.

Drainage: The site is located in the Trinity River drainage basin. The site has no portion within the FEMA floodplain. No significant drainage impacts are expected to result from development of this site as long as all relevant city ordinances are complied with.

Fire: Fire Station Number 8, located at 2020 Madison Drive, provides protection to this site. The estimated fire response time is less than five minutes, which is in keeping with the recommended standards.

School District: The proposed zoning request is located in the Arlington Independent School District (AISD).

Notices Sent:

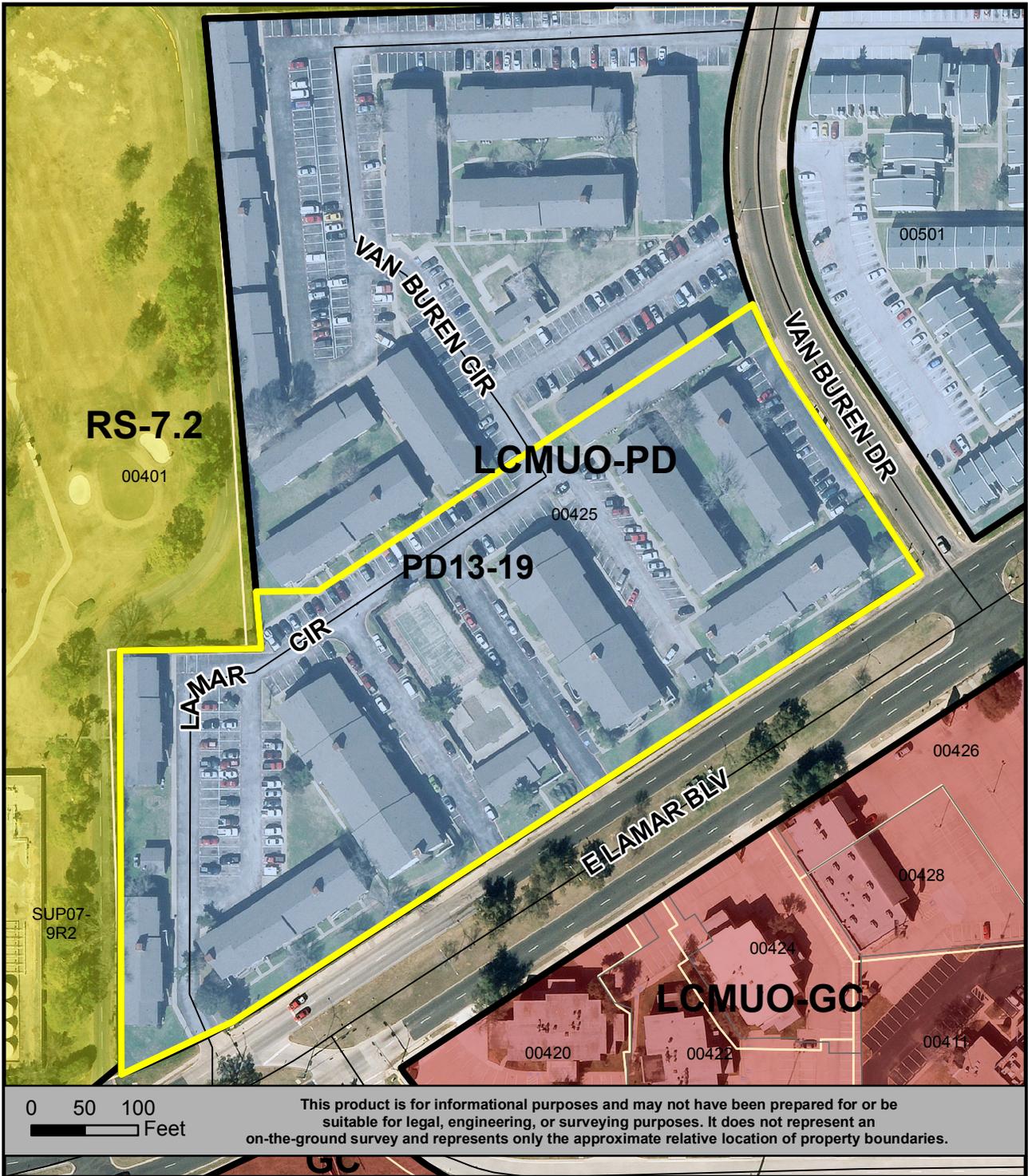
Neighborhood Associations:

- ACTION North
- Arlington Alliance for Responsible Government
- Arlington Chamber of Commerce
- Arlington Independent School District
- Double Y Wooded Estate Addition
- East Arlington Review
- Far South Arlington Neighborhood Association
- Forest Hills Home Owner Association
- Friends of Parkway Central Park
- Friends of Parkway Central Park
- Northern Arlington Ambience
- Parkway Central Home Owner Association
- Riverbend Neighborhood
- West Citizen Action Network (WeCan)

Property Owners: 8

Letters of Support: 0

Letter of Opposition: 0



LOCATION MAP
DP14-2

 **DEVELOPMENT PLAN for MULTI FAMILY USES**
5.564 ACRES





DP14-2

North of East Lamar Boulevard and west of Van Buren Drive.



View from W. Lamar Boulevard. View south.



View of from Van Buren Road. View east.



View of the subject site. View west.



View from W. Lamar Boulevard. View north.



ARLINGTON COMMONS



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ARLINGTON COMMONS



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ARLINGTON COMMONS
ARLINGTON, TX

THE NEHEMIAH COMPANY

COLORED ELEVATION
ALONG LAMAR

06.17.2015	2013007	ka
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ARLINGTON COMMONS PHASE 1A CASE NUMBER: DP14-2



02



ARLINGTON COMMONS
ARLINGTON, TX

THE NEHEMIAH COMPANY

SCHEMATIC ELEVATION
ALONG LAMAR

06.17.2015	2013007	ka
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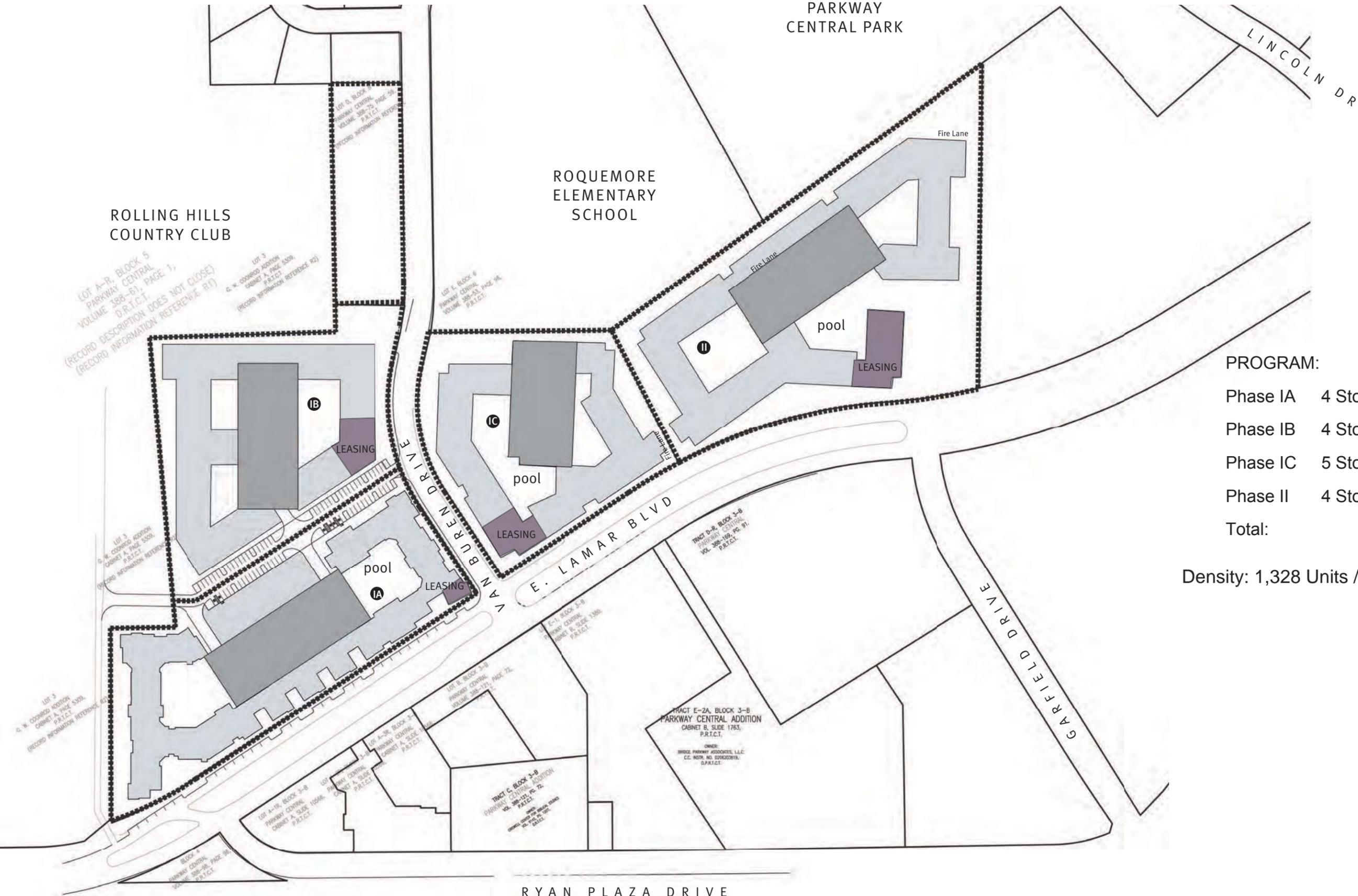


ARLINGTON COMMONS
ARLINGTON, TX

THE NEHEMIAH COMPANY

SCHEMATIC ELEVATION
ALONG LAMAR

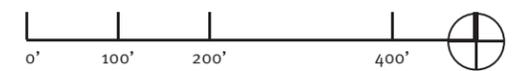
06.17.2015	2013007	ka
<small>Copyright © JHP 2014 Not for Regulatory Approval, Permit or Construction: Carl Malcolm Registered Architect of State of Texas, Registration No. 23379</small>		



PROGRAM:

Phase IA	4 Story	353 Units	5.56 Acres
Phase IB	4 Story	300 Units	4.88 Acres
Phase IC	5 Story	300 Units	4.20 Acres
Phase II	4 Story	375 Units	7.54 Acres
Total:		1,328 Units	22.18 Acres

Density: 1,328 Units / 22.18 AC = 59.87 Units/Acre



ARLINGTON COMMONS
ARLINGTON, TX

THE NEHEMIAH COMPANY

Site Plan
Scale 1" = 200' - 0"

09.19.2014	2013007	KA
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ARLINGTON COMMONS PHASE 1A CASE NUMBER: DP14-2

GENERAL NOTES

- The bearings and coordinates shown hereon are based on the Texas Coordinate System (NAD 83), North Central Zone (4202). Combined Scale Factor = 0.999880014
- The subject property shown hereon appears to be located in Zone X, (areas determined to be outside the 0.2% annual chance floodplain) as indicated on the Flood Insurance Rate Map published by the Federal Emergency Management Agency of the Homeland Security Administration, Map No. 48439C0240K, Map Revised: September 25, 2009, for Tarrant County, Texas and incorporated areas. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. This flood statement shall not create liability on the part of the surveyor.
- Selling a portion of this addition by metes and bounds description without a replat being approved by the City of Arlington is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits.
- The City of Arlington reserves the right to require minimum finish floor elevations on any lot contained within this addition. The minimum finish floor elevations shown are based on the most current information available at the time the plat is filed and may be subject to change. Additional lots, other than those shown, may also be subject to minimum finish floor criteria.
- This property may be subject to charges related to impact fees, and the applicant should contact the City regarding any applicable fees due.
- Visibility Triangles shall be provided at all public or private street intersections in accordance with current city ordinance, and all landscaping shall comply with the Visibility Triangle Ordinance.
- This plat does not alter or remove deed restrictions or covenants, if any, on this property.



VICINITY MAP
(NOT TO SCALE)

* LEGEND *

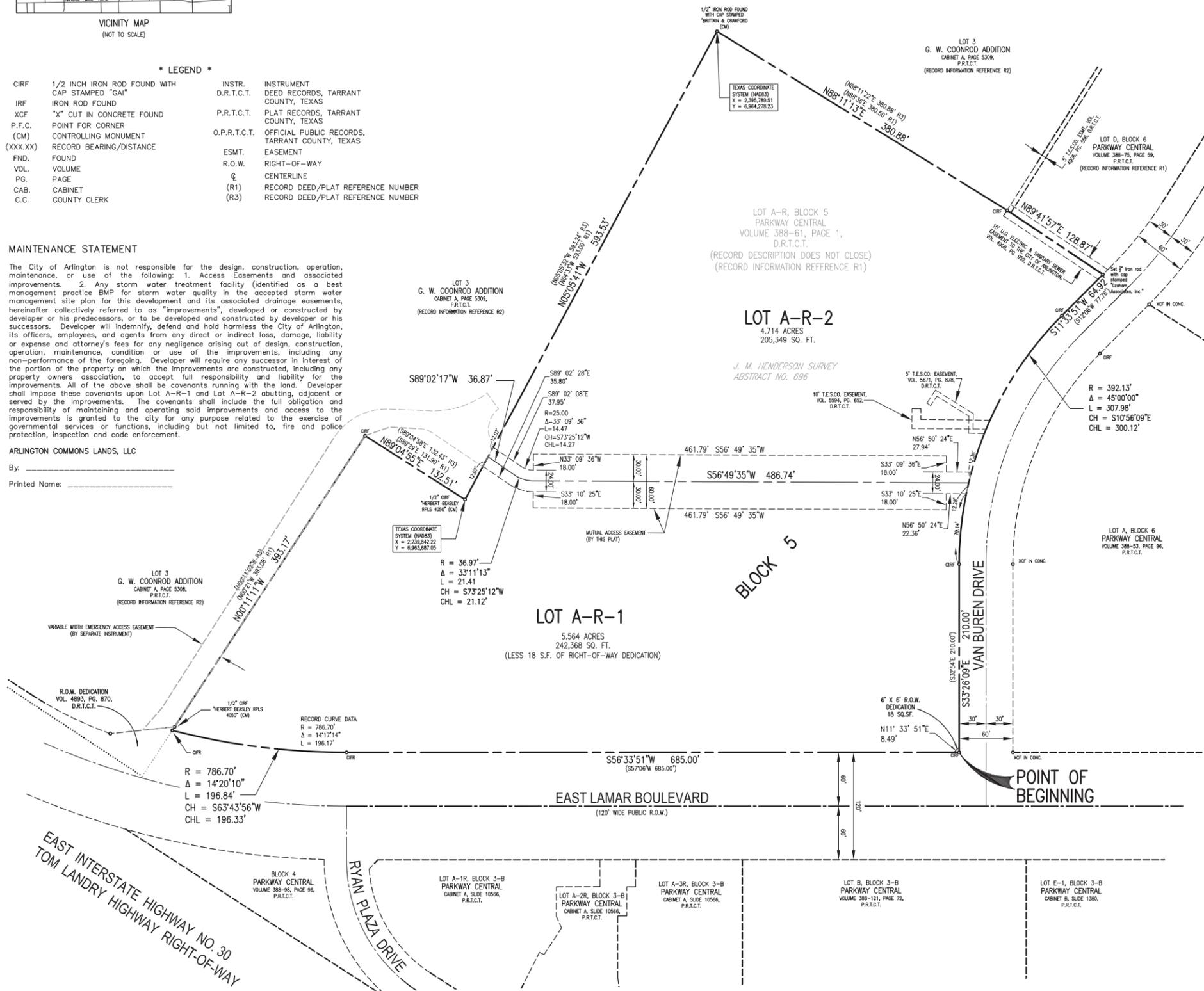
CIRF	1/2 INCH IRON ROD FOUND WITH CAP STAMPED "GAI"	INSTR.	INSTRUMENT DEED RECORDS, TARRANT COUNTY, TEXAS
IRF	IRON ROD FOUND	D.R.T.C.T.	DEED RECORDS, TARRANT COUNTY, TEXAS
XCF	"X" CUT IN CONCRETE FOUND	P.R.T.C.T.	PLAT RECORDS, TARRANT COUNTY, TEXAS
P.F.C.	POINT FOR CORNER	O.P.R.T.C.T.	OFFICIAL PUBLIC RECORDS, TARRANT COUNTY, TEXAS
(CM)	CONTROLLING MONUMENT	ESMT.	EASEMENT
(XXX.XX)	RECORD BEARING/DISTANCE	R.O.W.	RIGHT-OF-WAY
FND.	FOUND	Ⓢ	CENTERLINE
VOL.	VOLUME	(R1)	RECORD DEED/PLAT REFERENCE NUMBER
PG.	PAGE	(R3)	RECORD DEED/PLAT REFERENCE NUMBER
CAB.	CABINET		
C.C.	COUNTY CLERK		

MAINTENANCE STATEMENT

The City of Arlington is not responsible for the design, construction, operation, maintenance, or use of the following: 1. Access Easements and associated improvements. 2. Any storm water treatment facility (identified as a best management practice BMP for storm water quality in the accepted storm water management site plan for this development and its associated drainage easements, hereinafter collectively referred to as "improvements", developed or constructed by developer or his predecessors, or to be developed and constructed by developer or his successors. Developer will indemnify, defend and hold harmless the City of Arlington, its officers, employees, and agents from any direct or indirect loss, damage, liability or expense and attorney's fees for any negligence arising out of design, construction, operation, maintenance, condition or use of the improvements, including any non-performance of the foregoing. Developer will require any successor in interest of the portion of the property on which the improvements are constructed, including any property owners association, to accept full responsibility and liability for the improvements. All of the above shall be covenants running with the land. Developer shall impose these covenants upon Lot A-R-1 and Lot A-R-2 abutting, adjacent or served by the improvements. The covenants shall include the full obligation and responsibility of maintaining and operating said improvements and access to the improvements is granted to the city for any purpose related to the exercise of governmental services or functions, including but not limited to, fire and police protection, inspection and code enforcement.

ARLINGTON COMMONS LANDS, LLC

By: _____
Printed Name: _____



OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, ARLINGTON COMMONS LANDS, LLC, is the sole owner of a 10.278 acre tract of land situated in the J. M. Henderson Survey, Abstract No. 696 and being all of Lot A-R, Block 5 of Parkway Central, an addition to the City of Arlington, according to plat filed for record in Volume 388-61, Page 1, Plat Records, Tarrant County, Texas (PRTCT), and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found with a cap stamped "GAI" for the southeast corner of said Lot A-R, Block 5, the intersection of the northwesterly right-of-way line of East Lamar Boulevard (a 120 feet public right-of-way), and the southwesterly right-of-way line of Van Buren Drive (a 60 feet wide public right-of-way);

THENCE S56°33'51"W with said northwesterly right-of-way line of East Lamar Boulevard and the southeasterly line of said Lot A-R, Block 5, a distance of 685.00 feet to 1/2 inch iron rod found for the beginning of a tangent curve to the right having a radius of 786.70 feet, a central angle of 14 degrees 20 minutes 10 seconds, a chord bearing of South 63 degrees 43 minutes 56 seconds West and a chord length of 196.33 feet;

THENCE along said right-of-way line and along said tangent curve to the right an arc distance of 196.84 feet to a 1/2 inch iron rod found for corner;

THENCE N00°11'11"W, leaving the right-of-way line of East Lamar Boulevard, following with the northwest line of Lot A-R and the southeast line of Lot 3, G. W. Coonrod Addition, as recorded in Cabinet A, Page 5308, Plat Records, Tarrant County, Texas, a distance of 393.17 feet to a 1/2 inch iron rod found for corner;

THENCE N89°04'55"E, continuing along the northeast line of Lot A-R and the southeast line of said Lot 3, a distance of 132.51 feet to a 1/2 inch iron rod found for corner;

THENCE N05°05'41"W, continuing along the northwest line of Lot A-R and the southeast line of Lot 3, a distance of 593.53 feet to a 1/2 inch iron rod found for corner;

THENCE N88°11'13"E, with the northwest line of Lot A-R and the southwest line of Lot 3, a distance of 380.88 feet to a 1/2 inch iron rod found for the southeast corner of Lot 3 and the southwest corner of Lot D, Block 6 of Parkway Central, an addition to the City of Arlington, Tarrant County, Texas as recorded in Volume 388-75, Page 59 (PRTCT);

THENCE N89°41'57"E, departing the west line of said Lot D and the east line of said Lot 3, a distance of 128.87 feet for a set 1/2 inch iron rod with cap stamped "Graham Associates, Inc." in the westerly right-of-way line of Van Buren Drive, being in the east line of said Lot D.

THENCE S11°33'51"W, with the westerly line of Van Buren Drive right-of-way and the easterly line of Lot A-R, a distance of 64.92 feet to a 1/2 inch iron rod found for the beginning of a tangent curve to the left having a radius of 392.13 feet, a central angle of 45 degrees 00 minutes 00 seconds, a chord bearing of South 10 degrees 56 minutes 09 seconds East and a chord length 300.12 feet;

THENCE along said curve to the left for an arc distance of 307.98 feet to a 1/2 inch iron rod found for a corner;

THENCE S33°26'09"E, continuing with the southwesterly Van Buren Drive right-of-way line of and the northeasterly line of Lot A-R a distance of 210.00 feet to the POINT OF BEGINNING and containing 447,717 square feet or 10.278 acres of land, more or less.

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, ARLINGTON COMMONS LANDS, LLC by and through the undersigned, its duly authorized agent does hereby adopt this plat designating the hereinabove described real property as LOT A-R-1 and LOT A-R-2, BLOCK 5, PARKWAY CENTRAL, an addition to the City of Arlington, Tarrant County, Texas. This plat does not alter or remove existing deed, restrictions, or covenants, if any, on this property. Pursuant to Section 12.002 of the Texas Property Code, as amended, I have obtained original tax certificates from each taxing unit with jurisdiction over each parcel of real property in said subdivision indicating that no delinquent ad valorem taxes are owed on the real property which is the subject of the plat or replat I have submitted to the City of Arlington, Tarrant County, Texas for filing and recording with the Tarrant County Clerk's Office.

Pursuant to Section 12.002 of the Texas Property Code, as amended, I have obtained original tax certificates from each taxing unit with jurisdiction over each parcel of real property in said subdivision indicating that no delinquent ad valorem taxes are owed on the real property which is the subject of the plat or replat I have submitted to the City of Arlington, Tarrant County, Texas for filing and recording with the Tarrant County Clerk's office.

ARLINGTON COMMONS LANDS, LLC

By: _____
Printed Name: _____

STATE OF _____ §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me to that he/she executed the same for the purpose and consideration therein expressed and in the capacity therein stated, and as the act and deed therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2015.

Notary Public, State of _____
My commission expires: _____

SURVEYOR'S CERTIFICATE

This is to certify that I, Michael L. Peterson, a Registered Professional Land Surveyor in the State of Texas, having plotted the above subdivision from an actual survey on the ground; and that all lot corners, angle points and points of curvature have been properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

Michael L. Peterson
Registered Professional Land Surveyor
Texas Registration No. 5999

Replat
PARKWAY CENTRAL
LOT A-R-1 & LOT A-R-2
BLOCK 5

BEING A REVISION OF A PORTION OF LOT A-R, BLOCK 5, PARKWAY CENTRAL, AN ADDITION TO THE CITY OF ARLINGTON, TARRANT COUNTY, TEXAS, ACCORDING TO THE PLAT FILED FOR RECORD IN VOLUME 388-61, PAGE 1, PLAT RECORDS, TARRANT COUNTY, TEXAS,

2 LOTS - 10.278 ACRES
J. M. HENDERSON SURVEY, ABSTRACT NO. 696,
CITY OF ARLINGTON, TARRANT COUNTY, TEXAS.

OWNER:
ARLINGTON COMMONS LANDS, LLC
835 EAST LAMAR BLVD.
SUITE 175
ARLINGTON, TEXAS 76011-3504
PHONE NO. (972) 757-7586
EMAIL hporteus@thenehemiacompany.com



Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
800 SIX FLAGS DRIVE, SUITE 500
ARLINGTON, TEXAS 76011-8171 (409) 463-8535
TSP# FIRM: F-1191/TBPLS FIRM: 101538-00

REPLAT APPROVAL BLOCK

Approved by the City of Arlington Planning and Zoning Commission on:

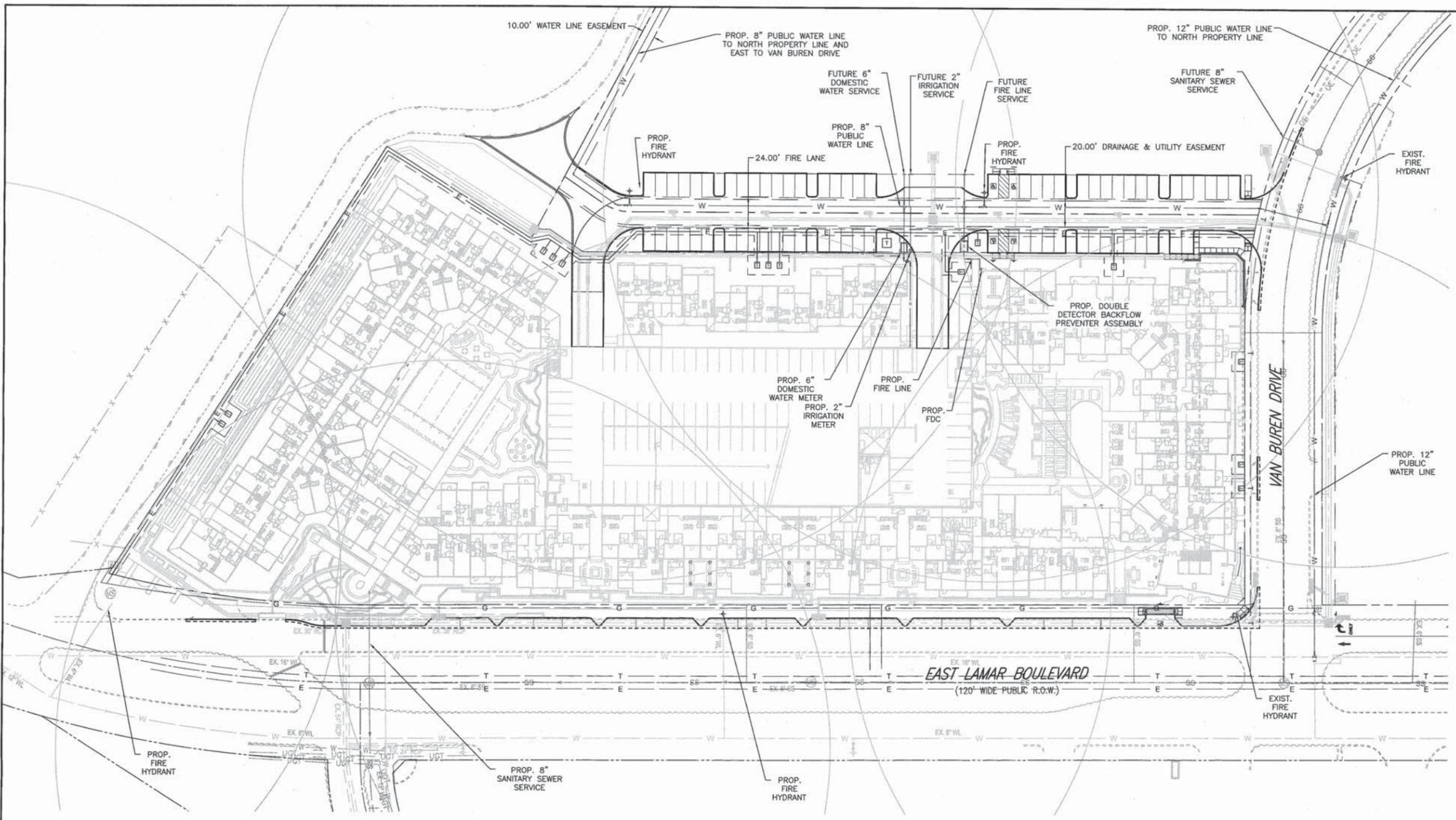
(Date) _____

Chairman - Planning and Zoning Commission

Secretary - Planning and Zoning Commission

PLAT FILED FOR RECORD IN INSTRUMENT NO. _____, DATE: _____

PLotted BY: DAVID LITTLE
PLotted ON: 8/22/2015 1:58 PM
FILE NAME: J:\ARLINGTON\THE POINTE_FORT_WORTH\CAD\SHEETS\PLAT-DWG
SHEET SIZE: 30x24 1" = 1"



JHP

JHP Architecture / Urban Design
 8340 Meadow Road Suite 150
 Dallas, Texas 75231
 Telephone: 214-963-5687
 Fax: 214-963-9963

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 (972) 757-7586
 HPORTEUS@THEHEMIAHCOMPANY.COM

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 HPORTEUS@THEHEMIAHCOMPANY.COM

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Arlington Commons
 Arlington, TX

PLOTTED On: 8/18/2015 3:17 PM
 FILE NAME: Z:\ARLINGTON\THE NEHEMIAH\DEVELOPMENT PLANS\UTILITY LAYOUT EXHIBIT.DWG

CAUTION:
 EXISTING UTILITIES AND UNDERGROUND FACILITIES OF THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION AND AS-BUILT PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION.



Graham Associates, Inc.
 CONSULTING ENGINEERS & PLANNERS
 100 SIX FLAGS DRIVE, SUITE 500
 ARLINGTON, TEXAS 76011 (817) 640-8535
 TBPE FIRM F-11917PLS FIRM 101538-00

Project Number:	2013007
Drawn By:	
Issue For Bid/Permit Set:	01.26.2015
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Revision	Date
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UTILITY LAYOUT EXHIBIT

C2.01

JHP

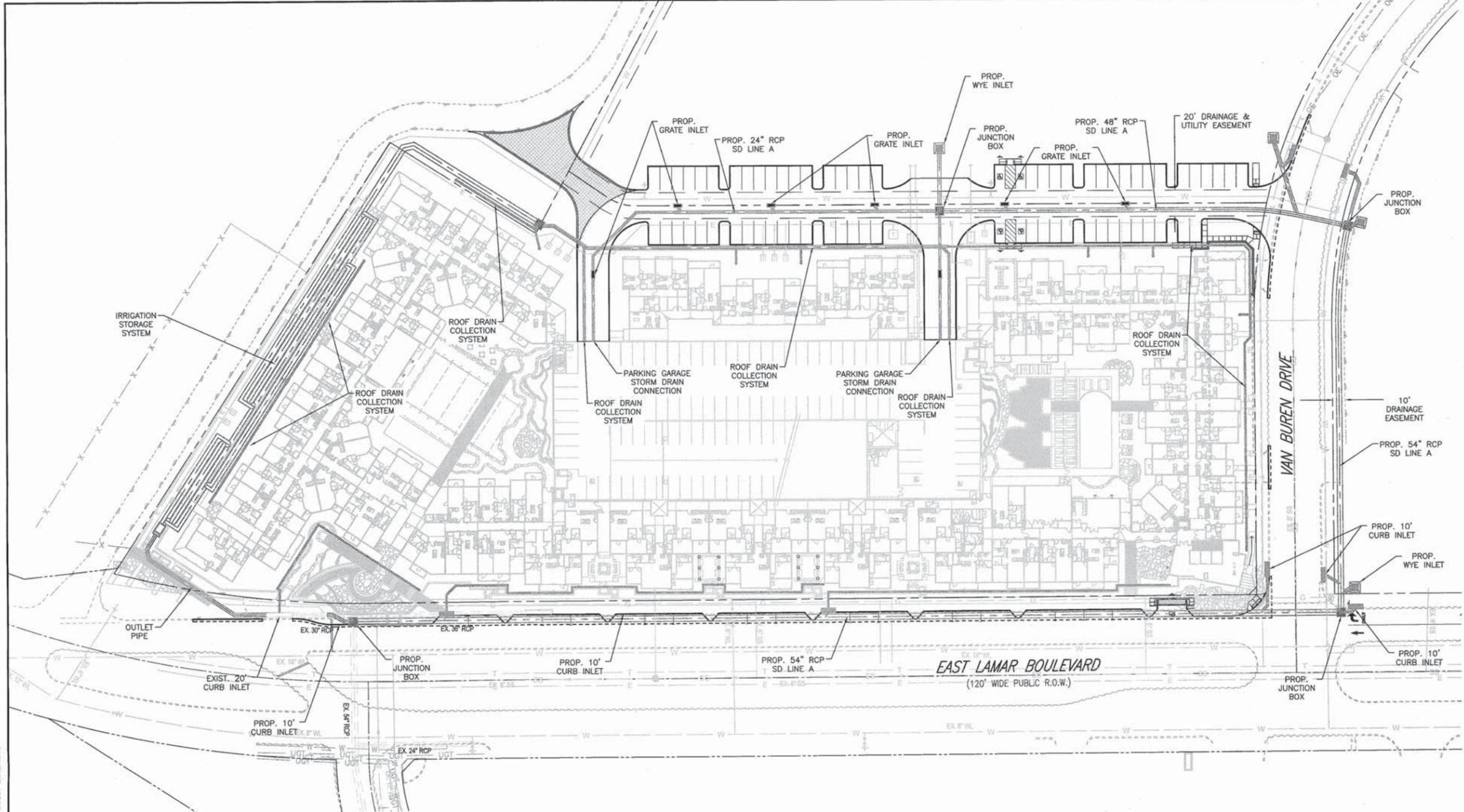
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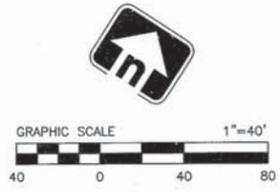
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 Arlington, TX



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 TEXAS PERM. F-119V/PLS PERM. 101538-00

Project Number: 2013007
 Drawn By:
 Issue For:
 Bid/Permit Set: 01-26-2015

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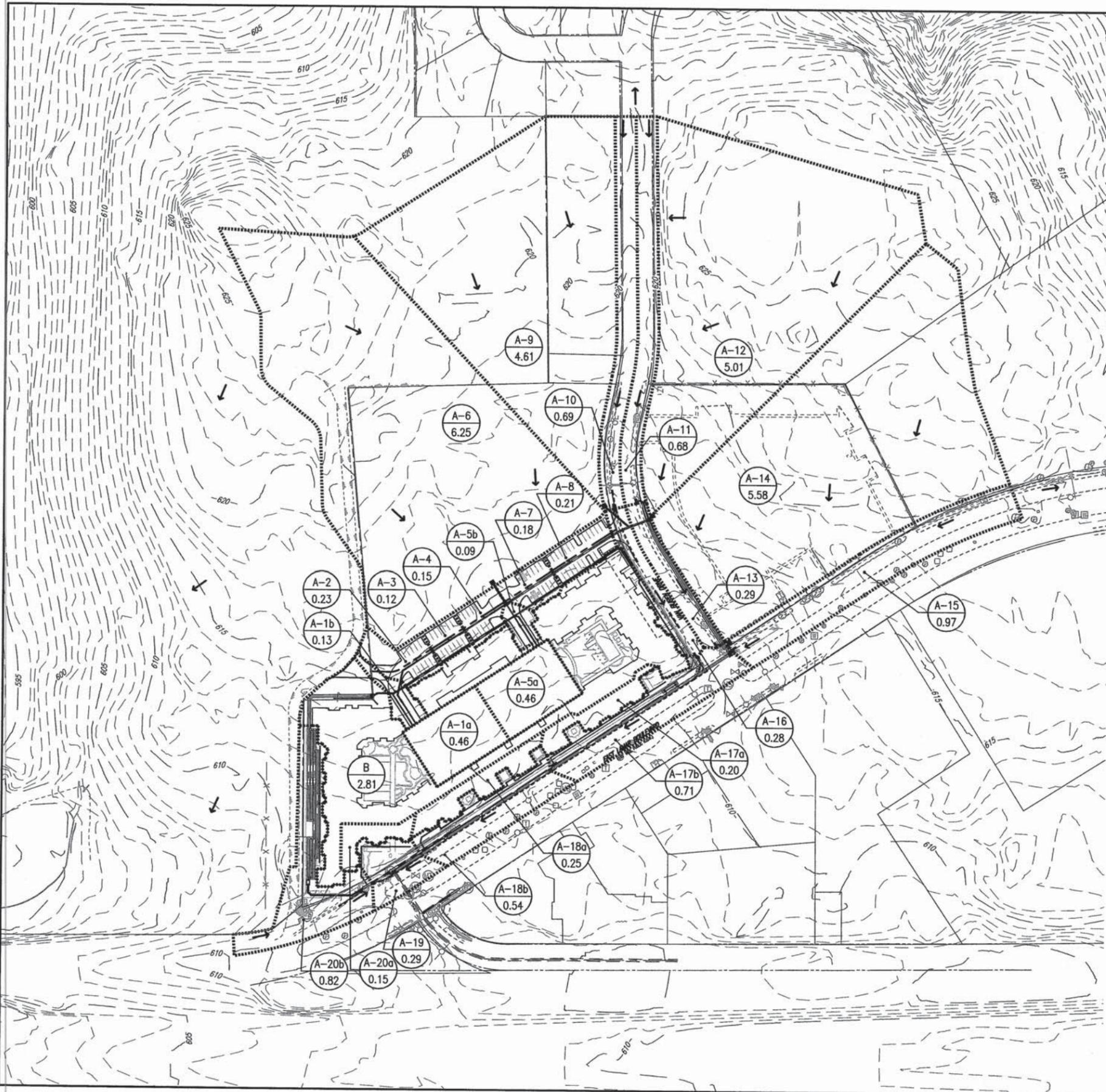
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STORM DRAIN LAYOUT EXHIBIT

C3.01

PLOTTED ON: 8/13/2015 2:01 PM
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PLOTTED ON: 8/25/2015 11:16 AM
 FILE NAME: Z:\ARLINGTON\THE POINTS\O&D\DEVELOPMENT PLANS\DRAINAGE AREA MAP.DWG



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LEGEND

- DRAINAGE BOUNDARY
- DIRECTION OF FLOW
- 6 / 1.68 AREA NO. / AREA (Acres)
- PROPOSED INLET
- - - EXISTING INLET

RUNOFF CALCULATIONS

DRAINAGE AREA	AREA IN ACRES	SOIL GROUP	C	CCa 25 YEAR	CCb 100 YEAR	Tc (MIN)	I _s (IN/HR)	I ₁₀ (IN/HR)	I ₁₀₀ (IN/HR)	Q _s (CFS)	Q ₂₅ (CFS)	Q ₁₀₀ (CFS)
A-1a	0.46	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	2.84	4.04	5.10
A-1b	0.13	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	0.80	1.14	1.44
A-2	0.23	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	1.42	2.02	2.55
A-3	0.12	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	0.74	1.05	1.33
A-4	0.15	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	0.92	1.32	1.66
A-5a	0.46	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	2.84	4.04	5.10
A-5b	0.09	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	0.55	0.79	1.00
A-6	6.25	C	0.67	0.74	1.00	6.85	6.51	8.49	10.32	27.27	39.10	64.48
A-7	0.18	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	1.11	1.58	2.00
A-8	0.21	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	1.29	1.84	2.33
A-9	4.61	C	0.61	0.67	1.00	8.15	6.17	8.07	9.84	17.35	24.97	45.37
A-10	0.69	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	4.25	6.06	7.65
A-11	0.68	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	4.19	5.97	7.54
A-12	5.01	C	0.87	0.96	1.00	6.15	6.72	8.73	10.59	29.28	41.87	53.08
A-13	0.29	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	1.79	2.55	3.22
A-14	5.58	C	0.87	0.96	1.00	6.10	6.73	8.75	10.62	32.68	46.73	59.23
A-15	0.97	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	5.98	8.52	10.76
A-16	0.28	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	1.73	2.46	3.11
A-17a	0.20	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	1.23	1.76	2.22
A-17b	0.71	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	4.38	6.23	7.87
A-18a	0.25	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	1.54	2.19	2.77
A-18b	0.54	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	3.33	4.74	5.99
A-19	0.29	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	1.79	2.55	3.22
A-20a	0.15	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	0.92	1.32	1.66
A-20b	0.82	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	5.05	7.20	9.10
B	2.81	C	0.87	0.96	1.00	5.00	7.08	9.17	11.09	17.32	24.67	31.17
TOTAL	340.95											

NOTE: SEE SHEET C4.02 FOR ROOF DRAIN COLLECTION AND IRRIGATION STORAGE SYSTEM DRAINAGE AREA B CALCULATIONS.



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Arlington Commons
 Arlington, TX



Graham Associates, Inc.
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 600 SIX FLAGS DRIVE, SUITE 500
 ARLINGTON, TEXAS 76011 (817) 640-8535
 TYPE PRINT: P-1181/TYPE L: PINK 1/11/2015

DRAINAGE AREA MAP

Project Number: 2013007
 Drawn By:
 Issue For: 01/26/2015
 01/26/2015
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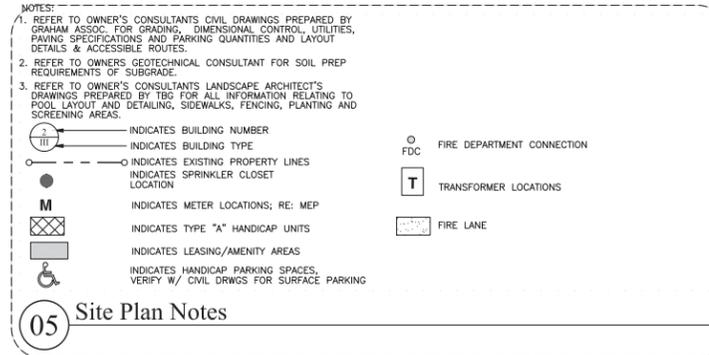
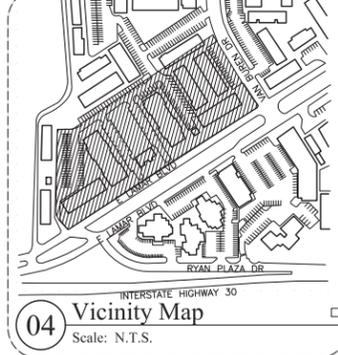
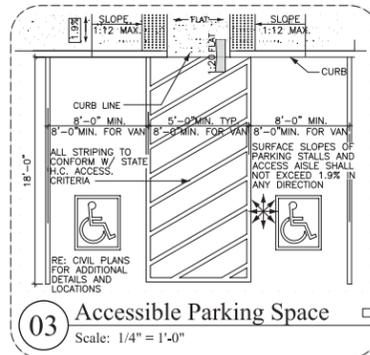
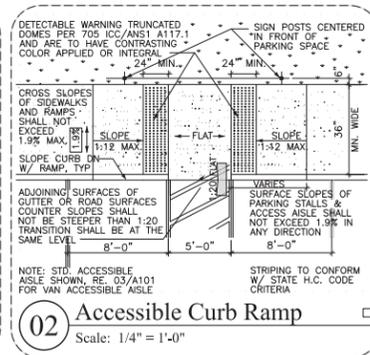
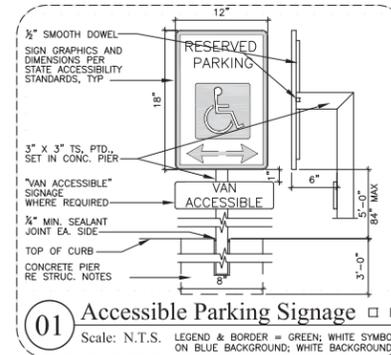
Revision Date

DRAINAGE AREA MAP

C4.01



08.10.2015



07 Unit Mix & Per Floor %

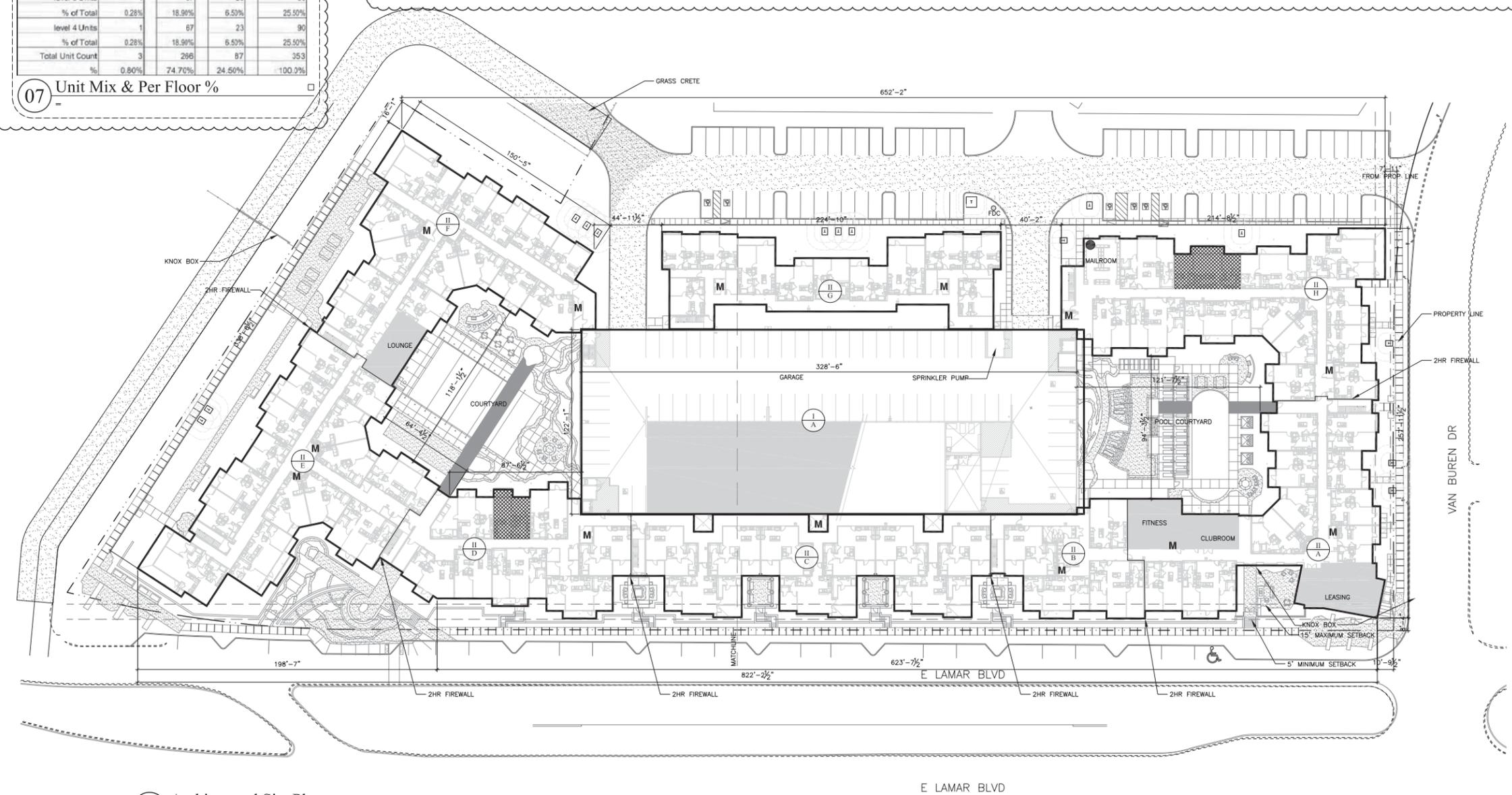
	Efficiencies	One Bedroom	Two Bedroom	Total
level 1 Units	0	65	19	84
% of Total	0.00%	18.09%	5.33%	23.40%
level 2 Units	1	67	22	89
% of Total	0.28%	18.99%	6.23%	25.21%
level 3 Units	1	67	23	90
% of Total	0.28%	18.99%	6.53%	25.50%
level 4 Units	1	67	23	90
% of Total	0.28%	18.99%	6.53%	25.50%
Total Unit Count	3	266	87	353
%	0.80%	74.70%	24.50%	100.0%

Open Space Square Footage

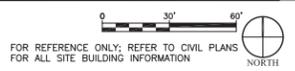
	Pool Court	Court Yard	Pocket Parks	Open Space Near Leasing	Other-Within Bldg	Other-Bldg Perimeter	Building/Garage Footprint	Site Total s.f. (5.564 acres)
Square Feet	13,753.00	13,974.00	9,104.00	16,740.00	1,615.00	54,924.00	132,257.00	242,367.00
% of Site	6%	6%	4%	7%	1%	23%	55%	100%

Amenity/Public Building Space s.f.

	Leasing	Clubroom	Fitness	Lounge/Conference	Total
Square Feet	1,589.00	869.00	1,173.00	2,100.00	5,731.00
% of Residential (92,051 sf)	2%	1%	1%	2%	6%



25 Architectural Site Plan
 Scale: 1" = 30'-0"



Arlington Commons
 Arlington, TX



Project Number: 2013007
 Drawn By: KA
 Issue For Bld/Permit Set: 01.26.2015

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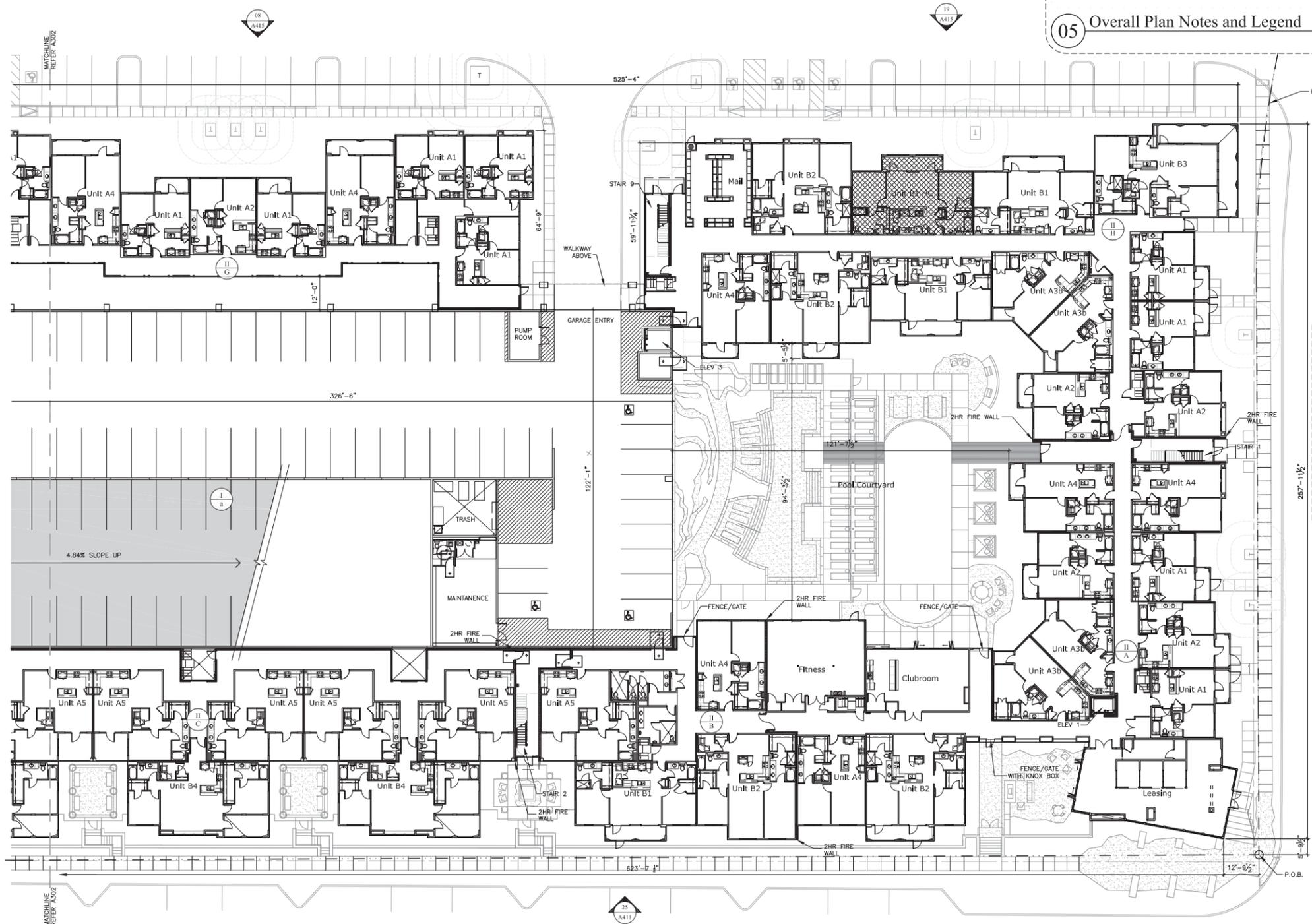


01.26.2015

05 Overall Plan Notes and Legend

NOTES:
 1. ALL BUILDING PLAN DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
 2. ALL CEILING HEIGHTS TO BE 10'-0" UNLESS NOTED OTHERWISE.
 3. REFER TO STRUCTURE FOR LOCATION OF LOAD BEARING WALLS AND PARTY WALLS.

- (I) INDICATES BUILDING NUMBER
- (A) INDICATES BUILDING FIRE AREA
- (♿) INDICATES HANDICAP PARKING SPACES. VERIFY W/ CIVIL DRAWINGS FOR SURFACE PARKING
- (C) INDICATES COMPACT PARKING SPACE
- (●) INDICATES SPRINKLER CLOSET LOCATION
- (---) INDICATES 2 HOUR WALL
- (X) INDICATES TYPE "A" HANDICAP UNITS



Arlington Commons Arlington, TX



Project Number: 2013007
 Drawn By: JH
 Issue For: Permt/Bld Set
 Date: 01.26.2015

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25 Overall Building Plan - First Floor
 Scale: 1/16" = 1'-0"

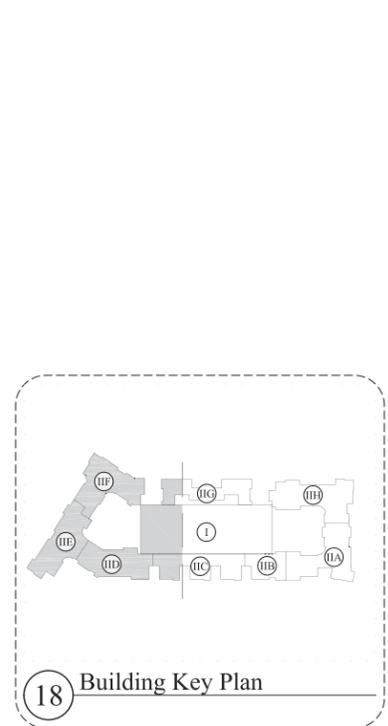


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05 Overall Plan Notes and Legend

NOTES:
 1. ALL BUILDING PLAN DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
 2. ALL CEILING HEIGHTS TO BE 10'-0" UNLESS NOTED OTHERWISE.
 3. REFER TO STRUCTURE FOR LOCATION OF LOAD BEARING WALLS AND PARTY WALLS.

- INDICATES BUILDING NUMBER
- INDICATES BUILDING FIRE AREA
- INDICATES HANDICAP PARKING SPACES. VERIFY W/ CIVIL DRAWINGS FOR SURFACE PARKING
- INDICATES COMPACT PARKING SPACE
- INDICATES SPRINKLER CLOSET LOCATION
- INDICATES 2 HOUR WALL
- INDICATES TYPE "A" HANDICAP UNITS



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Arlington, TX



Project Number: 2013007
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 Date: 01.26.2015

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25 Overall Building Plan - First Floor
 Scale: 1/16" = 1'-0"

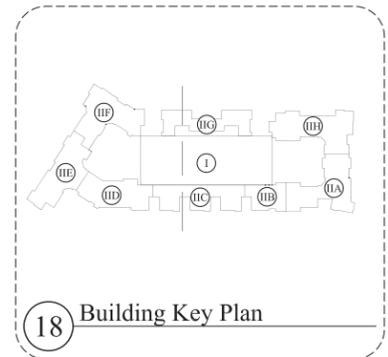
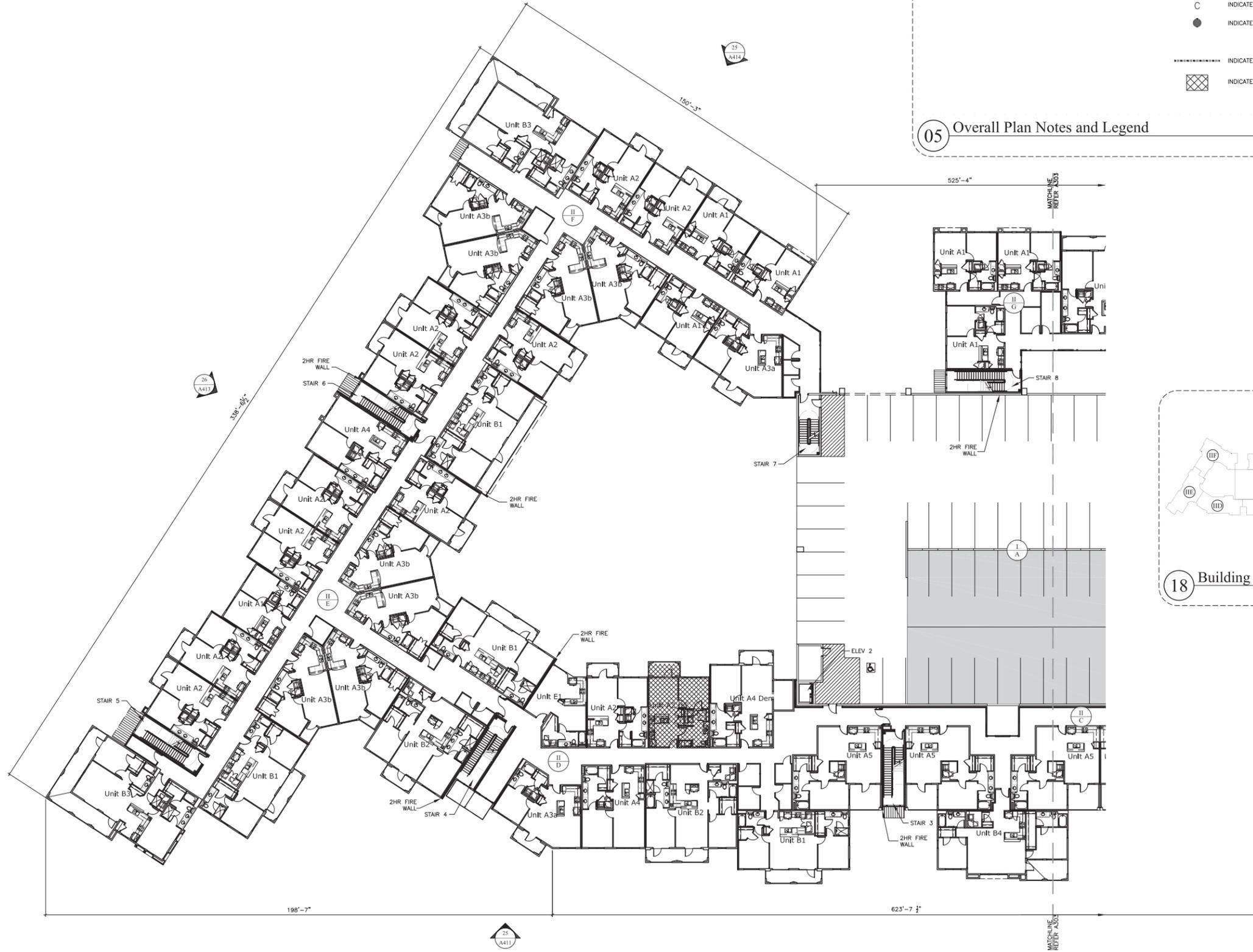


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05 Overall Plan Notes and Legend

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- INDICATES BUILDING NUMBER
- INDICATES BUILDING FIRE AREA
- INDICATES HANDICAP PARKING SPACES. VERIFY W/ CIVIL DRAWINGS FOR SURFACE PARKING
- INDICATES COMPACT PARKING SPACE
- INDICATES SPRINKLER CLOSET LOCATION
- INDICATES 2 HOUR WALL
- INDICATES TYPE "A" HANDICAP UNITS



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25 Overall Building Plan - Second Floor
 Scale: 1/16" = 1'-0"



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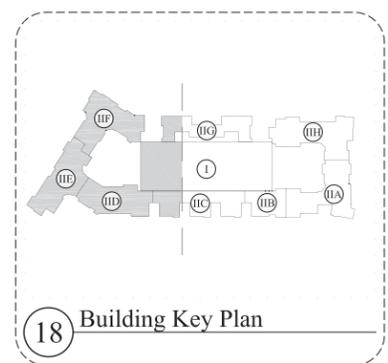


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05 Overall Plan Notes and Legend

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 3. REFER TO STRUCTURE FOR LOCATION OF LOAD BEARING WALLS AND PARTY WALLS.

- (I/A) INDICATES BUILDING NUMBER
- (I/A) INDICATES BUILDING FIRE AREA
- (Wheelchair icon) INDICATES HANDICAP PARKING SPACES, VERIFY W/ CIVIL DRAWINGS FOR SURFACE PARKING
- C INDICATES COMPACT PARKING SPACE
- (Dot) INDICATES SPRINKLER CLOSET LOCATION
- (Dashed line) INDICATES 2 HOUR WALL
- (Cross-hatch) INDICATES TYPE "A" HANDICAP UNITS



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25 Overall Building Plan - Third Floor
 Scale: 1/16" = 1'-0"

THE NEHEMIAH COMPANY

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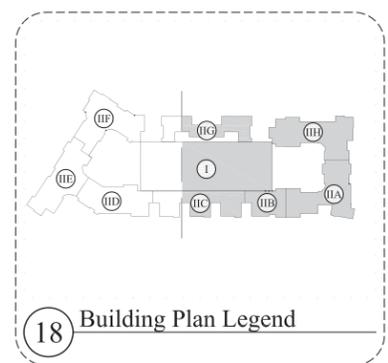


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05 Overall Plan Notes and Legend

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- (I/A) INDICATES BUILDING NUMBER
- (I/A) INDICATES BUILDING FIRE AREA
- (Wheel icon) INDICATES HANDICAP PARKING SPACES, VERIFY W/ CIVIL DRAWINGS FOR SURFACE PARKING
- (C) INDICATES COMPACT PARKING SPACE
- (Dot icon) INDICATES SPRINKLER CLOSET LOCATION
- (Dashed line) INDICATES 2 HOUR WALL
- (Cross-hatch icon) INDICATES TYPE "A" HANDICAP UNITS



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25 Overall Building Plan - Fourth Floor
 Scale: 1/16" = 1'-0"

THE NEHEMIAH COMPANY

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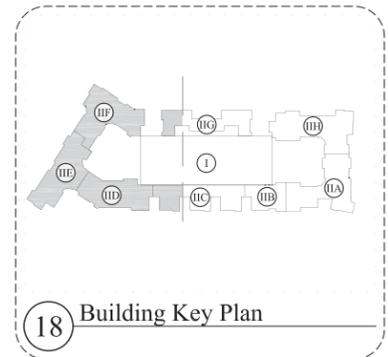


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05 Overall Plan Notes and Legend

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 3. REFER TO STRUCTURE FOR LOCATION OF LOAD BEARING WALLS AND PARTY WALLS.

- (I/A) INDICATES BUILDING NUMBER
- (I/A) INDICATES BUILDING FIRE AREA
- (P) INDICATES HANDICAP PARKING SPACES, VERIFY W/ CIVIL DRAWINGS FOR SURFACE PARKING
- (C) INDICATES COMPACT PARKING SPACE
- (●) INDICATES SPRINKLER CLOSET LOCATION
- (---) INDICATES 2 HOUR WALL
- (X) INDICATES TYPE "A" HANDICAP UNITS



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25 Overall Building Plan - Fourth Floor
 Scale: 1/16" = 1'-0"



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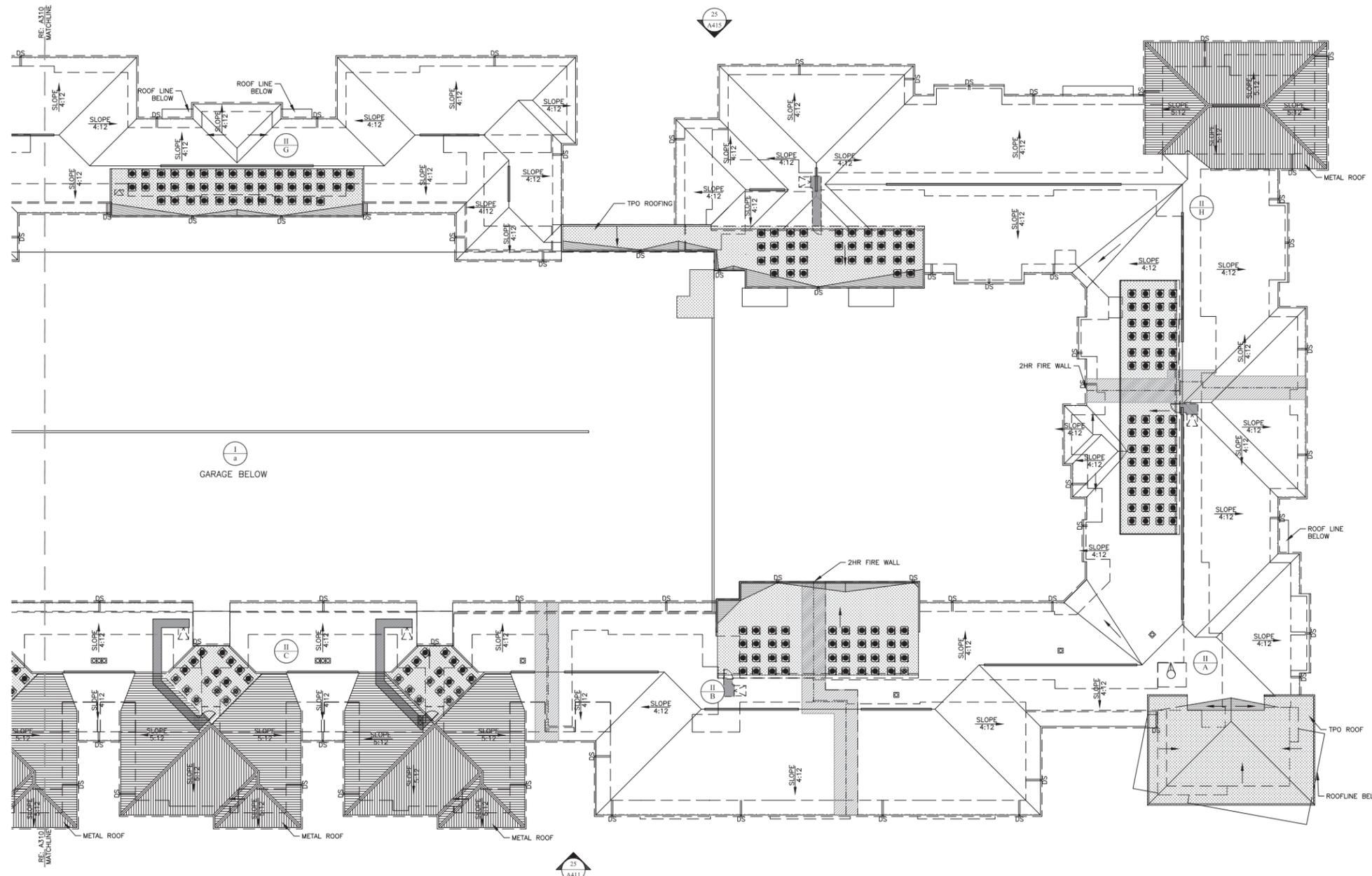
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- NOTES:**
1. ROOF OVERHANG IS 4'-0" TYP. U.N.O.
 2. TYP. SLOPE ROOF: 4:12; TYP. SLOPE AT METAL ROOFS: 5:12
 3. PREFINISHED ALUM. GUTTERS AND D.S. TYP. GUTTER CONTRACTOR TO VERIFY NUMBER OF DOWNSPOUTS. ALL COMPOSITION & METAL ROOF EAVES TO BE FULLY GUTTERED.
 4. PROVIDE 1 HR. RATED ATTIC ACCESS HATCH INTO CONCEALED ATTIC SPACE. REFER TO TOP FLOOR PLANS AND ROOF PLANS FOR ACCESS LOCATIONS. TYP. COORDINATE LOCATIONS W/ ROOF FRAMING PLANS. PROVIDE 36" MIN. CLEAR HEADROOM TYP. AT ACCESS HATCH.
 5. THE MINIMUM REQUIRED NET FREE VENTILATION AREA SHALL BE 1/750 OF THAT AREA VENTILATED WITH BOTH UPPER AND LOWER VENTILATION TYP.
 6. PLACE ROOF VENTS WHERE NOTED ON ROOF PLANS.
 7. DRAFTSTOP CONSTRUCTION IS REQUIRED. ATTIC NOT SPRINKLED.
 8. ALL ATTIC VENTS/LOUVERS SHALL BE COVERED WITH CORROSION RESISTANT MESH NOT LESS THAN 1/4" OR MORE THAN 2" IN ANY DIRECTION TYP.
 9. DIMENSIONS FOR ROOF VENTS NOT PROVIDED. SPACE EQUALLY.
 10. ALL LOW SLOPE ROOFING SLOPED 1/2" PER FOOT TYP. U.N.O.
 11. GUTTER CONTRACTOR TO VERIFY NUMBER OF DOWNSPOUTS. ALL ROOF EAVES TO BE FULLY GUTTERED.
 12. ROOFING DETAILS BASED ON NRCA WATERPROOFING & FLASHING DETAILS BASED ON SMACNA LATEST ADDITION
- INDICATES ROOF SLOPE DIRECTION
 - INDICATES COMP. SHINGLE ROOF LOCATIONS
 - INDICATES LOW SLOPE ROOF LOCATIONS
 - 4'-0" ROOF FLARES, NO PENETRATIONS IN ROOF DECK FOR A MIN. OF 4'-0" ON EACH SIDE OF 2 HR WALL FOR TYPE VA CONSTRUCTION.
 - BUILT-UP TAPERED INSULATION
 - INDICATES CONDENSER LOCATIONS
 - 2 HR FIREWALL
 - S/OFS SCUPPER/OVERFLOW SCUPPER W/CONDUCTOR HEAD
 - GUTTER & DOWNSPOUT
 - RIDGE VENT RE: 10/A711
 - SINGLE 3" SOFFIT VENT. RE: 05 & 06/A712
 - ATTIC DECKING
 - 1 HR. RATED ATTIC ACCESS 30 X 36.
 - INDICATES MTL. ROOF
 - ROOF ACCESS HATCH
 - PATTERN INDICATES LOCATION OF 12'-0" PLATE HEIGHT AT UPPER FLOORS ONLY. RE: STRUC.
 - ROOF VENT
- 18 Roof Notes**
 Scale: N.T.S.



25 Overall Building Plan - Roof Plan
 Scale: 1/16" = 1'-0"



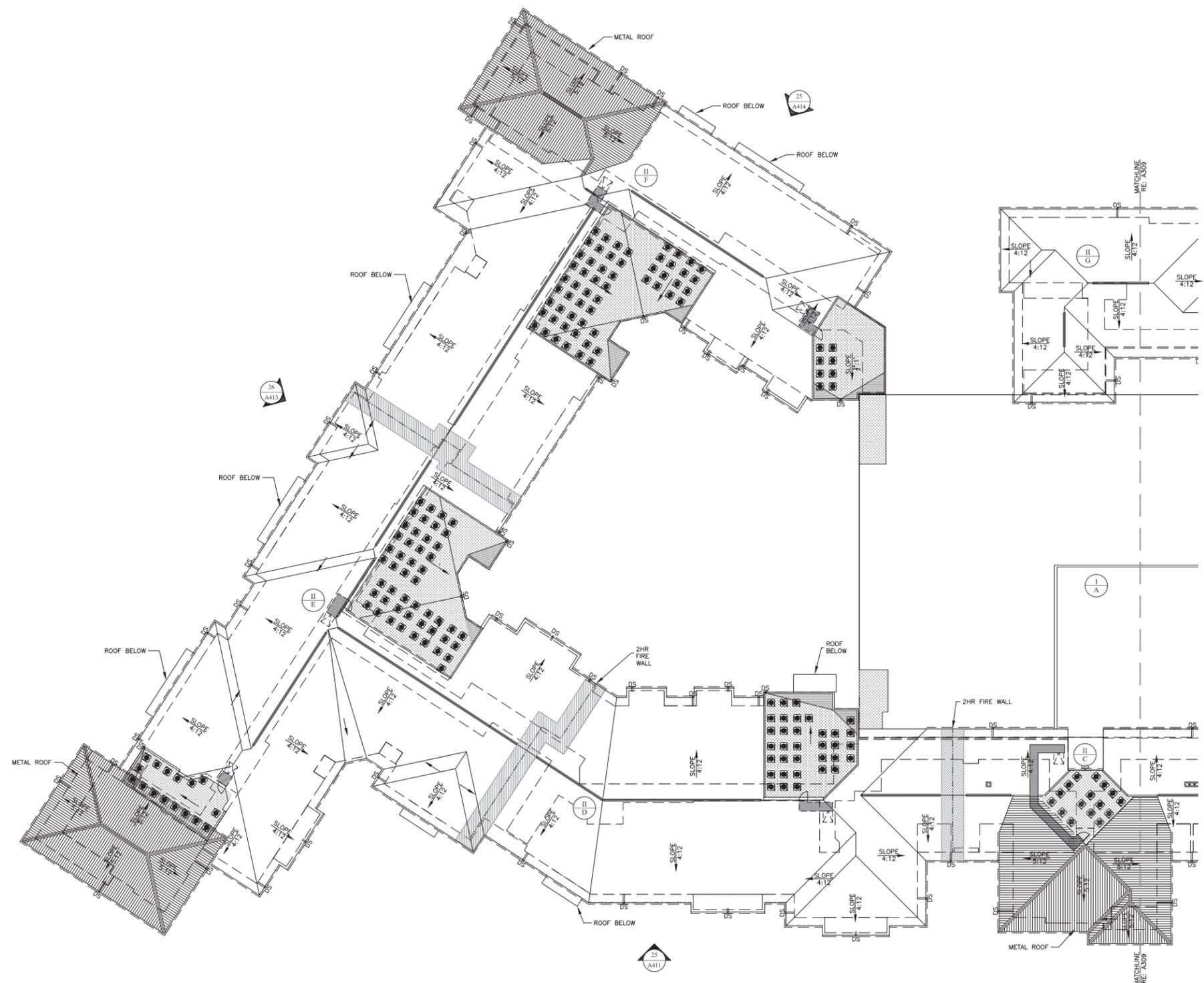
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25 Overall Building Plan - Roof Plan
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 5. THE MINIMUM REQUIRED NET FREE VENTILATION AREA SHALL BE 1/150 OF THAT AREA VENTILATED WITH BOTH UPPER AND LOWER VENTILATION TYP.
 6. PLACE ROOF VENTS WHERE NOTED ON ROOF PLANS.
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 10. ALL LOW SLOPE ROOFING SLOPED 1/2" PER FOOT TYP. U.N.O.
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 INDICATES LOW SLOPE ROOF LOCATIONS
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 ROOF VENT
- 18 Roof Notes**
 Scale: N.T.S.



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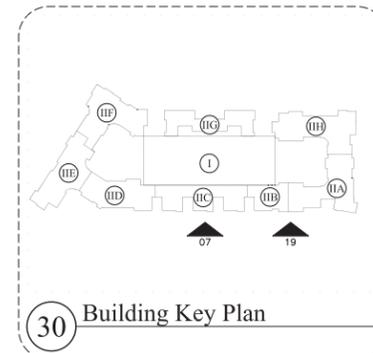
07 Lamar Elevation
 Scale: 1/8" = 1'-0"



19 Lamar Elevation - East Corner
 Scale: 1/8" = 1'-0"



25 Lamar Elevation - Overall
 Scale: 1" = 30'-0"



30 Building Key Plan



Project Number: 2013007
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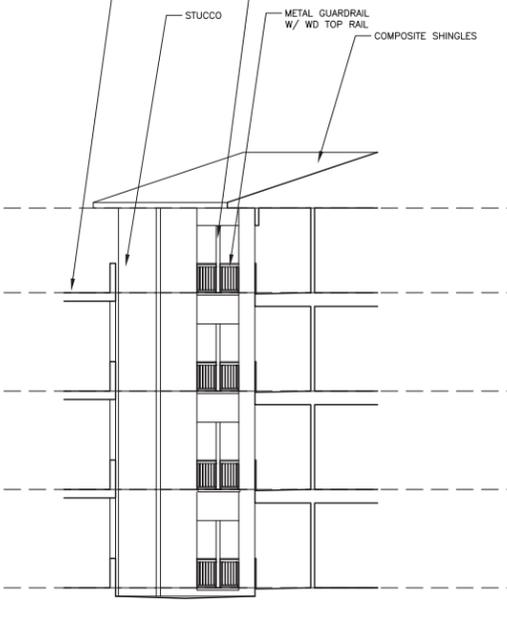
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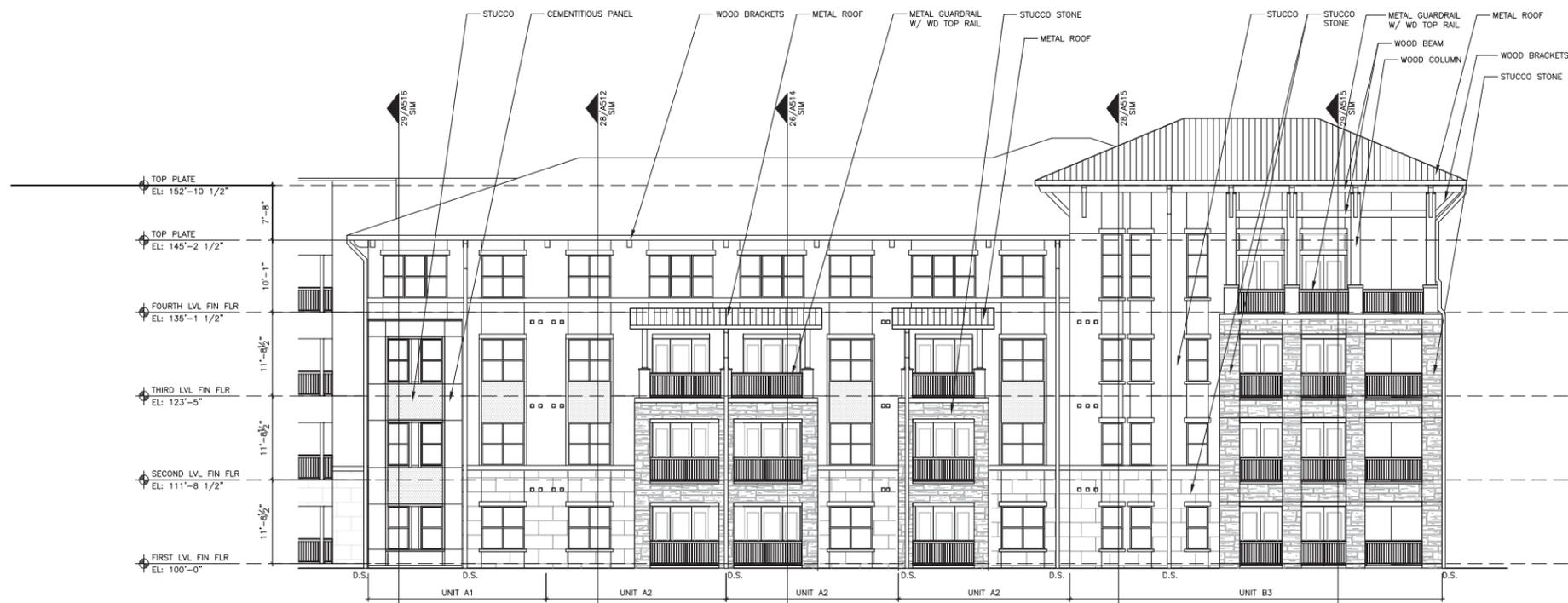
13 Exterior Elevation
 Scale: 1/16" = 1'-0"



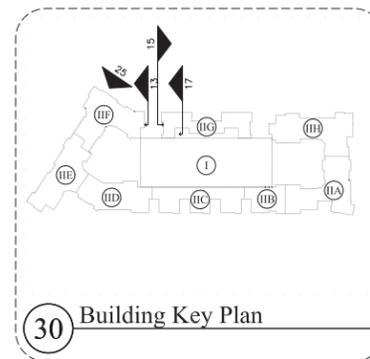
15 Exterior Elevation
 Scale: 1/16" = 1'-0"



17 Exterior Elevation
 Scale: 1/16" = 1'-0"



25 North Elevation - West Corner
 Scale: 1/16" = 1'-0"



30 Building Key Plan



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08 North Elevation - Area B
 Scale: 1/8" = 1'-0"



19 North Elevation - Area G
 Scale: 1/8" = 1'-0"

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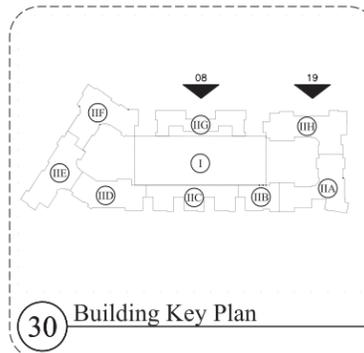


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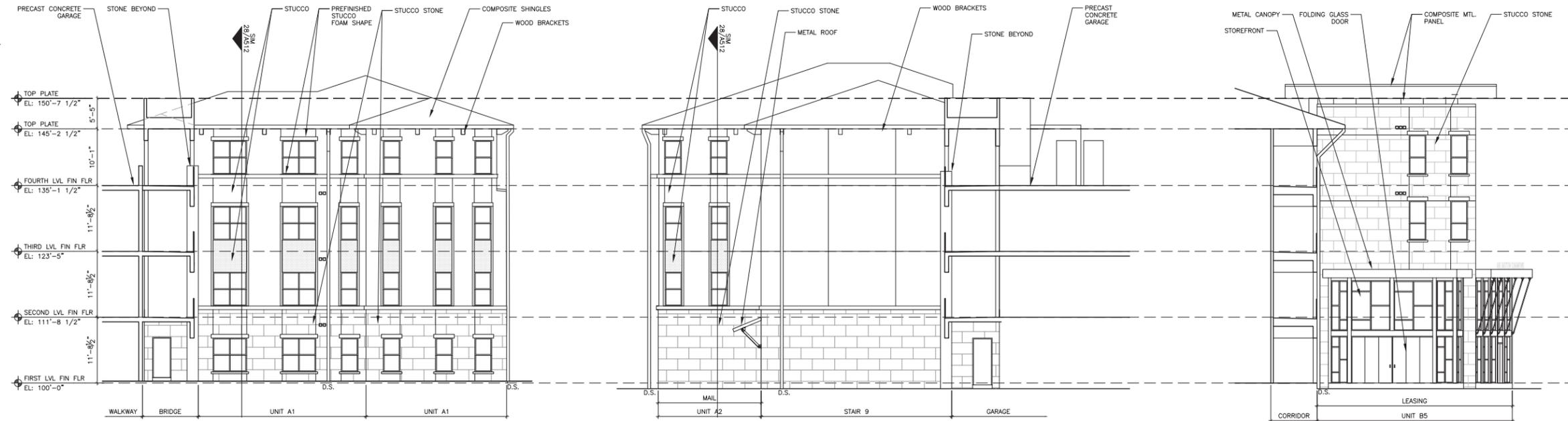
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30 Building Key Plan



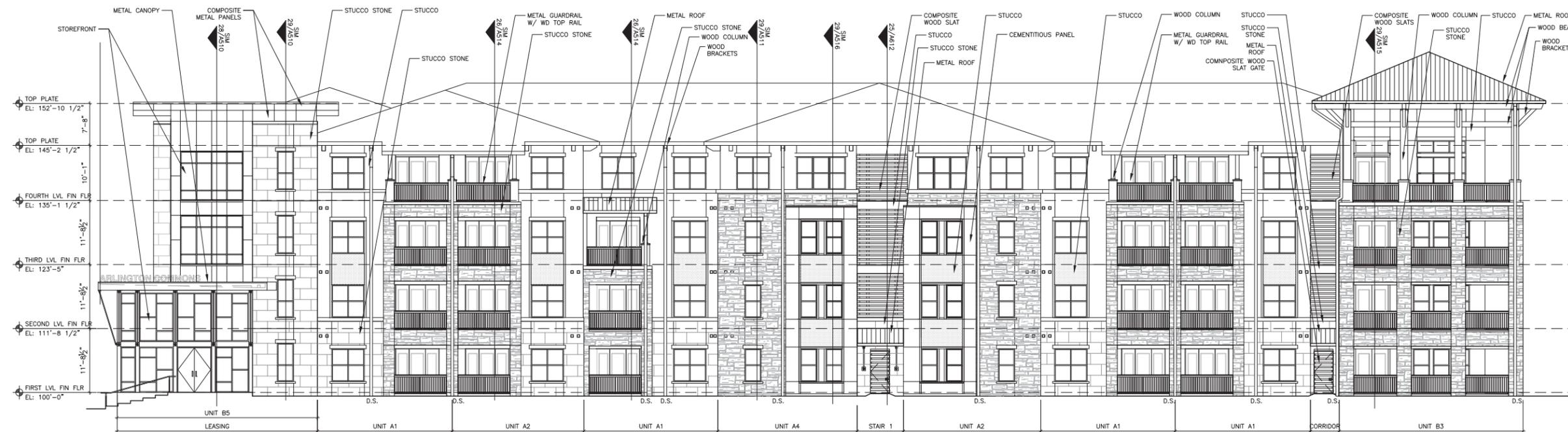
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07 Elevation
 Scale: 1/8" = 1'-0"

09 Elevation
 Scale: 1/8" = 1'-0"

11 Elevation
 Scale: 1/8" = 1'-0"



19 East Elevation
 Scale: 1/8" = 1'-0"

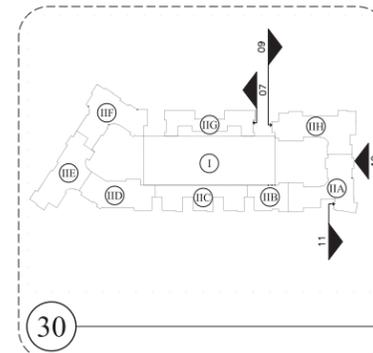
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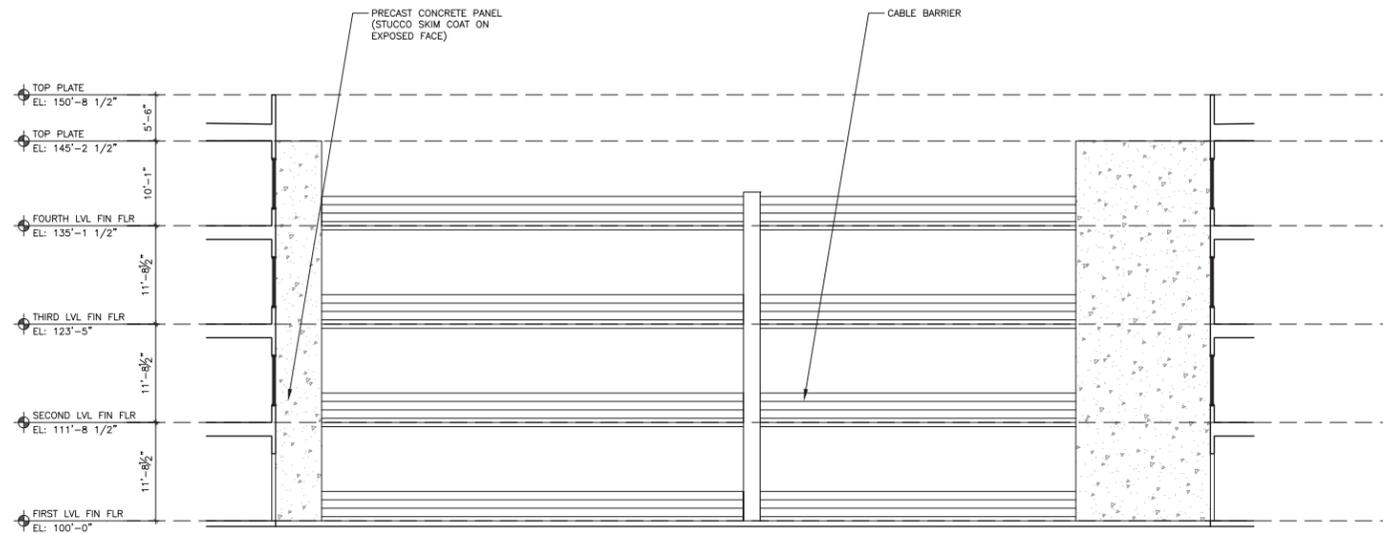
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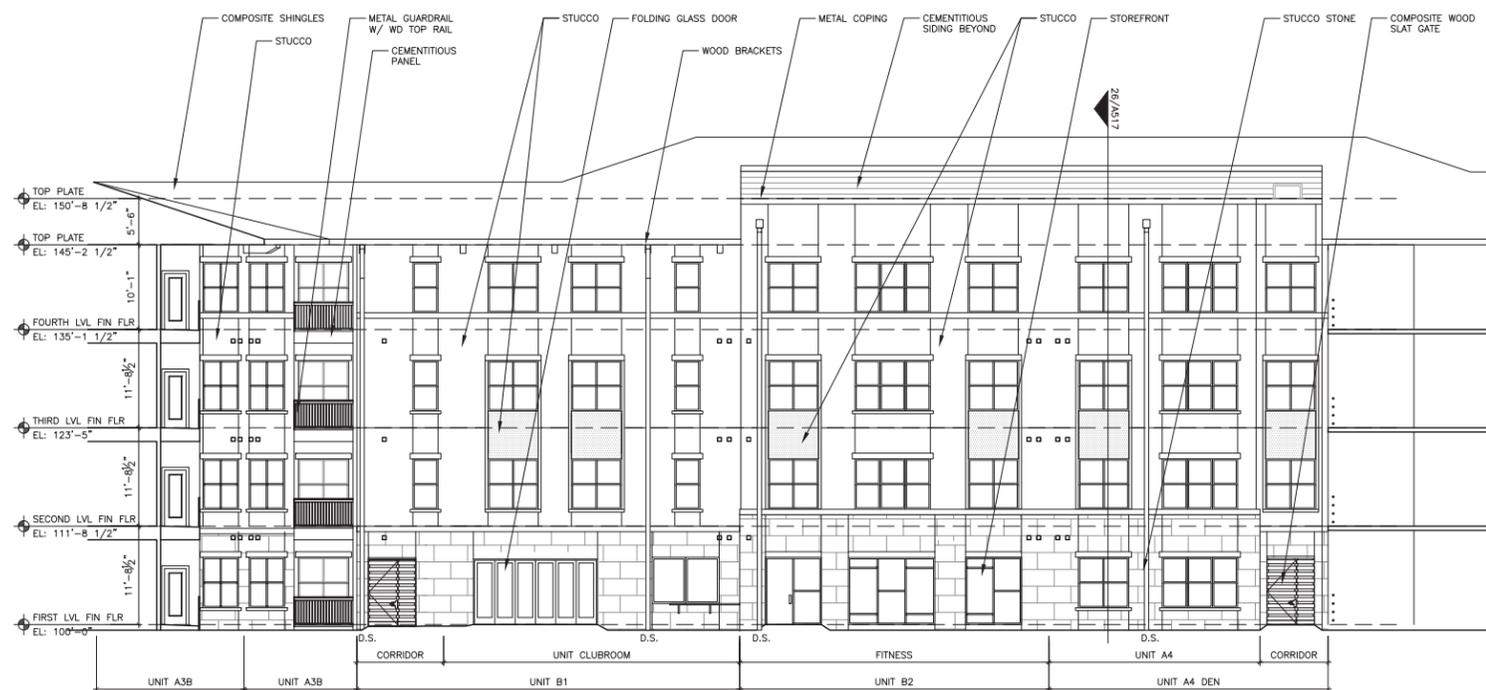




01.26.2015



14 Pool Courtyard Elevation
 Scale: 1/8" = 1'-0"



26 Pool Courtyard Elevation
 Scale: 1/8" = 1'-0"

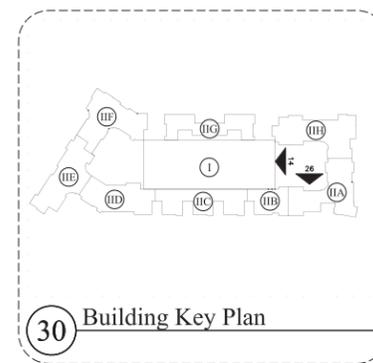
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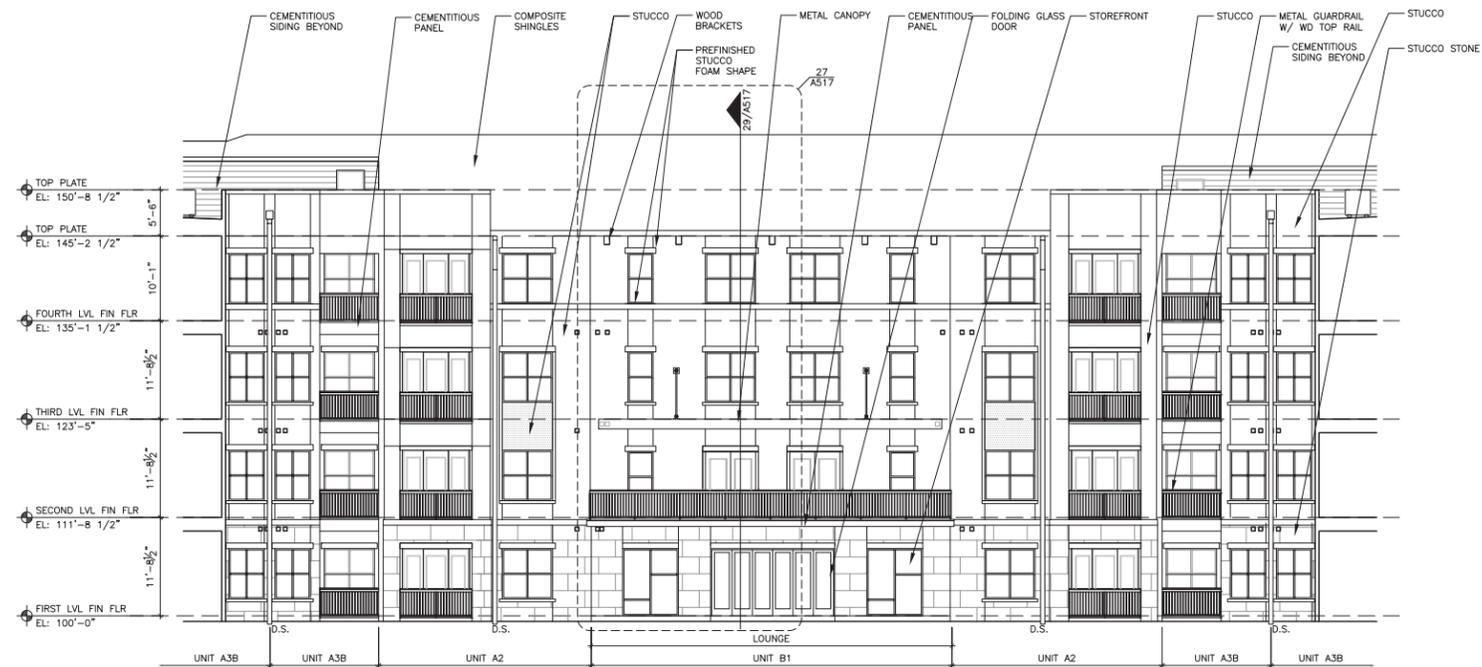
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30 Building Key Plan



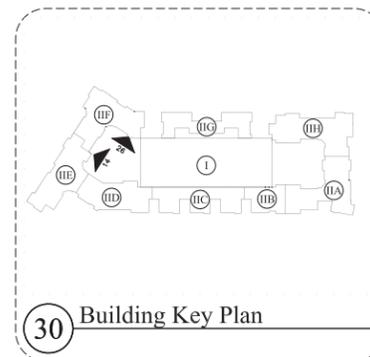
01.26.2015



14 Courtyard Elevation
 Scale: 1/8" = 1'-0"



26 Courtyard Elevation
 Scale: 1/8" = 1'-0"



30 Building Key Plan



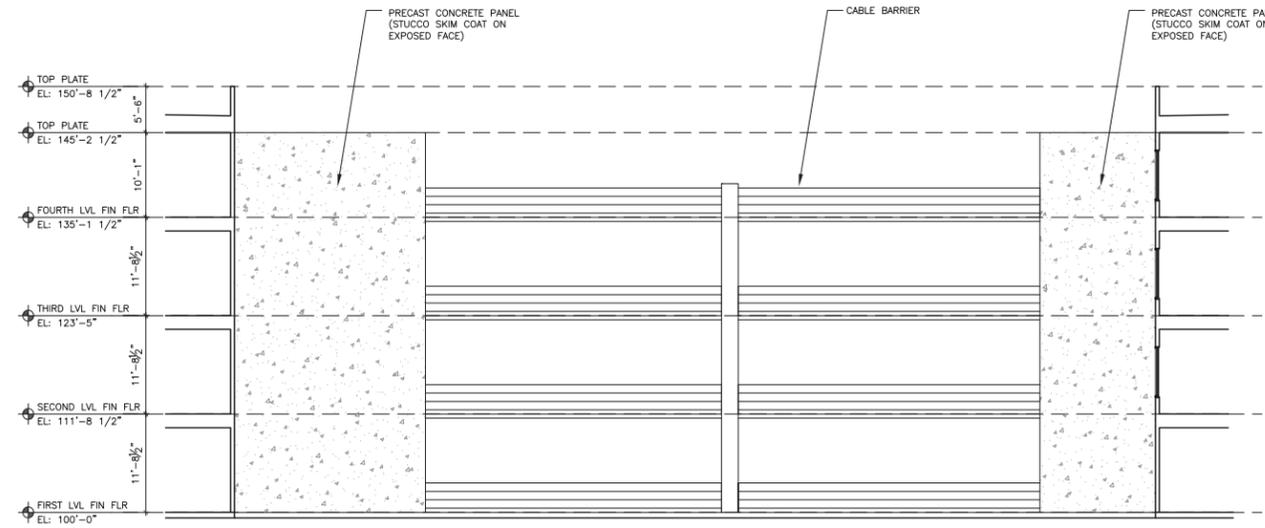
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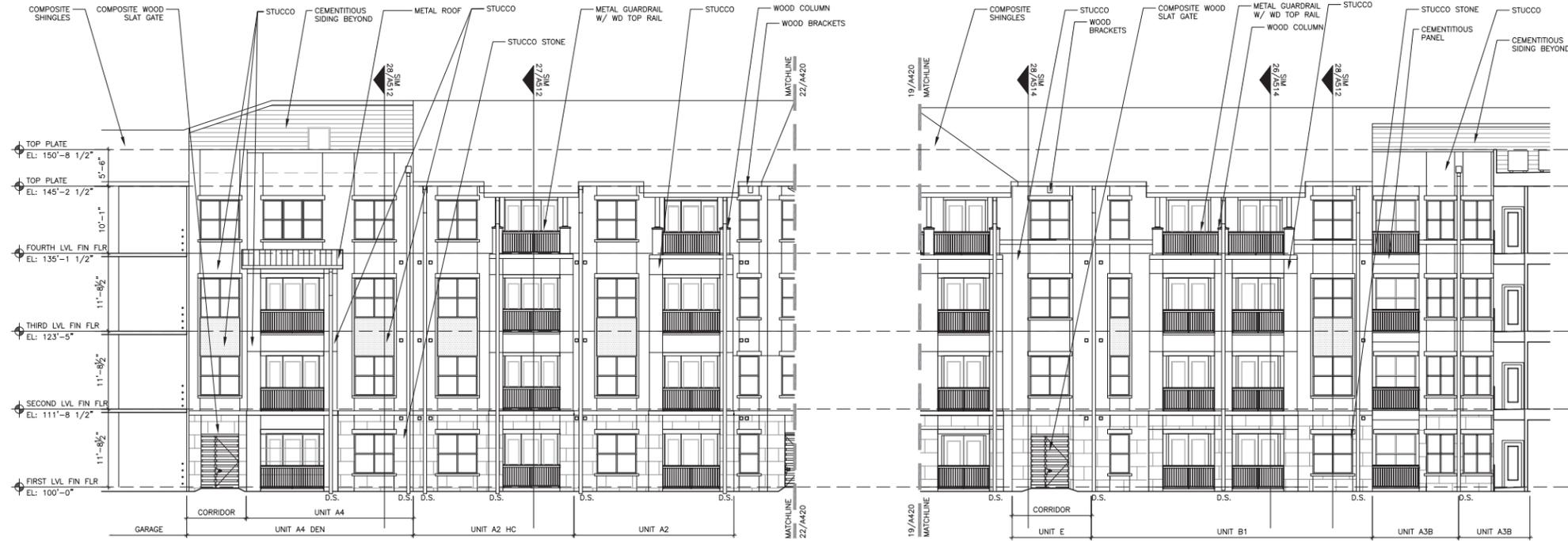
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09 Courtyard Elevation
 Scale: 1/8" = 1'-0"



19 Courtyard Elevation
 Scale: 1/8" = 1'-0"

22 Courtyard Elevation
 Scale: 1/8" = 1'-0"

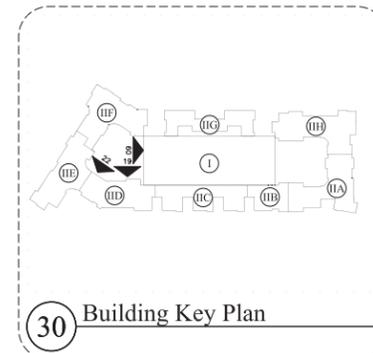
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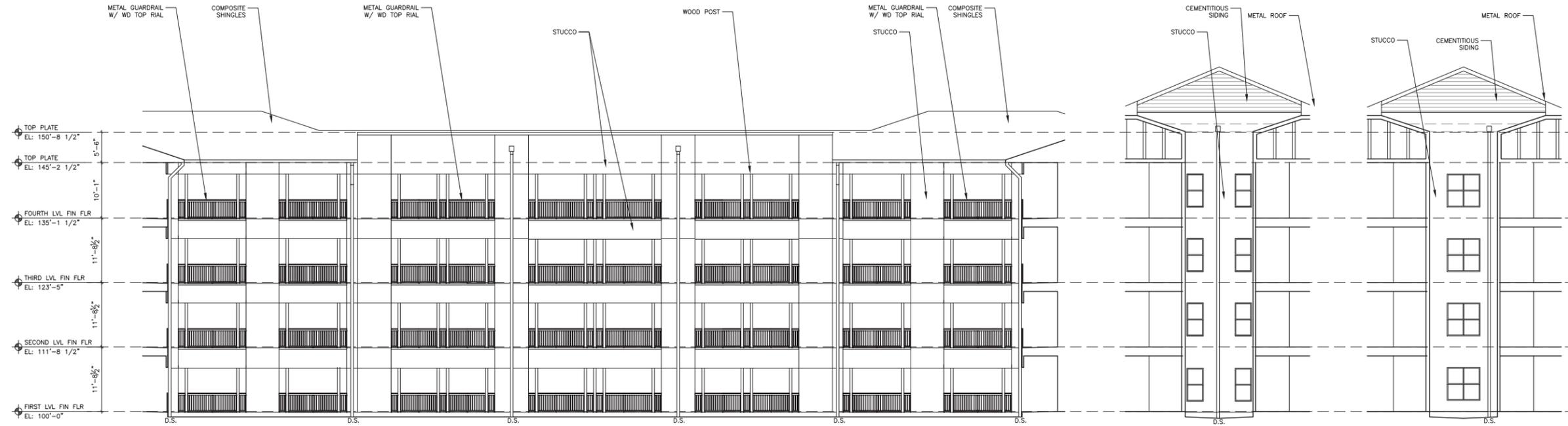
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30 Building Key Plan



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07 Elevation
 Scale: 1/8" = 1'-0"

11 Lightwell Elevation
 Scale: 1/8" = 1'-0"

12 Lightwell Elevation
 Scale: 1/8" = 1'-0"



19 Lightwell Elevation
 Scale: 1/8" = 1'-0"

21 Elevation
 Scale: 1/8" = 1'-0"

22 Elevation
 Scale: 1/8" = 1'-0"

23 Elevation
 Scale: 1/8" = 1'-0"

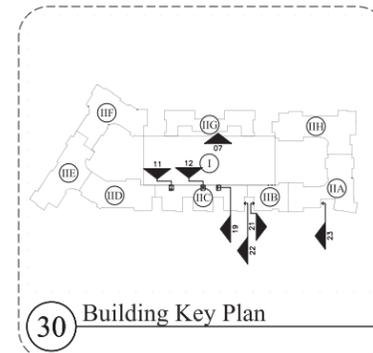
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30 Building Key Plan

PLANTING LEGEND

CANOPY TREES		
GRAPHIC	KEY	COMMON NAME
	CT	CANOPY TREE
ORNAMENTAL TREES		
GRAPHIC	KEY	COMMON NAME
	ORN	ORNAMENTAL TREE
SHRUBS, PERENNIALS, GROUNDCOVERS,		
GRAPHIC	KEY	COMMON NAME
	SG	TBD
TURF		
GRAPHIC	KEY	COMMON NAME
	TURF	TBD

*SEE SHEET LDP 1.2 FOR PLANT LIST

NOTE:
PLANTING ON THIS SHEET ONLY DELINEATES TREES FROM BEDS AND TURF. REFER TO LDP 1.2 THRU LDP 1.6 FOR DETAILED PLANTING PLAN.

NOTE:
SEE SHEET LDP 1.11 FOR EXTENTS AND TYPICAL TYPE OF FENCING

LANDSCAPE REQUIREMENTS:

UDC 5.2.2 (D) PERIMETER STREETScape REQUIREMENT:

16' STREETScape SETBACK FROM BACK OF CURB INCLUDING:
-4' GREENSPACE WITH MIN. 3" TREES, 25-30' O.C. W/ LANDSCAPE AND ROOT BARRIER
-MINIMUM 10' SIDEWALK

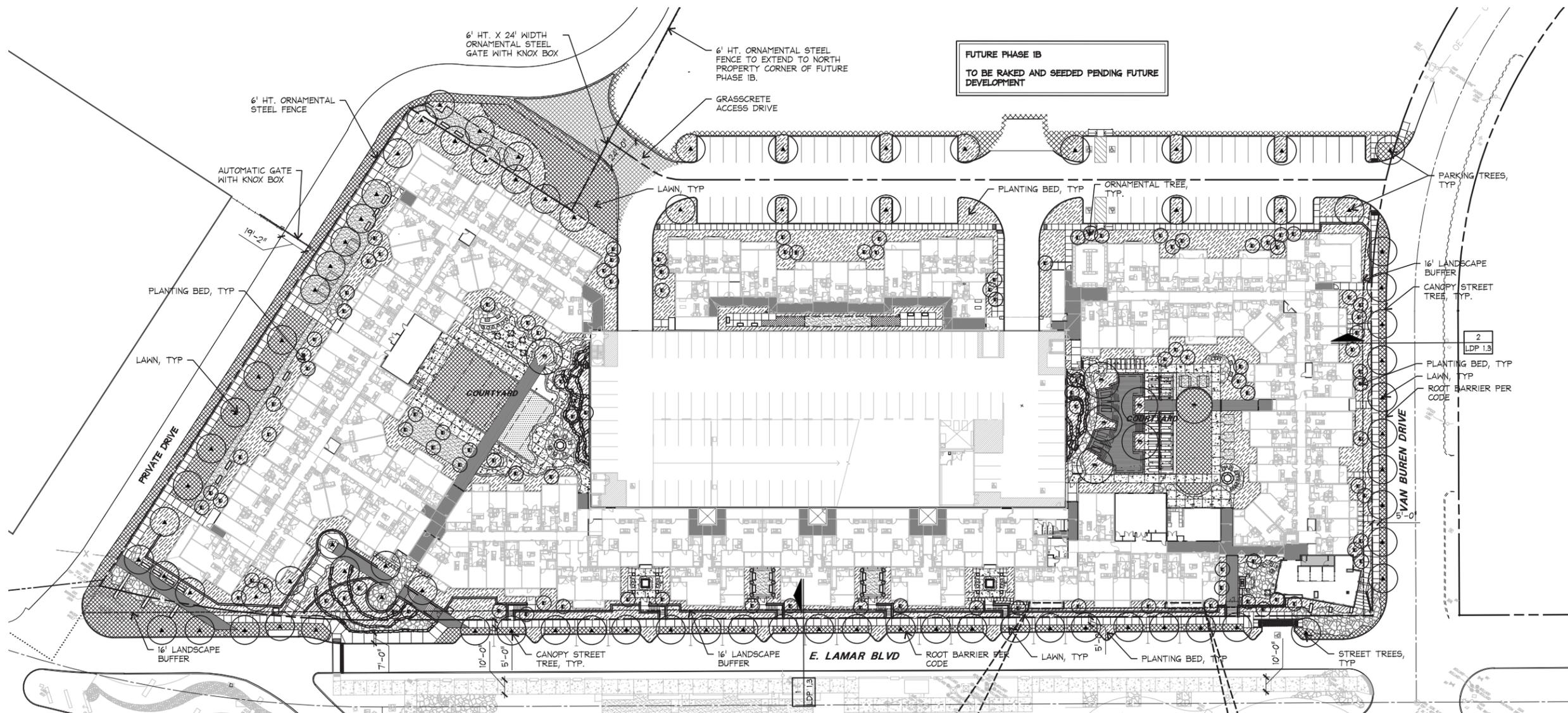
	REQUIRED	PROVIDED
LAMAR BLVD (882 LF)	30-3" TREES	30-4" TREES
VAN BUREN (295 LF)	10-3" TREES	10-4" TREES
ROOT BARRIER	YES	YES
10' SIDEWALK	YES	*SEE NOTE

*NOTE: BECAUSE OF THE UNIQUE INTEGRATION OF THIS PROJECT WITH THE LAMAR MEDIAN PARK (SEE ATTACHED MEDIAN CONCEPT) A 5' SIDEWALK IS PROPOSED FOR THE PHASE I SIDE OF LAMAR AND THE 10' SIDEWALK IS PROPOSED FOR THE MEDIAN PARK. GOAL IS TO ENCOURAGE USE OF THE PARK SIDEWALK.

UDC 5.2.2 (E) PARKING LOT LANDSCAPE AND SCREENING REQUIREMENT:

- PARKING LOT LANDSCAPE REQUIRED FOR OVER 10 SPACES
- LANDSCAPE ISLAND REQUIRED PER EACH 10 SPACES
- 1 TREE REQUIRED PER ISLAND
- ISLAND MUST HAVE 50% LANDSCAPE
- NO SPACE CAN BE OVER 90' FROM A TREE

	REQUIRED	PROVIDED
70 PARKING SPACES	7 TREES	14 TREES
	7 ISLANDS	14 ISLANDS



FUTURE PHASE 1B
TO BE RAKED AND SEEDED PENDING FUTURE DEVELOPMENT



1 LANDSCAPE SITE PLAN
PLAN



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Project:
Arlington Commons Phase 1A

LANDSCAPE DEVELOPMENT
The Nehemiah Company

ARLINGTON, TEXAS
Project Number:
D14072
Designed: EG
Drawn: KJ
Reviewed: MM, GG

Date Issued:
OCTOBER 7, 2014

Revisions:

CITY COMMENTS	DATE
CITY COMMENTS	2-13-15
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Sheet Title:
LANDSCAPE SITE PLAN

Sheet Number:
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 Phase IA**

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Sheet Title:
**LANDSCAPE
 COURTYARD
 ENLARGEMENT**

Sheet Number:
LDP 1.4



1 WEST COURTYARD PLANTING PLAN
 PLAN



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Reviewed: MM, GG

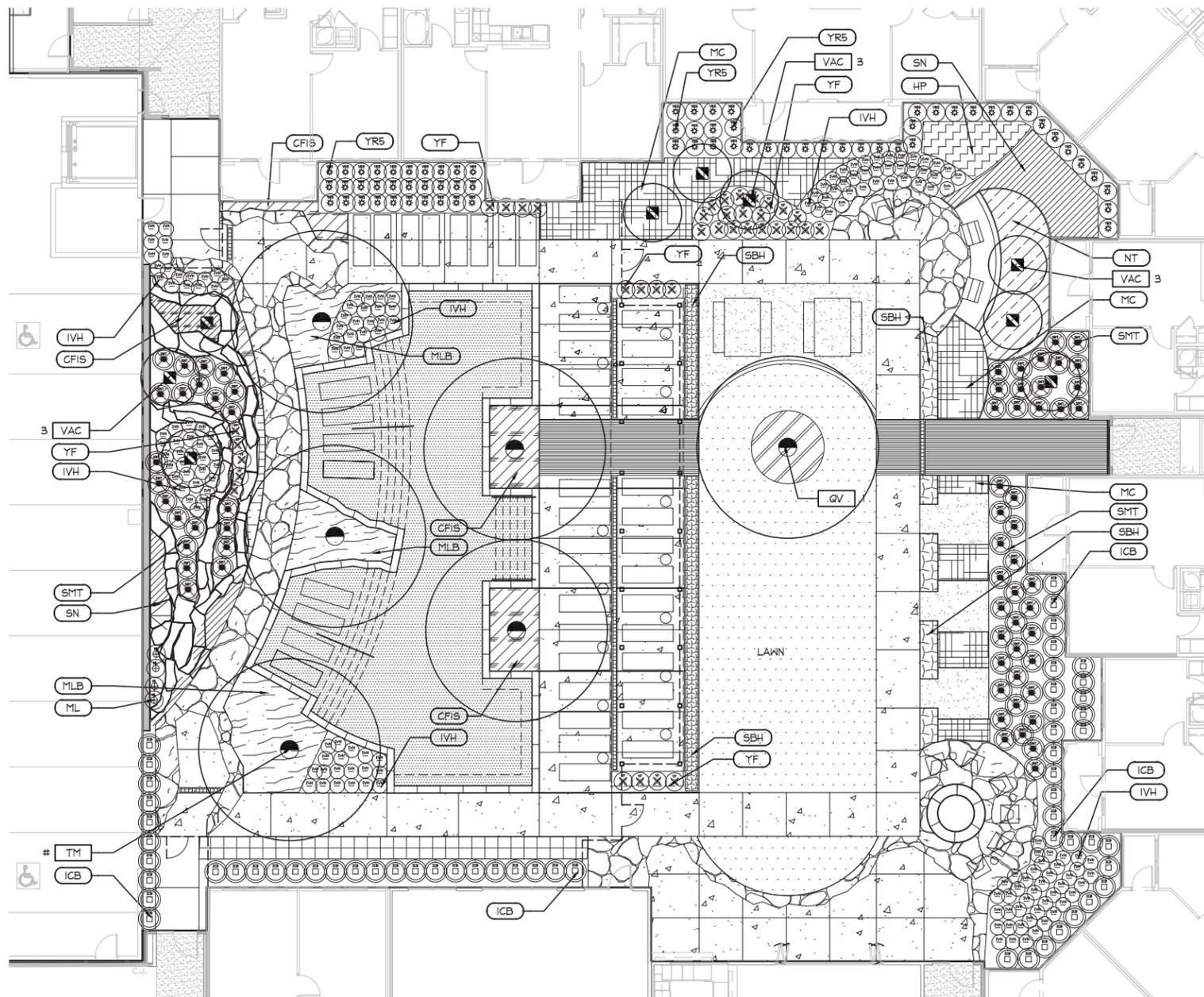
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Revisions:

CITY COMMENTS	2-13-15
CITY COMMENTS	6-15-15
CITY COMMENTS	8-11-15

Sheet Title:
**LANDSCAPE
 COURTYARD
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Sheet Number:
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1 EAST COURTYARD PLANTING PLAN
 PLAN

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PLANT LIST						
SHADE TREES						
QTY	GRAPHIC	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
10		FT	SEEDLESS TEXAS ASH	FRAXINUS TEXENSIS	5' CAL. 100 GAL. 15' HT., 6' SPRD.	SINGLE STRAIGHT LEADER, CONTAINER GROWN, SEEDLESS
52		IV	YAUAPON HOLLY	ILEX VOMITORIA	45 GAL., 7' HT., 4' SPRD.	MULTI-TRUNK, CONTAINER GROWN
28		PMEX	MEXICAN SYCAMORE	PLATANUS MEXICANA	4' CAL. 100 GAL. 15' HT. 7' SPRD	SINGLE STRAIGHT LEADER, CONTAINER GROWN, MATCHING
1		QMA	BUR OAK	QUERCUS MACROCARPA	5' CAL. 100 GAL., 16' HT., 7' SPRD	SINGLE STRAIGHT LEADER, CONTAINER GROWN
12		QV	LIVE OAK	QUERCUS VIRGINIANA	8' CAL 18'-20' HT. 14' SPRD.	SPECIMAN SELECTED BY LANDSCAPE ARCHITECT
3		QVI	LIVE OAK	QUERCUS VIRGINIANA	5' CAL., 16' HT., 8' SPRD.	CONTAINER GROWN, 6' CLEAR TRUNKSINGLE STRAIGHT LEADER
33		UA	PRINCETON AMERICAN ELM	ULMUS AMERICANA 'PRINCETON'	5' CAL. 100 GAL. 16' HT., 8' SPRD.	STRAIGHT CENTRAL LEADER, CONTAINER GROWN, MATCHING
9		UP	ALLEE ELM	ULMUS PARVIFOLIA	4' CAL. 100 GAL., 15' HT., 7' SPRD.	SINGLE STRAIGHT LEADER, CONTAINER GROWN
55		VAC	VITEX	VITEX AGNUS-CASTUS	45 GAL., 7' HT., 4' SPRD.	MULTI-TRUNK, CONTAINER GROWN

SHRUBS, ORNAMENTAL GRASSES, AND VINES					
GRAPHIC	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
	AA	AMERICAN AGAVE	AGAVE AMERICANA	10 GAL., 16" HT., 18" O.C.	PLANT AS SHOWN ON PLAN
	HC	TEXAS STAR HIBISCUS	HIBISCUS COCCINEUS	3 GAL., 16" HT., 14" SPRD.	24" O.C., FULL TO POT, 28 PLANTS/ S.F.
	HL	SPIDER LILY 'WHITE'	HYMENOCALLIS 'TROPICAL GIANT'	1 GAL., 16" HT.	24" O.C., FULL TO POT, 28 PLANTS/ S.F.
	ICB	DWARF BURFORD HOLLY	ILEX CORNUTA 'BURFORDII NANA'	5 GAL 20" HT 18" SPRD	36" O.C. FULL TO PLANT .12 PLANTS/ S.F.
	INS	NELLIE R. STEVENS HOLLY	ILEX X NELLIE R STEVENS	5 GAL., 24" HT., 18" SPRD	42" O.C., FULL TO POT .10 PLANTS/ S.F.
	IVH	DWARF YAUAPON HOLLY 'HELLER!'	ILEX VOMITORIA 'HELLER!'	3 GAL., 16" HT., 16" SPRD.	24" O.C., 28 PLANTS/ S.F.
	JS	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	5 GAL., 12" HT., 24" SPRD.	5' O.C., FULL TO POT .04 PLANTS/ S.F.
	ML	LINDHEIMER MUHLY	MUHLENBERGIA LINDHEIMERI	3 GAL., 24" HT., 15" SPRD.	30" O.C., FULL TO POT, .18 PLANTS/ S.F.
	PT	WHEELER'S DWARF PITTOSPORUM	PITTOSPORUM TOBIRA 'WHEELER'	3 GAL., 18" HT., 15" SPRD.	24" O.C., FULL TO POT, 28 PLANTS/ S.F.
	RO	ROSEMARY	ROSMARINUS OFFICINALIS	3 GAL., 16" HT., 14" SPRD.	30" O.C., FULL TO POT .18 PLANTS/ S.F.
	RS	RED DRIFT ROSE	ROSA, SPP 'DRIFT-RED'	3 GAL., 16" HT., 14" SPRD	30" O.C., FULL TO POT .18 PLANTS/ S.F.
	SMT	DWARF PALMETTO	SABAL MINOR	5 GAL., 24" HT., 18" SPRD.	36" O.C., FULL TO POT .12 PLANTS/ S.F.
	YF	COLOR GUARD YUCCA	YUCCA FILAMENTOSA	3 GAL 20" HT 14" SPRD	36" O.C., FULL TO POT .18 PLANTS/ S.F.
	YRS	SOFT LEAF YUCCA	YUCCA RECURVIFOLIA	3 GAL 16" HT 16" SPRD	30" O.C. FULL MATCHED, CONTAINER GROWN.18 PLANTS/ S.F.

PERENNIALS, GROUNDCOVERS, AND ANNUALS					
GRAPHIC	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
	AP	PARRY'S AGAVE	AGAVE PARRYI	3 GAL., 12" HT., 12" SPRD.	24" O.C. FULL PLANT CONTAINER GROWN .29 PLANTS/ S.F.
	CF	JAPANESE HOLLY FERN	CYRTOMIUM FALCATUM	1 GAL., 14" HT., 12" SPRD.	18" O.C. FULL PLANT CONTAINER GROWN .49 PLANTS/ S.F.
	CFIS	GOLDEN SHOWERS THRYALLIS	CASSIA FISTULA	3 GAL 15" HT 15" SPRD	24" O.C. FULL PLANT CONTAINER GROWN .29 PLANTS/ S.F.
	CL	INLAND SEA OATS	CHASMANTHIUM LATIFOLIUM	1 GAL., 16" HT., 14" SPRD.	24" O.C. FULL PLANT CONTAINER GROWN, 28 PLANTS/ S.F.
	AE	SOUTHERN WOOD FERN	DRYOPTERIS LUDOVICIANA	1 GAL., 12" HT., 12" SPRD.	18" O.C. FULL PLANT CONTAINER GROWN .49 PLANTS/ S.F.
	DLC	CRIMSON FIRE DWF LOROPETALUM	LOROPETALUM CHINENSE VAR. RUBRUM	3 GAL. 16" HT., 16" SPRD.	24" O.C. FULL PLANT CONTAINER GROWN, 28 PLANTS/ S.F.
	EC	WEEPING LOVEGRASS	ERAGROSTIS CURVULA	1 GAL. 12" HT., 8" SPRD.	18" O.C. FULL PLANT CONTAINER GROWN .49 PLANTS/ S.F.
	HP	RED YUCCA 'BRAKELIGHTS'	HESPERALOE PARVIFLORA 'PERPA'	3 GAL., 18" HT., 16" SPRD.	24" O.C. FULL PLANT CONTAINER GROWN, 28 PLANTS/ S.F.
	LMG	GIANT LIRIOPE	LIRIOPE MUSCARI 'EVERGREEN GIANT'	1 GAL., 14" HT., 12" SPRD.	18" O.C. FULL PLANT CONTAINER GROWN .49 PLANTS/ S.F.
	MA	TURK'S CAP	MALVAVISCUS ARBOREUS DRUMMONDII	1 GAL 18" HT 14" SPRD	24" O.C. FULL PLANT CONTAINER GROWN 28 PLANTS/ S.F.
	MC	GULF MUHLY	MUHLENBERGIA CAPELLARIS	3 GAL., 16" HT. 16" SPRD.	24" O.C. FULL PLANT CONTAINER GROWN, 28 PLANTS/ S.F.
	MLB	BLACKFOOT DAISY	MELAMPIDIUM LEUCANTHUM	1 GAL., 10" HT., 10" SPRD.	18" O.C. FULL PLANT CONTAINER GROWN .49 PLANTS/ S.F.
	MSA	JAPANESE SILVER GRASS 'ADAGIO'	MISCANTHUS SINENSIS 'ADAGIO'	1 GAL., 20" HT., 16" SPRD.	24" O.C. FULL PLANT CONTAINER GROWN, 28 PLANTS/ S.F.
	NT	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GAL 16" 14" SPRD	24" O.C. FULL PLANT CONTAINER GROWN, 28 PLANTS/ S.F.
	PA	RUSSIAN SAGE	PEROVSKIA ATRIFLIGIFOLIA	1 GAL., 16" HT., 14" SPRD.	18" O.C. FULL PLANT CONTAINER GROWN .49 PLANTS/ S.F.
	PH	DWARF FOUNTAIN GRASS 'HAMEL'	PENNISETUM ALOPECUROIDES 'HAMEL'	3 GAL., 14" HT., 14" SPRD.	24" O.C., FULL TO POT, 28 PLANTS/ S.F.
	RH	BLACK EYE SUSAN	RDBECKIA HIRTA	1 GAL 14" HT 12" SPRD	18" O.C. FULL PLANT CONTAINER GROWN .49 PLANTS/ S.F.
	RMB	MAJESTIC BEAUTY INDIAN HAWTHORN	RAPHIOLEPIS INDICA	3 GAL., 18" HT., 16" SPRD.	24" O.C. FULL PLANT CONTAINER GROWN, 28 PLANTS/ S.F.
	RSK	KATIE'S DWARF RUELLIA	RUELLIA BRITTONIANA 'KATIES DWARF'	1 GAL., 8" HT., 12" SPRD	12" O.C., FULL TO POT
	SB	LAMB'S EAR	STACHYS BYZANTINA	1 GAL., 10" HT 30" SPRD.	12" O.C., FULL TO POT
	SBH	BLUE HILL SALVIA	SALVIA SYLVESTRIS 'BLUE HILL'	1 GAL. 10" HT., 8" SPRD.	18" O.C. FULL PLANT CONTAINER GROWN .49 PLANTS/ S.F.
	SC	SEASONAL COLOR	SELECTION BY OWNER	4" POTS	8" O.C., CHANGE OUT SEASONALLY
	SG	AUTUMN SAGE	SALVIA GREGGII 'RED'	1 GAL., 14" HT., 14" SPRD.	18" O.C., FULL TO POT, .49 PLANTS/ S.F.
	SN	MAY NIGHT SALVIA	SALVIA NEMOROSA	1 GAL 16" HT 10" SPRD	18" O.C. FULL PLANT CONTAINER GROWN .49 PLANTS/ S.F.
	SS	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	1 GAL., 12" HT., 8" SPRD.	24" O.C. FULL PLANT CONTAINER GROWN, 28 PLANTS/ S.F.
	TAS	ASIAN JASMINE	TRACHELOSPERMUM ASIATICUM	4" POTS, 6" HT., 4 RUNNER MINIMUM	12" O.C. FULL PLANT CONTAINER GROWN .15 PLANTS/ S.F.
	TP	PURPLE HEART	SETCREASEA PALLIDA	1 GAL., 12" HT., 12" SPRD.	18" O.C. FULL PLANT CONTAINER GROWN .49 PLANTS/ S.F.
	VT	HOMESTEAD RED VERBENA	VERBENA CANADENSIS 'HOMESTEAD RED'	1 GAL., 8" HT., 8" SPRD.	18" O.C. FULL PLANT CONTAINER GROWN .49 PLANTS/ S.F.
	YF	PALE LEAF YUCCA	YUCCA PALLIDA	3 GAL., 12" HT., 12" SPRD.	24" O.C. FULL PLANT CONTAINER GROWN, 28 PLANTS/ S.F.

TURF GRASS AND SEED MIXES					
GRAPHIC	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
	TURF	COMMON BERMUDA	CYNODON DACTYLON	SOLID SOD	----



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Project:
Arlington Commons Phase IA

LANDSCAPE DEVELOPMENT

The Nehemiah Company

ARLINGTON, TEXAS

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PLANT LIST

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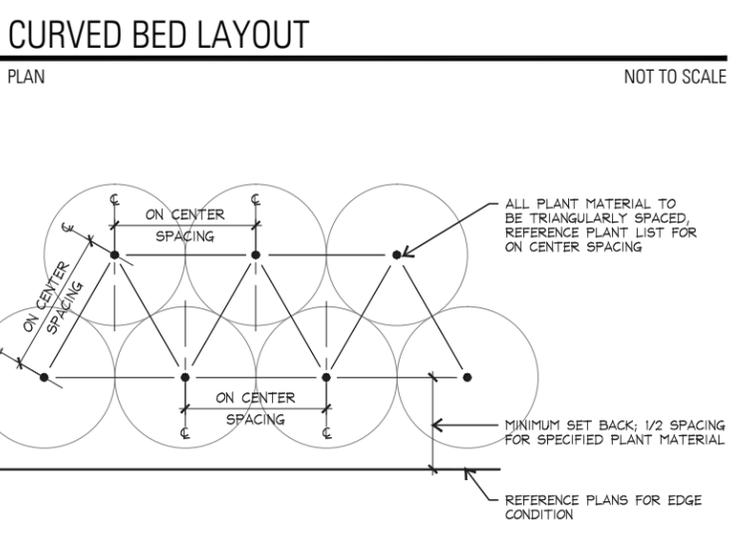
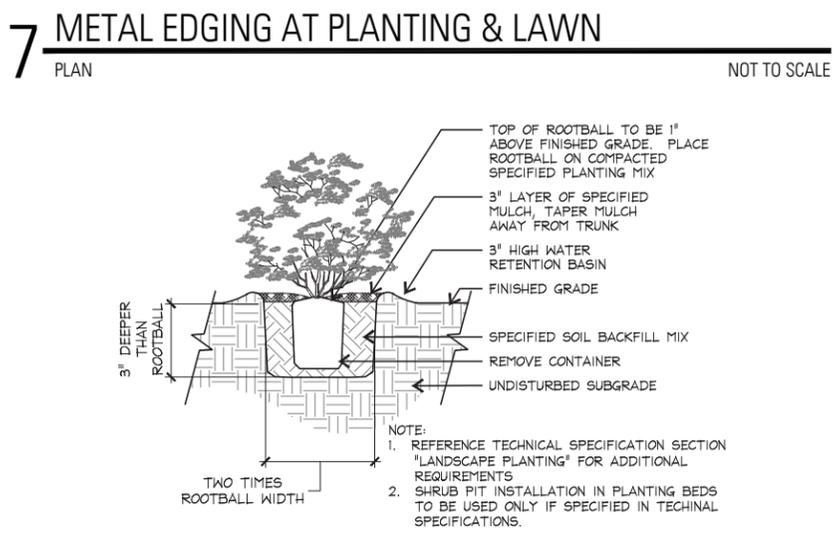
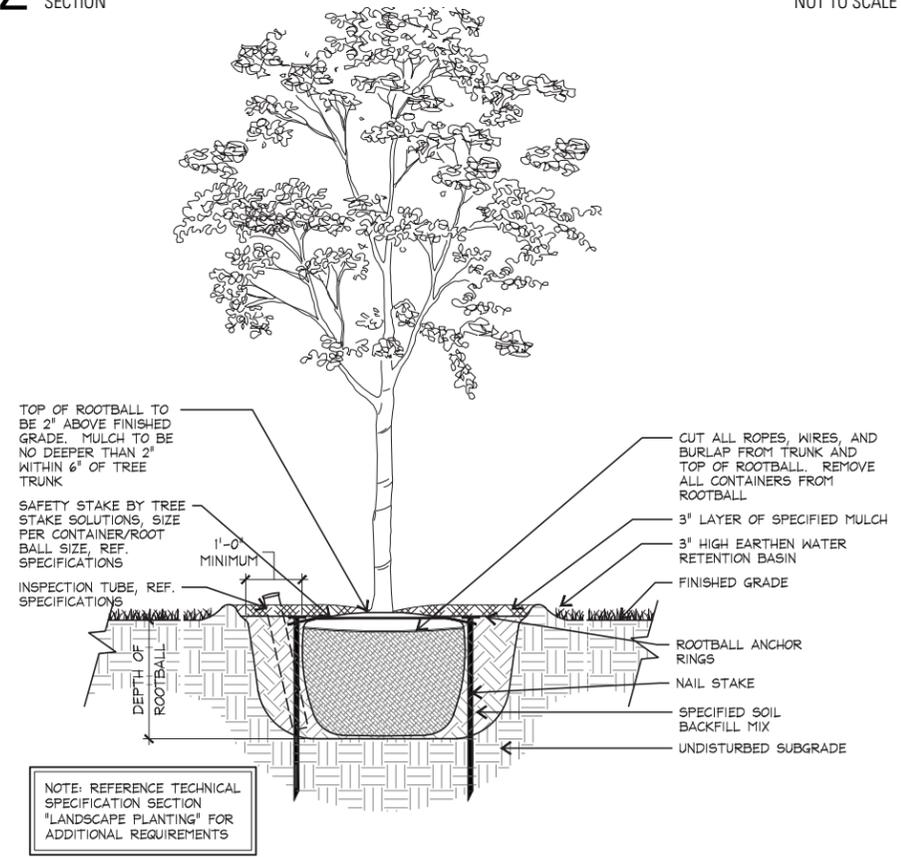
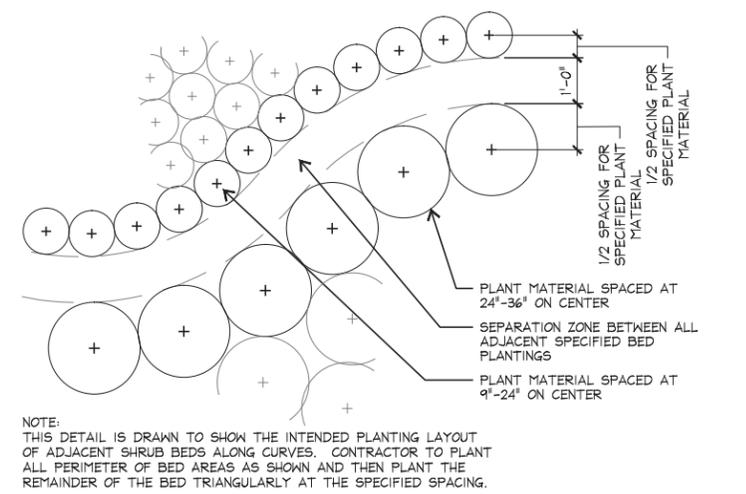
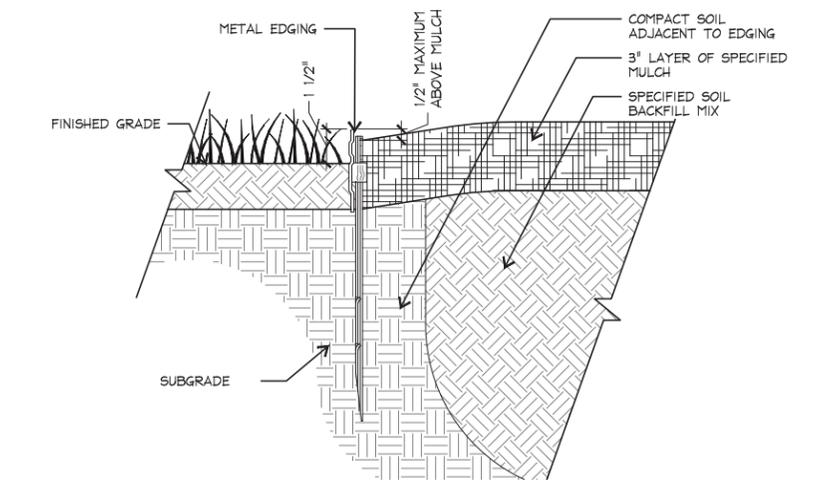
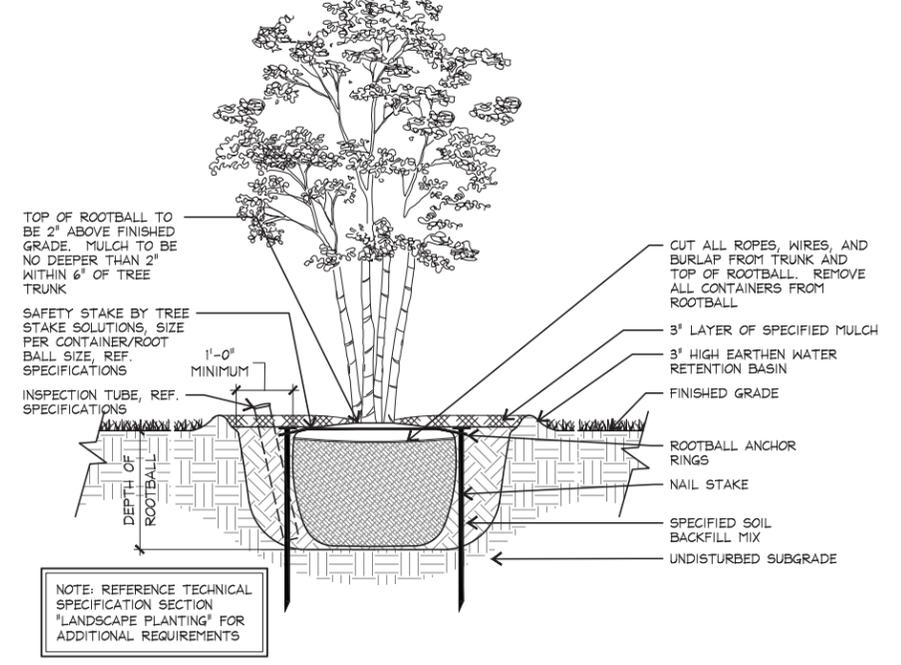
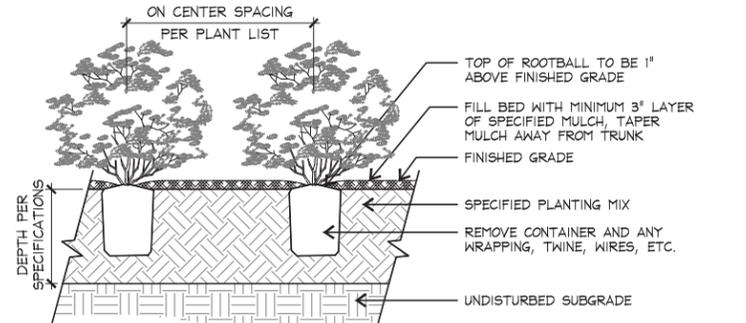
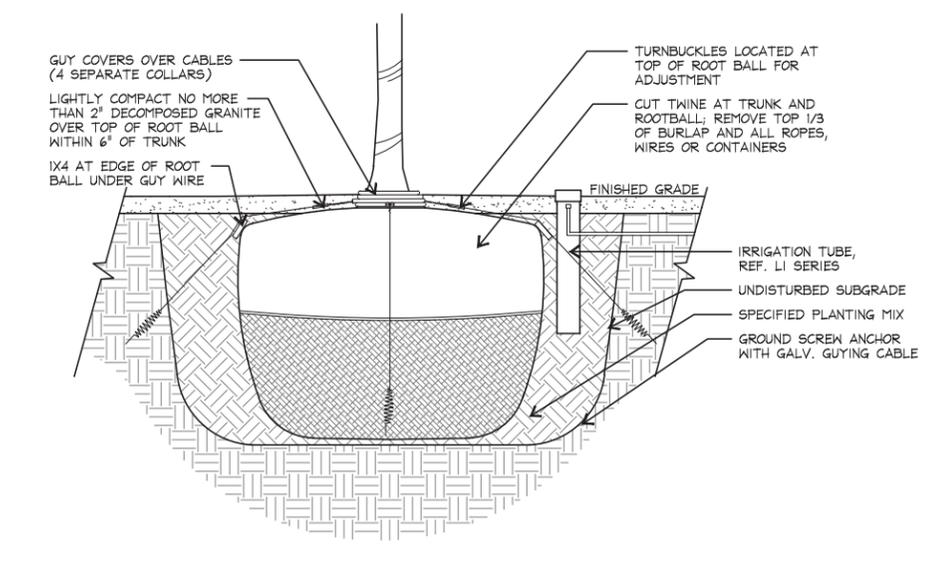
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CITY COMMENTS	2-13-15
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Sheet Title:
PLANTING DETAILS

Sheet Number:
LDP 1.8



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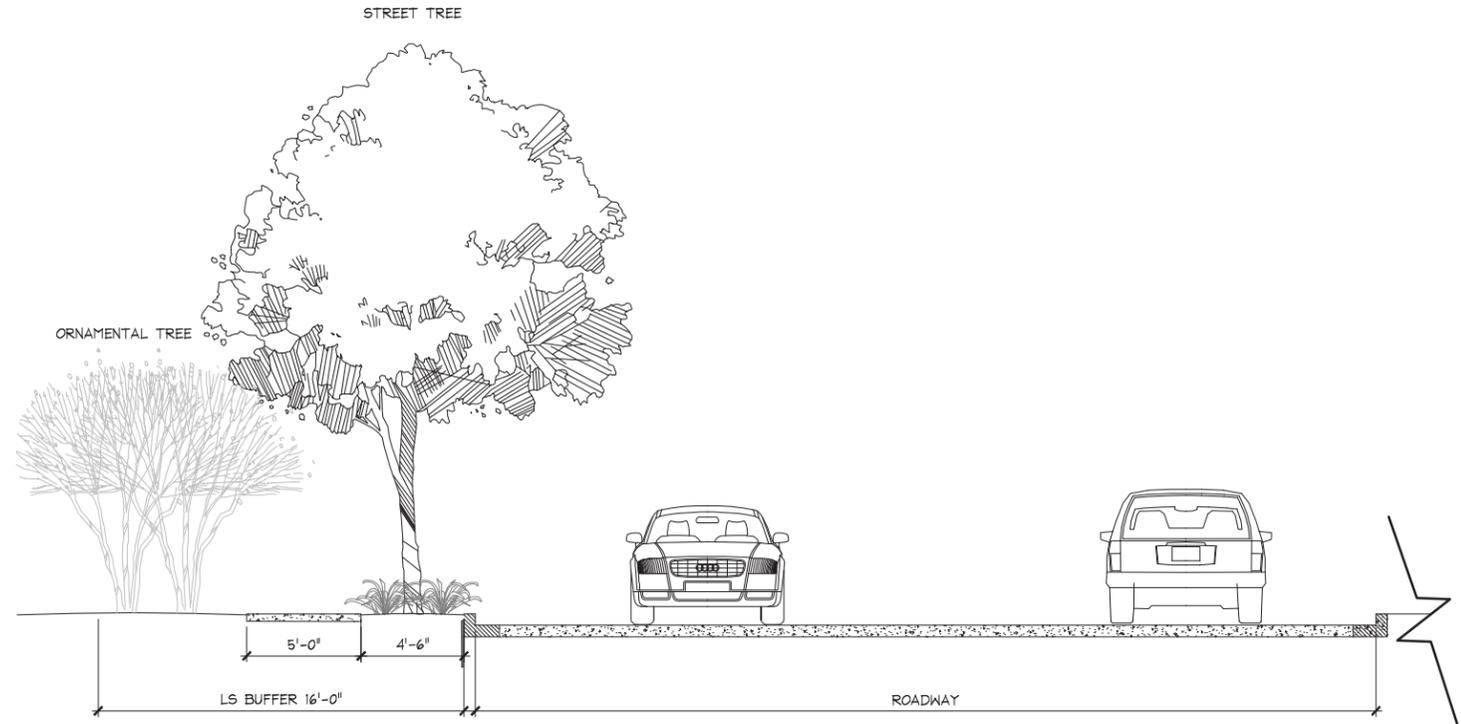
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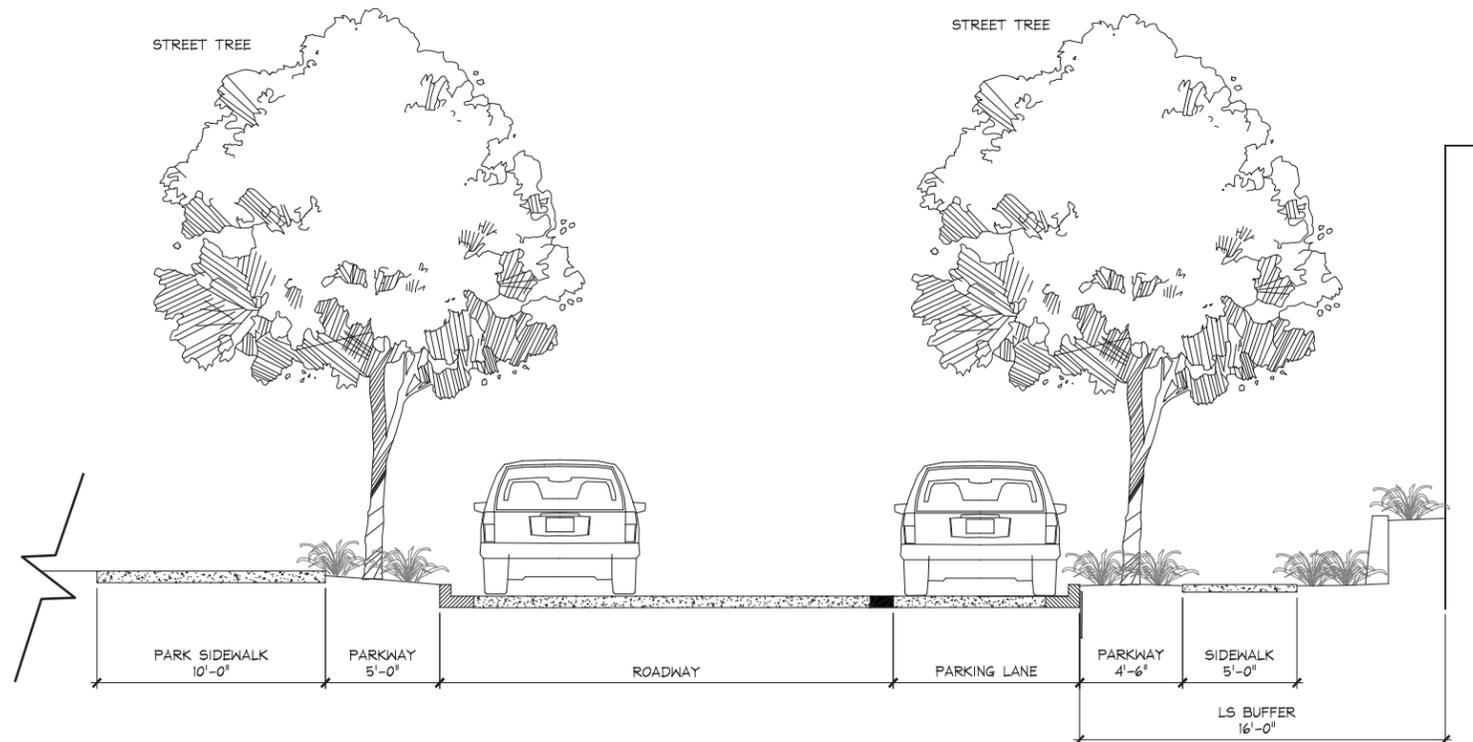
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**STREET
 SECTIONS**

Sheet Number:
LDP 1.9



2 VAN BUREN STREET SECTION
 SECTION

SCALE: 3"=1'-0"



1 LAMAR BOULEVARD STREET SECTION
 SECTION

SCALE: 3"=1'-0"



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Sheet Title:
**STREET ACCESS
 PLAN**

Sheet Number:
LDP 1.10

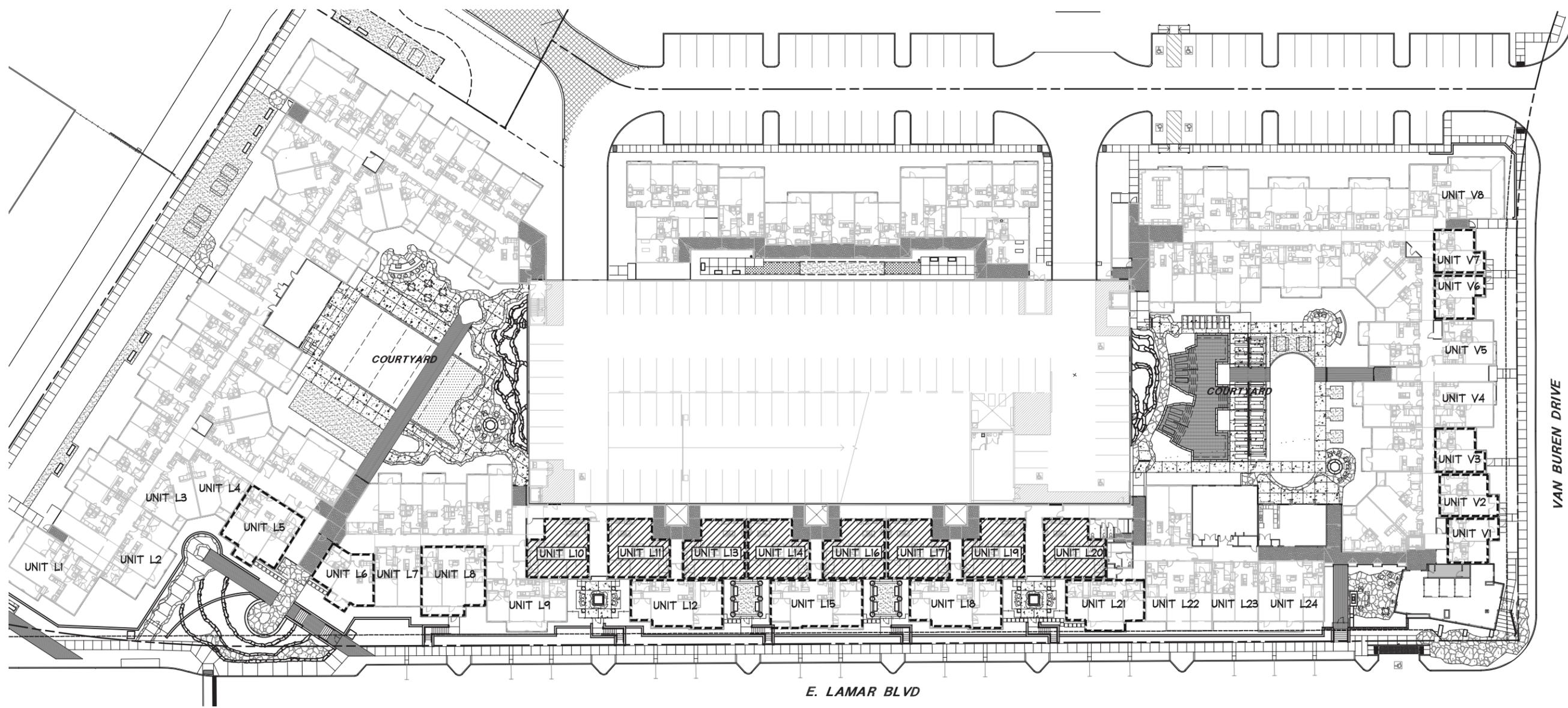
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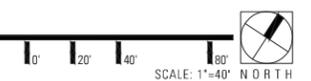
▨ UNITS WITH INDIRECT ACCESS

GROUND FLOOR UNIT ACCESS:

	LAMAR	VAN BUREN	TOTAL
GROUND FLOOR UNITS THAT FRONT ON A PRIMARY STREET	24	8	32
GROUND FLOOR UNITS WITH DIRECT ACCESS TO PRIMARY STREET	7	5	12
GROUND FLOOR UNITS WITH INDIRECT ACCESS TO PRIMARY STREET	8	0	8
PERCENTAGE OF GROUND FLOOR UNITS ON LAMAR AND VAN BUREN WITH ACCESS TO A PRIMARY STREET	63%	63%	63%



1 STREET ACCESS PLAN
 PLAN



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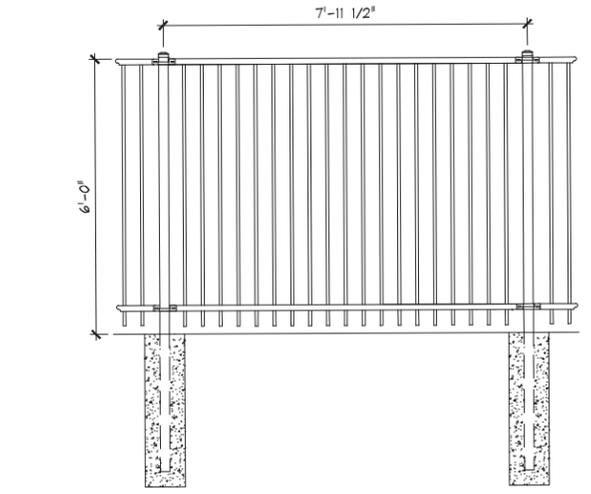
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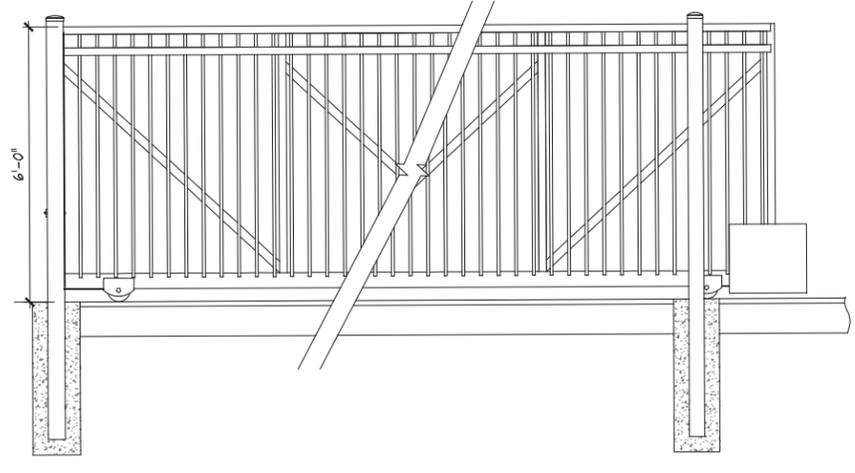
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Sheet Title:
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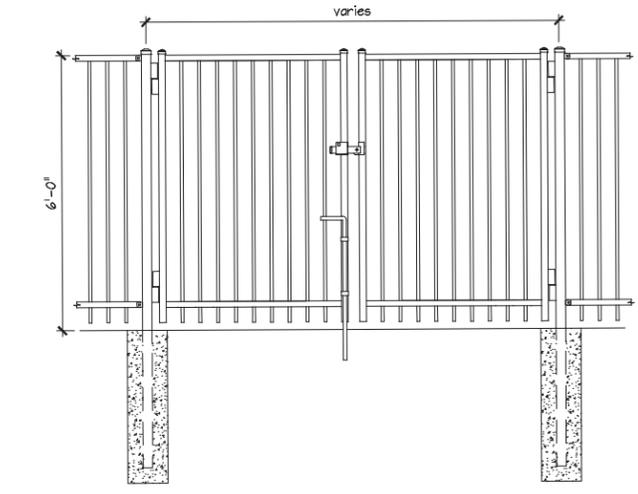
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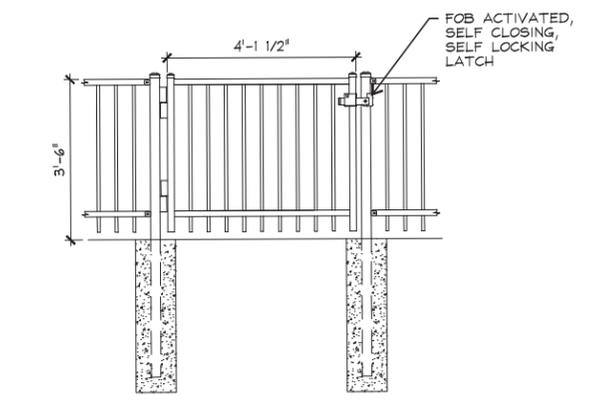
4 TYPICAL PERIMETER FENCE
 ELEVATION SCALE: 1/2"=1'-0"



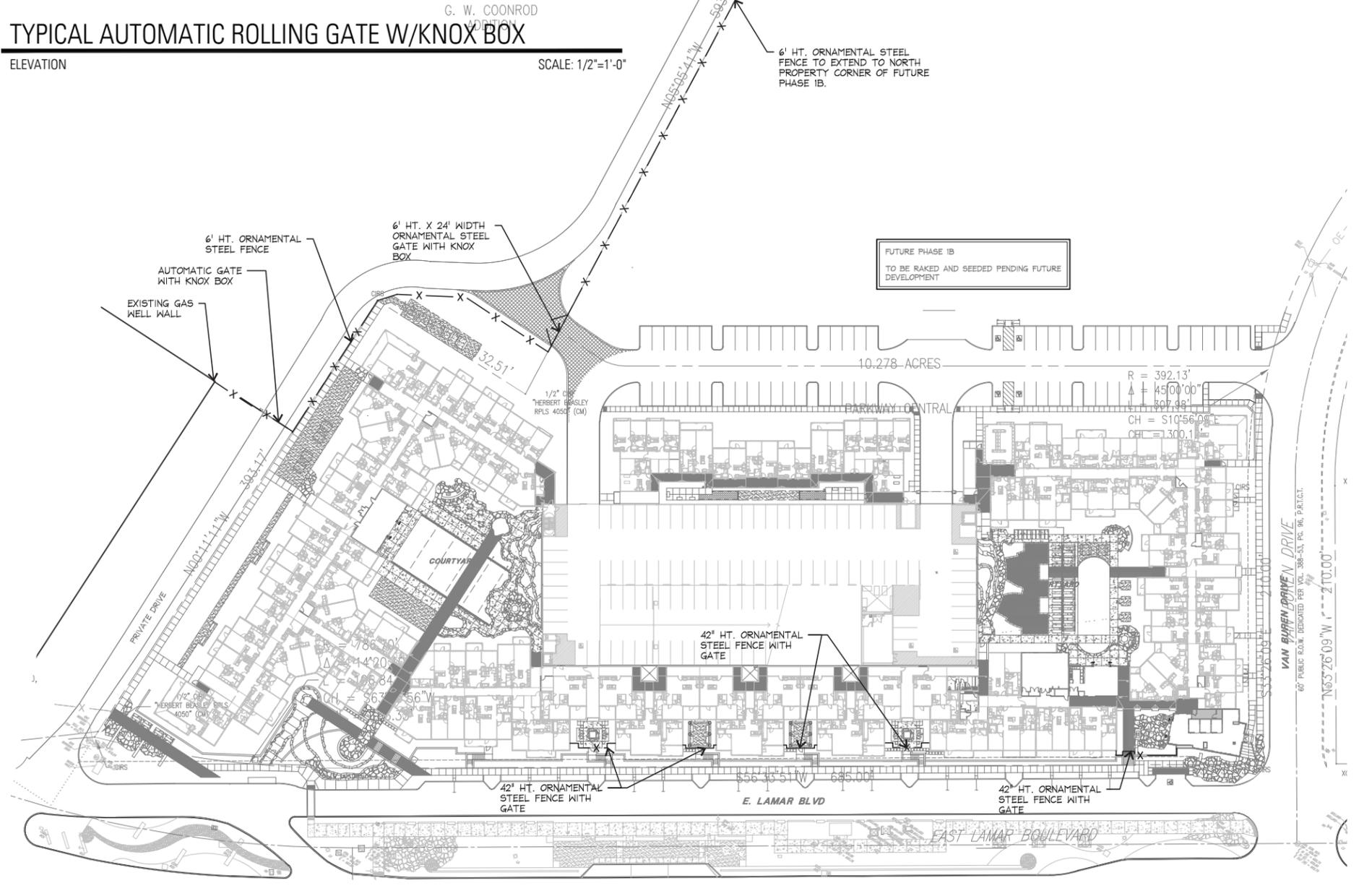
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 ELEVATION SCALE: 1/2"=1'-0"



3 TYPICAL PERIMETER GATE W/KNOX BOX
 ELEVATION SCALE: 1/2"=1'-0"



2 PATIO GATE / FENCE
 ELEVATION SCALE: 1/2"=1'-0"



1 FENCING EXHIBIT
 PLAN SCALE: 1"=40' NORTH



Organic Bioswale



Food Park - Picnic Tables, DG Surface



Pop Up Retail Kiosks



- ① Park Identification Icon
- ② Organic Bioswale
- ③ Carved Limestone Walls
- ④ Park Pavilion
- ⑤ Green Street Type Bioswale
- ⑥ Open Lawn with Moveable Seating
- ⑦ Existing Trees with DG Surface - Food Park
- ⑧ Pop Up Retail Kiosk
- ⑨ On Street Parking
- ⑩ Park Living Wall Kiosk
- ⑪ Seating Pads
- ⑫ Paving Area



Carved Limestone Walls



Park Pavilion



Seating Pads



Green Street Type Bioswale

- ① Park Identification Icon
- ② Paving Area
- ③ Organic Bioswale
- ④ Carved Limestone Walls
- ⑤ Green Street Type Bioswale
- ⑥ Park Pavilion
- ⑦ Open Lawn with Moveable Seating
- ⑧ Existing Trees with DG Surface - Food Park
- ⑨ Pop Up Retail Kiosk
- ⑩ Park Living Wall Kiosk
- ⑪ Seating Pads
- ⑫ Activity Lawn
- ⑬ Shade Structure with Rainwater Harvesting Cistern
- ⑭ Reading Room with Moveable Seating and DG Surface
- ⑮ Bike Rack/Bike Share
- ⑯ Game Tables
- ⑰ Layered Native Planting
- ⑱ Beer Garden Food Park
- ⑲ Food Park with DG Surface and Pedestrian Lighting
- ⑳ On Street Parking





PERSPECTIVE FACING PARK PAVILION



PERSPECTIVE FACING POP UP RETAIL KIOSKS



PERSPECTIVE FACING FOOD PARK



PERSPECTIVE FACING READING PADS



ARLINGTON COMMONS / LAMAR MEDIAN PARK

Arlington, Texas The Nehemiah Copmany 24 February 2015

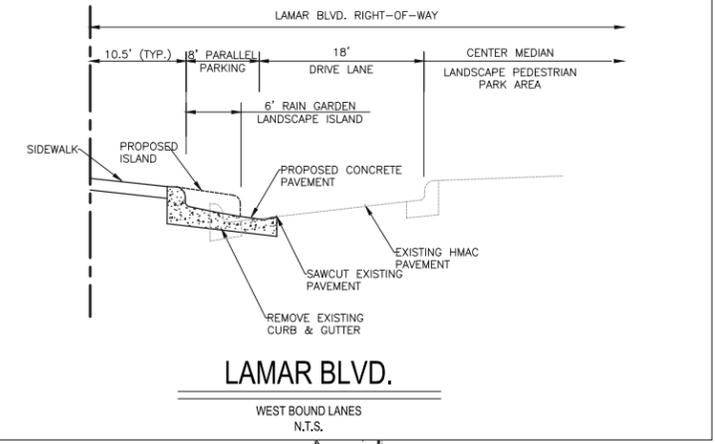
LAMAR COMMONS Phase 1 CONCEPT (from Van Buren to Golf Course entry)



ARLINGTON COMMONS PHASE 1A CASE NUMBER: DP14-2

10.278 ACRES
(447,717 SQUARE FEET)
LOT A-R, BLOCK 5
PARKWAY CENTRAL
VOL. 388-61, PG. 1,
P.R.T.C.T.
(RECORD DESCRIPTION DOES NOT CLOSE)
OWNER:
PACIFIC CHASE, INC.
VOL. 9984, PG. 854,
D.R.T.C.T.
ADDRESS:
425 EAST LAMAR BOULEVARD

CAUTION:
EXISTING UTILITIES AND UNDERGROUND FACILITIES OF THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION AND AS-BUILT PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION.



VAN BUREN DRIVE
CONVERT OUTSIDE WEST BOUND LANE TO RIGHT TURN ONLY

VAN BUREN DRIVE
SIGNALIZE INTERSECTION WHEN WARRANTED

250.00' STORAGE
TRACT B, BLOCK 3-B
PARKWAY CENTRAL
VOL. 388-121, PG. 72,
P.R.T.C.T.

VAN BUREN DRIVE
EXTEND EXISTING LEFT TURN STORAGE BAY TO 250 FT. LONG (AT TIME OF SIGNALIZATION)

ON-STREET PARKING
8' x 22' TYP. PARKING SPACE

EAST LAMAR BOULEVARD
(120' WIDE PUBLIC R.O.W.)

150.00' TAPER
TRACT A-3R

MEDIAN IMPROVEMENTS
REFER TO LANDSCAPE PLANS FOR PEDESTRIAN AND PARK IMPROVEMENTS IN MEDIAN

18.00' THRU LANE
26.00' F-F
20.00' F-F

RYAN PLAZA DRIVE
END ON-STREET PARKING AND PROVIDE 2 RECEIVING LANES

TRACT A-1R
BLOCK 3-B
PARKWAY CENTRAL
CABINET A, SLIDE 10566,
P.R.T.C.T.

RYAN PLAZA DRIVE
CONVERT RIGHT-TURN ONLY TO A SHARED LEFT/RIGHT TURN

TRACT C, BLOCK 3-B
PARKWAY CENTRAL ADDITION
VOL. 388-121, PG. 72,
P.R.T.C.T.

OWNER:
CRISWELL CENTER FOR BIBLICAL STUDIES
VOL. 9142, PG. 1207,
D.R.T.C.T.

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M. L. PETERSON, PE 92728 7/23/2015
Name PE No. Date



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FILE NAME: Z:\ARLINGTON\THE POINTS\CAD\EXHIBITS\LAMAR GEOMETRIC PLANNING



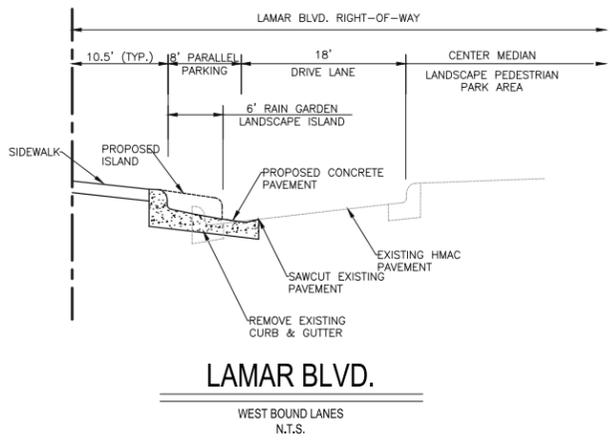
GEOMETRIC PLAN
PARKWAY IMPROVEMENTS
FROM RYAN PLAZA DR. TO VAN BUREN DR.
LAMAR BOULEVARD
ARLINGTON, TEXAS



Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
800 SIX FLAGS DRIVE, SUITE 500
ARLINGTON, TEXAS 76011 (817) 640-8335
TBP# FIRM: F-11917/BPLS FIRM: 101538-00

DRAWN BY: GAI	PROJECT NO. 2631-1007	SHEET
DATE: 7/17/2015	SHEET 1 OF 3	EX.01

CAUTION:
 EXISTING UTILITIES AND UNDERGROUND FACILITIES OF THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION AND AS-BUILT PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION.



LAMAR BLVD.

WEST BOUND LANES
N.T.S.

4.202 ACRES
(183,023 SQUARE FEET)
 TRACT A, BLOCK 6
 PARKWAY CENTRAL
 VOL. 388-53, PG. 96,
 P.R.T.C.T.
 OWNER:
 PMA APARTMENTS, LP
 VOL. 17425, PG. 1,
 D.R.T.C.T.
 ADDRESS:
 505 EAST LAMAR BLVD.

TRACT B, BLOCK 6
 PARKWAY CENTRAL
 VOL. 388-53, PG. 96,
 P.R.T.C.T.
 OWNER:
 BLUE VALLEY APARTMENTS, INC.
 C.C. INSTR. NO. 0212273911,
 DP.R.T.C.T.

ON-STREET PARKING
 8' x 22' TYP. PARKING SPACE

18.00' THRU LANE

EAST LAMAR BOULEVARD
 (120' WIDE PUBLIC R.O.W.)

GARFIELD DRIVE
 SIGNALIZED INTERSECTION
 MODIFICATIONS REQUIRED

PRIVATE DRIVE
 FUTURE/PROPOSED

GARFIELD DRIVE
 CONSTRUCT LEFT TURN LANE

GARFIELD DRIVE
 (60' WIDE PUBLIC R.O.W.)

75.00' TAPER

150.00' STORAGE

TRACT D-R, BLOCK 3-B
 PARKWAY CENTRAL
 VOL. 388-169, PG. 91,
 P.R.T.C.T.

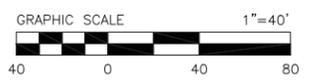
MEDIAN IMPROVEMENTS
 REFER TO LANDSCAPE PLANS
 FOR PEDESTRIAN AND PARK
 IMPROVEMENTS IN MEDIAN

TRACT E-1, BLOCK 3-B
 PARKWAY CENTRAL
 CABINET B, SLIDE 1380,
 P.R.T.C.T.

VAN BUREN DRIVE
 CONVERT OUTSIDE WEST BOUND
 LANE TO RIGHT TURN ONLY

VAN BUREN DRIVE
 SIGNALIZE INTERSECTION
 WHEN WARRANTED

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 M. L. PETERSON, PE 92728 7/23/2015
 Name PE No. Date



GEOMETRIC PLAN
 PARKWAY IMPROVEMENTS
 FROM VAN BUREN DR. TO GARFIELD DR.

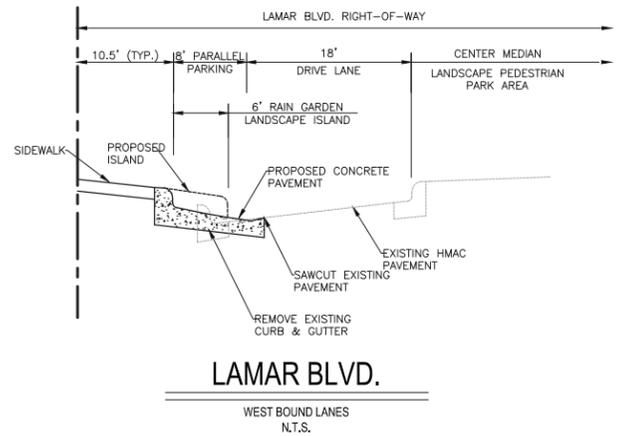
LAMAR BOULEVARD
 ARLINGTON, TEXAS



Graham Associates, Inc.
 CONSULTING ENGINEERS & PLANNERS
 800 SIX FLAGS DRIVE, SUITE 500
 ARLINGTON, TEXAS 76011 (817) 640-8335
 TBPE FIRM: F-11917/TBPLS FIRM: 101538-00

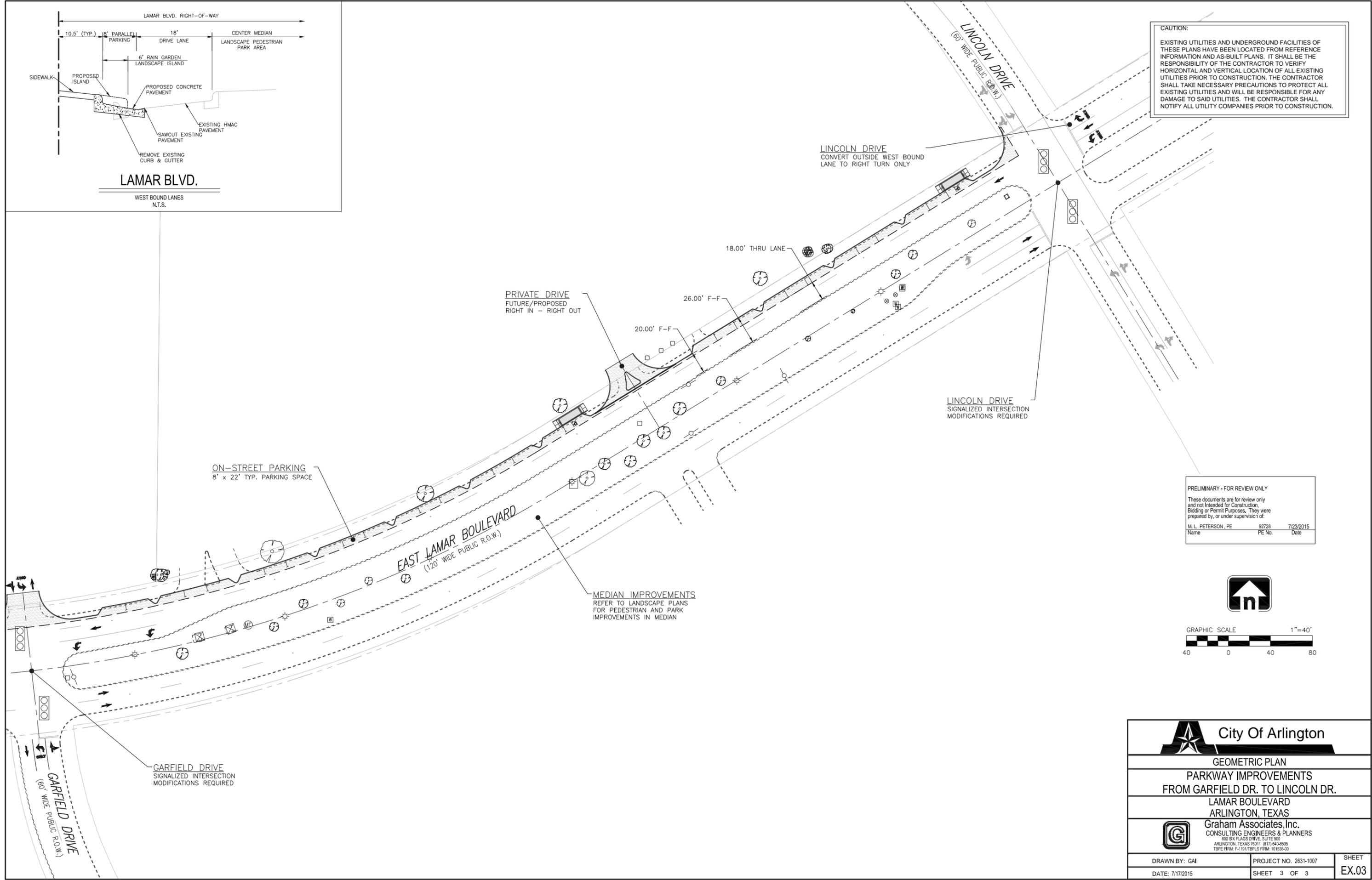
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DATE: 7/17/2015	SHEET 2 OF 3	EX.02

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M. L. PETERSON, PE 92728 7/23/2015
Name PE No. Date



City of Arlington		
GEOMETRIC PLAN		
PARKWAY IMPROVEMENTS FROM GARFIELD DR. TO LINCOLN DR.		
LAMAR BOULEVARD ARLINGTON, TEXAS		
Graham Associates, Inc. CONSULTING ENGINEERS & PLANNERS 800 SIX FLAGS DRIVE, SUITE 500 ARLINGTON, TEXAS 76011 (817) 640-8835 TBP# FIRM: F-11917/TPLS FIRM: 101538-00		
DRAWN BY: GAI	PROJECT NO. 2631-1007	SHEET
DATE: 7/17/2015	SHEET 3 OF 3	EX.03

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FILE NAME: Z:\ARLINGTON\THE POINTS\JOB\EXHIBITS\LAMAR GEOMETRIC PLAN.DWG



Arlington
INDEPENDENT SCHOOL DISTRICT
More Than a Remarkable Education

July 3, 2013

Trey Yelverton, City Manager
City of Arlington
P.O. Box 90231
Arlington, TX 76004-3231

Dear Trey,

It has come to our attention that JCKPL, LLC, is pursuing the development of a new apartment community in north Arlington. The group intends to demolish four aging apartment complexes located along Lamar Blvd. and Van Buren Dr., directly across from and south of Roquemore Elementary School, and replace them with new, high density apartments.

The redevelopment project may impact the number of students enrolled at Roquemore Elementary. Therefore, AISD will need to consider how to best address that impact as the project progresses. Our *Achieve Today. Excel Tomorrow.* strategic plan contains a goal that "the AISD will be the leader in the education marketplace by providing world-class facilities while being fiscally responsible." We are currently engaged in a comprehensive facilities assessment to identify needs for all of our facilities and develop a long-range facilities master plan. Enrollment forecasts produced by AISD's contracted demographics firm will be considered along with the facilities assessment results as we develop the facilities master plan. Community engagement will be solicited to prioritize needs for the master plan and develop the District's next bond package for possible consideration in 2014. The impact that JCKPL's north Arlington redevelopment plan will have on Roquemore and other north Arlington schools will be considered as the master plan is developed. Options for Roquemore include but are not limited to changes in the instructional design, building renovations, and/or boundary changes.

Please let me know if you have any questions regarding Roquemore Elementary.

Sincerely,

Dr. Marcelo Cavazos
Superintendent