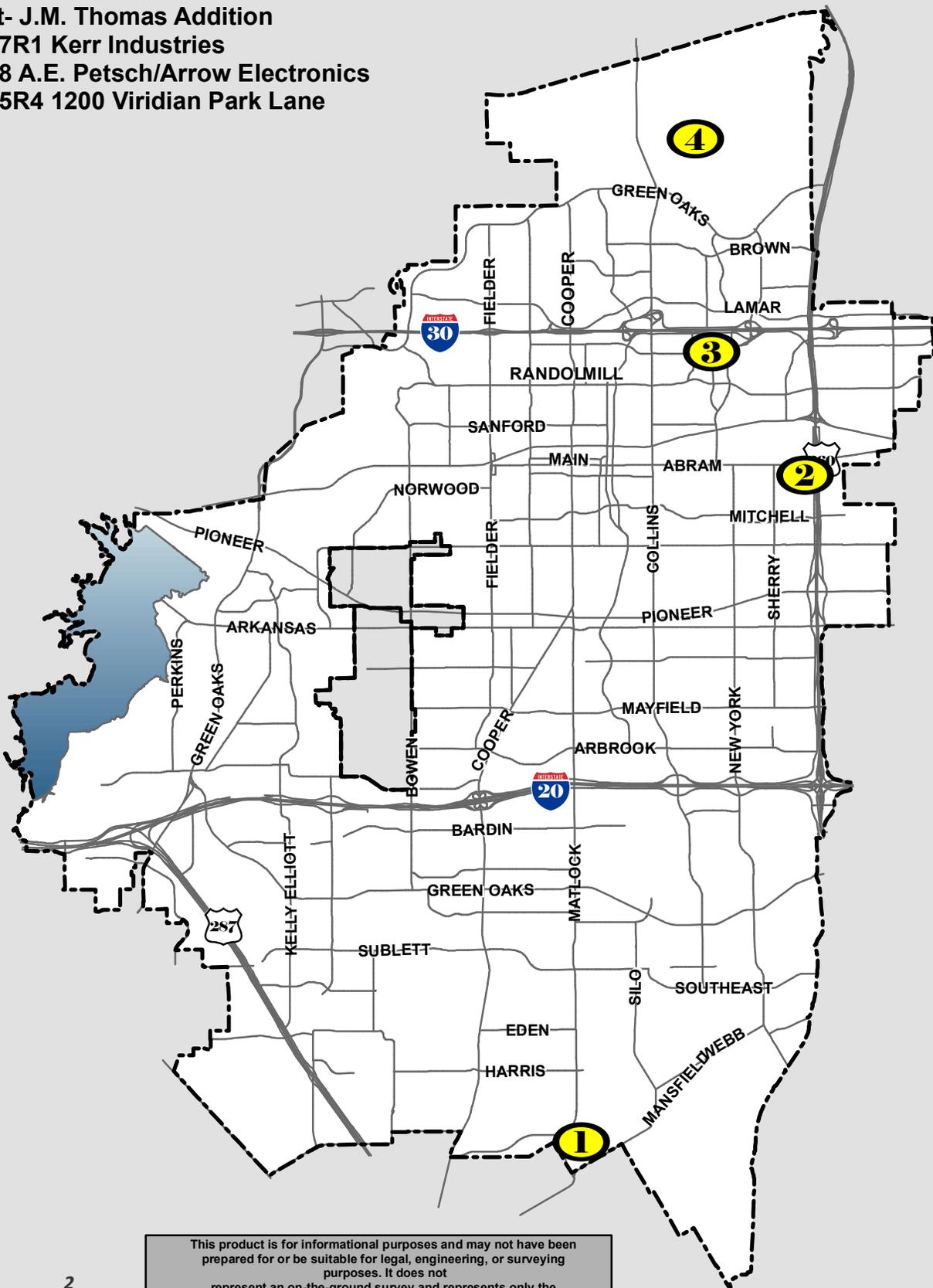


PLANNING & ZONING

June 15, 2016



1. Replat- J.M. Thomas Addition
2. PD15-7R1 Kerr Industries
3. PD16-8 A.E. Petsch/Arrow Electronics
4. PD07-5R4 1200 Viridian Park Lane



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





AGENDA

**PLANNING AND ZONING COMMISSION
WORK SESSION**

**Council Briefing Room
101 WEST ABRAM STREET**

JOINT WORK SESSION

Planning and Zoning Commission and

The Planning and Zoning Commission

SITTING AS

THE CAPITAL IMPROVEMENTS PROGRAM ADVISORY COMMITTEE

June 15, 2016

3:30 P.M.

- I. CALL TO ORDER**

- II. CIPAC – IMPACT FEE COLLECTION RATE**

- III. DISCUSSION OF THE REGULAR SESSION AGENDA ITEMS**

- IV. DISCUSSION OF FUTURE MEETING DATES AND TIMES**
 - (a) Planning and Zoning Commission Two-Hour Bus Tour – July 8, 2016

 - (b) Planning and Zoning Commission Meeting – July 13, 2016

- V. ADJOURN**

NOTE: City Hall is wheelchair accessible. For other accommodations or sign interpretive services, please call the Strategic Planning Division at 817-459-6667 not later than 24 hours in advance.



AGENDA

Planning and Zoning Commission
Regular Session

Council Briefing Room, 3rd floor
101 West Abram Street

June 15, 2016
5:30 P.M.

Meeting order is subject to change per the Commission's Discretion

I. CALL TO ORDER

II. PLEDGE

III. APPROVAL OF MINUTES

- A. Minutes of June 1, 2016 P&Z Meeting

IV. PLAT CONSENT AGENDA AND PUBLIC HEARING FOR PLATS

- A. Replat – J.M. Thomas Addition, Lots 3R1, 3R2, and 3R3, Zoned Office Commercial (OC) and Planned Development (PD) for Office Commercial (OC) uses plus a pharmacy and optical store; generally located south of West Turner Warnell Road and west of Matlock Road with the approximate address being 8200 Matlock Boulevard.

V. PUBLIC HEARING FOR ZONING CASES

- A. Zoning Case PD15-7R1
(Building for Kerr Industries – 2540 East Abram Street)

Application to amend the existing Planned Development (PD) for limited Industrial Manufacturing (IM) uses, with a development Plan on approximately 11.251 acres; generally located south of East Abram Street and west of South Watson Road.

NOTE: City Hall is wheelchair accessible. For other accommodations or sign interpretive services, please call the Strategic Planning Division at 817-459-6652 not later than 24 hours in advance.

- B. Zoning Case PD16-8
(A.E. Petsch/Arrow Electronics – 1501 Nolan Ryan Expressway)

Application to change the zoning on approximately 3.939 acres from Entertainment District Overlay – Community Commercial (EDO-CC) to Planned Development (PD) for limited Entertainment District Overlay-Community Commercial (EDO-CC) uses, plus Distribution-Warehouse and Wholesale Supply, with a Development Plan; generally located north of Nolan Ryan Expressway and west of AT&T Way.

- C. Zoning Case PD07-5R4
(Viridian – 1200 Viridian Park Lane)

An application requesting an amendment to the existing Viridian Planned Development (PD), related to the incorporation of the 19.997-acre property formerly known as the B. Barney Baker property and zoned Residential Estate (RE), the elimination of inconsistencies related to the Unified Development Code (UDC), the elimination of the references and terminology from the previous Zoning Ordinance, revised Thoroughfare Plan and Street Section details, and the addition of new housing types in the Viridian Planned Development; generally located east of North Collins Street and north of Northeast Green Oaks Boulevard.

VI. MISCELLANEOUS

- A. Reports from Boards/Commissions Liaisons
- B. Reports from Staff and Announcements
- C. Discussion of Future Meeting Dates and Times

VII. ADJOURN



AGENDA

Planning and Zoning Commission

Monthly Bus Tour

**July 8, 2016
8:00 A.M.**

8:00 a.m. Planning and Zoning Commission Two-Hour Bus Tour of various metroplex developments.

A quorum of the Commission may be present. No formal action will be taken.

Staff Report



Replat (J.M. Thomas Addition, Lots 3R1, 3R2, and 3R3)	
Planning and Zoning Meeting Date: 6-15-16	Document Being Considered: Plat

RECOMMENDATION

Consider a Replat on the consent agenda.

PRIOR BOARD OR COUNCIL ACTION

On February 5, 2014, Planning and Zoning Commission approved a Substitute Landscape Plan, SLP14-1 by a vote of 9-0-0, for the reduction of a required landscape buffer.

On February 5, 2014, the Planning and Zoning Commission recommended approval of PD13-20 by a vote of 9-0-0, for a Planned Development (PD) for Office Commercial (OC) uses plus a pharmacy and optical retail store.

On March 4, 2014, City Council approved zoning case PD13-20 by a vote of 8-0-0.

On May 18, 2016, Planning and Zoning Commission recommended approval of PD16-5 by a vote of 9-0-0, for a Planned Development (PD) for Community Commercial (CC) uses limited to a Restaurant with Drive-Through, with a Development Plan.

On June 7, 2016, City Council approved zoning case PD16-5 for a drive through restaurant by a vote of 9-0-0 at first reading.

ANALYSIS

The applicant, Turbo Restaurant Management LLC, proposes to subdivide Lot 3R, a 3.020 acre portion of the J.M. Thomas Addition, creating Lots 3R1, 3R2, and 3R3 of the J.M. Thomas Addition.

The proposed Lot 3R1 is being subdivided in conjunction with zoning application PD16-5 for a Restaurant with Drive Through. Proposed Lot 3R2 will remain undeveloped at this time. Proposed Lot 3R3 will be one independent lot, and is currently developed with an office use. A shared access easement between Lot 3R1 and 3R3 will provide access to Matlock Road for all three lots

Currently, Lot 3R is in both the jurisdiction of the City of Arlington, as well as the City of Mansfield. The City of Mansfield has no objections to the City of Arlington being the sole reviewer on this plat, see attached letter.

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the subdivision regulations.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Property Location: Generally located south of West Turner Warnell Road and west of Matlock Road with the approximate address of 8200 Matlock Road

Sector: Southeast

Council District: 2

Current Zoning: Office Commercial (OC) and
Planned Development (PD) for Office Commercial (OC)
uses plus a pharmacy and optical store

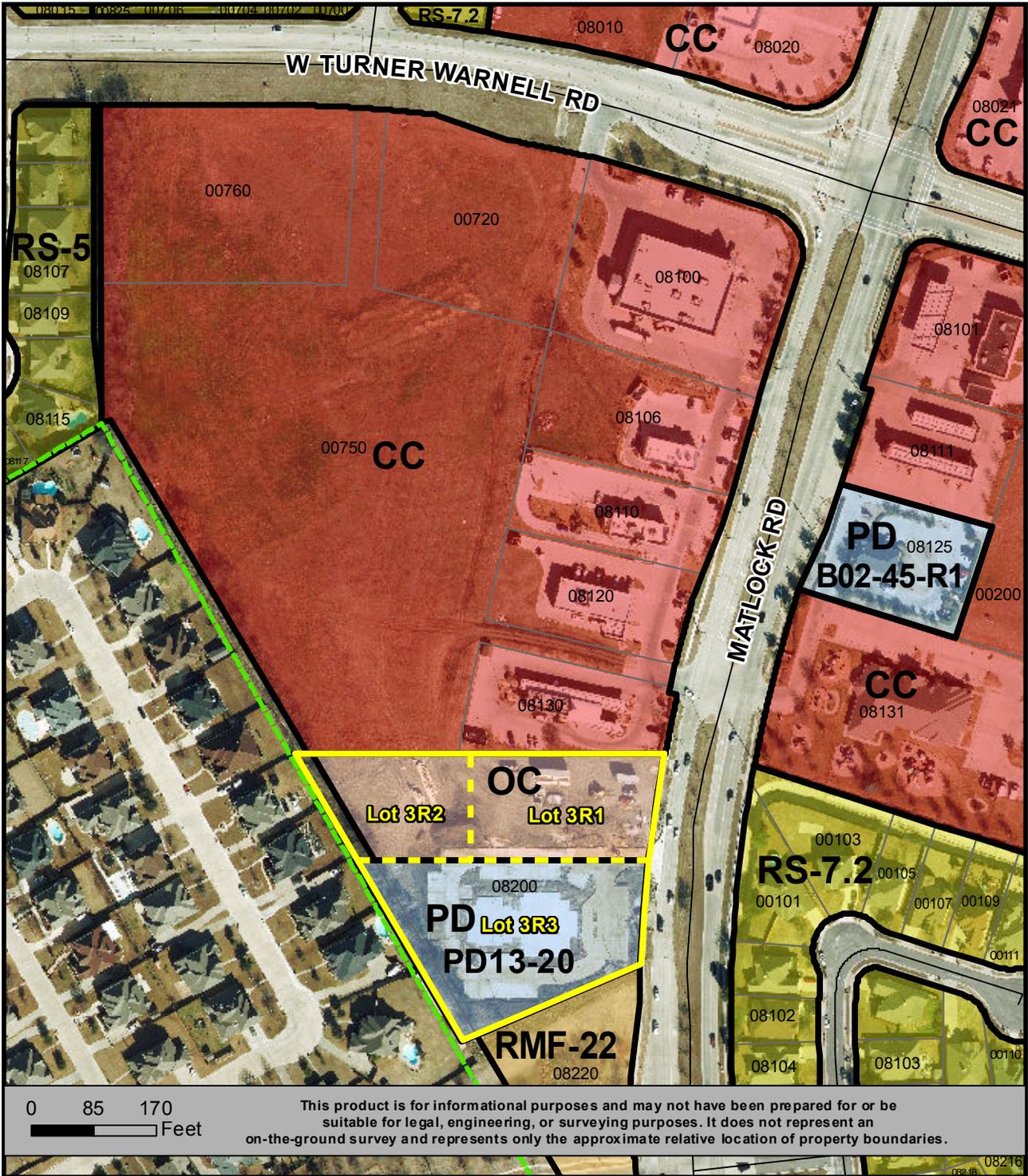
ATTACHED

- i. Location Map
- ii. Letter from City of Mansfield
- iii. 11 x 17 Plat

STAFF CONTACT(S)

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Planning Manager, Land Development
Community Development and Planning
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Jennifer.Pruitt@arlingtontx.gov

Bryan Isham
Planner
Community Development and Planning
817-459-6654
Bryan.Isham@arlingtontx.gov



LOCATION MAP

**J.M. THOMAS ADDITION
REPLAT**





1200 E. Broad St.
Mansfield, Texas 76063
817-276-4200
www.mansfield-tx.gov

February 10, 2016

Community Development and
Planning City of Arlington
101 West Abram Street
Arlington, TX 76010

RE: Replat of Lot 3R, J.M. Thomas Addition

The City of Mansfield has no objection to the City of Arlington solely reviewing the above-referenced plat.

Respectfully:

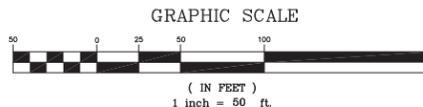
Art Wright, AICP
Planner II

T. O. HARRIS SURVEY
ABSTRACT NO. 645

J. M. THOMAS SURVEY
ABSTRACT NO. 514

CURVE	LENGTH	RADIUS	CHB	CHD
1	15.14	26.00	S24°56'18" W	14.92
2	29.11	50.00	S24°56'18" W	28.70
3	41.28	75.00	N25°50'47" E	40.76
4	58.77	100.04	N24°42'14" E	57.93
5	144.61	2051.29	S08°17'50" W	144.58
6	144.85	2051.29	S04°16'17" E	144.82

CURVE	LENGTH	RADIUS
C3	144.61	2051.29
C4	144.85	2051.29



LEGEND

- PROPERTY LINE
- EASEMENT LINE
- BUILDING
- ASPHALT
- CONCRETE
- X - FENCE LINE
- ⊕ POWER POLE
- E OVER-HEAD POWER
- (CM) CONTROLLING MONUMENT
- DIRECTION OF DRAINAGE

Owners Certificate

State of Texas
County of Tarrant

Whereas Phan and Dhawan Real Estate Investments, LLC acting through the undersigned, its duly authorized agent, is the sole owner of a tract or parcel of land situated in the J. M. Thomas Survey, Abstract No. 1514, City of Arlington, Tarrant County, Texas, being all of Lot 3R, J. M. Thomas Addition, an addition to the City of Arlington, Tarrant County, Texas according to the plat recorded in Cabinet A, Slide 7447, Plat Records, Tarrant County, Texas, being more particularly described as follows:

Beginning at a 1/2" iron rod found for corner in the west line of Matlock Road (120' right-of-way), being the northeast corner of said Lot 3R, and the southeast corner of Lot 2A1, of Lots 2A1 and 2A2, J. M. Thomas Addition, an addition to the City of Arlington, Tarrant County, Texas according to the plat recorded in Cabinet A, Slide 8513, Plat Records, Tarrant County, Texas; **Thence** in a southerly direction with the west line of said Matlock Road and said curve to the left having a central angle of 08°05'06", a radius of 2051.29 feet, an arc length of 289.46 feet and a chord bearing of South 06°16'27" West, and a chord distance of 289.22 feet to a 1/2" iron rod found for corner in the west of said Matlock Road, being the southeast corner of said Lot 3R and the northeast corner of Lot 4 of said addition; **Thence** South 66°49'42" West with the common line between said Lot 3R and said Lot 4 a distance of 265.19 feet to a 1/2" iron rod found for corner in the easterly line of Antigua IV Addition, Phase Three, an addition to the City of Arlington, Tarrant County, Texas according to the plat recorded in Cabinet A, Slide 8417, Plat Records, Tarrant County, Texas, being the southwest corner of said Lot 3R and a come of said Lot 4; **Thence** North 30°23'44" West with the common line between said Lot 3R and said Antigua IV Addition, Phase Three a distance of 454.27 feet to a 1/2" iron rod found for corner in the easterly line of said Antigua IV Addition, Phase Three, being the northwest corner of said Lot 3R and the southwest corner of Lot 2A1A, of Lots 2A21A, 2A21B AND 2A21C, J. M. Thomas Addition, an addition to the City of Arlington, Tarrant County, Texas according to the plat recorded as D210052844, Deed Records, Tarrant County, Texas; **Thence** due East with the common line between said Lot 2A1A and said Lot 3R a distance of 505.25 feet to the **POINT OF BEGINNING** and containing 3.08 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS, THAT, PHAN AND DHAWAN REAL ESTATE INVESTMENTS, LLC, acting by and through the undersigned, its duly authorized agent, does hereby adopt this plat designating the hereinabove described real property as Lots 3R1, 3R2 and 3R3, J. M. Thomas Addition, an addition to the City of Arlington, Tarrant County, Texas, and does hereby dedicate to the public's use the streets, easements, and parks shown thereon except the private easements shown thereon.

WITNESS OUR HANDS AT TARRANT COUNTY, TEXAS, this the ____ day of ____ 2016.

I hereby certify that no deed restrictions exist upon the property included with this plat which is platted subdivision at the present time. Wherein a lot thereof is limited by deed restrictions authorizing residential use but restricting same to not more than two residential units per lot. I further certify that this plat does not alter or remove existing deed restrictions or covenants, if any, on this property.

Pursuant to section 12.002 of the Texas Property Code, as amended by the Texas Legislature, I have obtained tax certificates from each taxing unit with jurisdiction over each parcel of real property in said subdivision indicating that no delinquent Ad Valorem taxes are owed on the real property which is subject of the plat or replat I have submitted to the City of Arlington and the Tarrant County Clerk's Office.

Dr. Phan - GENERAL PARTNER

State of Texas
County of Tarrant

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared Dr. Phan, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledge to me that he executed the same purposes and consideration therein express and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the ____ day of ____ 2016.

Notary Public

State of Texas
County of Johnson

THAT, I, Donnie L. Tucker, do hereby certify that I prepared this replat from actual survey on the land and that the corner monuments shown thereon were properly placed under my personal supervision.



State of Texas
County of Tarrant

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared Donnie Tucker, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledge to me that he executed the same purposes and consideration therein express and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the ____ day of ____ 2016.

Notary Public

Owner:
Phan and Dhawan Real Estate Investments, LLC
402 Hogans Drive
Trophy Club, Texas 76262
Attn: Dr. Phan
Phone: 817-413-7197

Surveyor:
Tucker / Tucker Surveyors
Attn: Donnie Tucker
250 NW Tarrant Avenue, Suite B
Burleson, Texas 76028
Phone: 817-295-2999
Email: tucker@tksurveyors.com



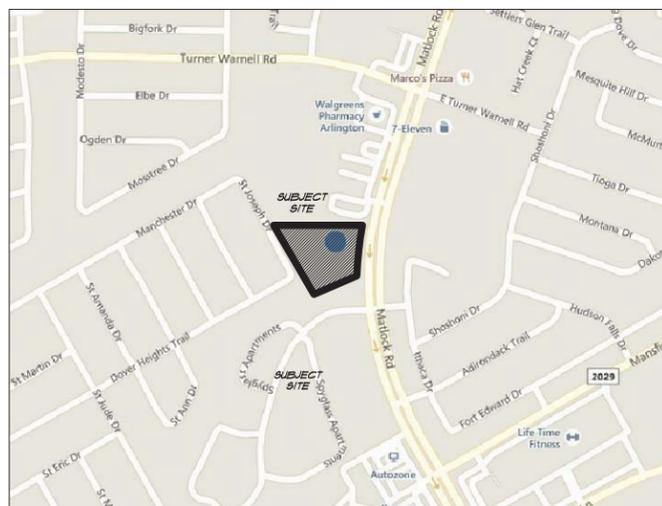
Date: February 18, 2016
Scale: 1" = 50'

Sequence No. 16-92559

APPROVED BY THE CITY OF ARLINGTON PLANNING AND ZONING COMMISSION ON ____ DAY OF ____, 2016.

CHAIRPERSON OF THE COMMISSION

SECRETARY OF THE COMMISSION



Vicinity Map

THIS PLAT FILED DOCUMENT NO. _____, DATE _____
TARRANT COUNTY CLERK BETSY PRICE

General Notes

- 1) NOTE: BEARINGS BASED PER PLAT RECORDED IN C.A. 87441, P.R.T.C.T.
- 2) NOTE: MONUMENTS HELD FOR CONTROL ARE AS SHOWN.
- 3) NOTE: ALL BEARINGS AND DISTANCES ARE MEASURED.
- 4) NOTE: THERE IS NO FINISH FLOOR ELEVATION REQUIRED PER DEEDS.
- 5) NOTE: PROPERTY SUBJECT TO ALL SETBACK AND EASEMENTS PER CITY OF ARLINGTON ORDINANCES AND ZONING ORDINANCES.
- 6) NOTE: PROPERTY IS ZONED CC - COMMUNITY COMMERCIAL.
- 7) NOTE: This property may be subject to charges related to impact fees and the applicant should contact the City regarding any applicable fees due.
- 8) NOTE: PURPOSE OF REPLAT IS TO PROVIDE ADDITIONAL BUILDABLE SITES.

Flood Statement

According to the Flood Insurance Rate Map for Tarrant County, Texas and Incorporated Areas, Community Panel No. 48439C0480K, effective date September 25, 2009, this property is located in Zone 'X', (Areas determined to be outside 500-year floodplain).

NOTE: Visibility Triangles shall be provided at the intersections of all public and private streets in accordance with City Ordinances. All landscaping within the visibility triangles shall comply with the visibility triangle ordinance.

NOTE: This property may be subject to charges related to impact fees and the applicant should contact the City regarding any applicable fees due.

Staff Report



Zoning Case PD15-7R1 (Building for Kerr Industries)

Planning and Zoning Meeting Date: 6-15-16

Document Being Considered: Ordinance

RECOMMENDATION

Following the public hearing, consider Planned Development PD15-7R1, with a Development Plan.

PRIOR BOARD OR COUNCIL ACTION

On November 10, 2015, City Council approved request PD15-7 by a vote of 8-0-0.

REQUEST

The applicant requests approval of a revision to PD15-7 with a new development plan on 11.251 acres addressed at 2540 East Abram Street, and generally located south of East Abram Street and west of South Watson Road.

Current zoning: Planned Development (PD) for limited Industrial Manufacturing (IM) uses, with a Development Plan

ANALYSIS

The subject site is the location of employee parking for General Motors and the former site of Cowboys Dance Hall. With Development Plan approval in 2015, the future of the 101,257 square-foot existing structure on site was unknown. Extensive asbestos abatement costs were deemed unreasonable at which time General Motors made the determination to move forward requesting approval for the construction of a new 50,000-square-foot building. The demolition permit for the existing building was issued on December 23, 2015 and demolition was completed earlier this year.

Zoning case PD15-7 included an allowance that with the demolition of the existing structure, a new structure could be built without the need to revise the development plan if the proposed structure met the commercial design standards. General Motors has determined that the cost to comply with the commercial design standards exceeded their allowable budget for this project and hence they are requesting a revision.

Development Plan

A portion of the site fronting East Abram Street will continue to remain employee parking, per the previous PD and will be accessed by the newly constructed pedestrian access bridge. This parking area will contain irrigated landscaped islands meeting the requirement of the existing PD.

The southern portion of the lot is proposed to include a new 50,000-square-foot building on a portion of the footprint of the previous building. With this request, General Motors also requests an expansion to this proposed building, totaling 100,000 square feet in area and covering the entire footprint of the building that was recently demolished.

The proposed 50,000-square-foot building will provide administrative offices for Kerr Industries and open floor area used for the installation of vehicle enhancements for use in commercial, EMS and fire, and law enforcement vehicles by Kerr Industries. The conversions include adding light bars and other emergency lighting, radio equipment, up-graded power systems, interior modifications for prisoner detainment and K9 transport, the installation of ballistics panels, in addition to commercial vehicle installations to allow for a variety of storage and function options needed for many different professions.

With this revised PD application, General Motors is requesting several deviations from the commercial design standards, with the main one being the use of metal panel as the primary building material. Additionally, the building does not provide horizontal or vertical articulation, as well as covered building entrances as required by the Unified Development Code. The proposed building shows a three-foot tall masonry wainscoting of split faced CMU along the south and east street facing elevations of the building.

The existing parking lot will continue to remain as is, with the exception of a small interior area to be fenced with chain-link for the storage of vehicles awaiting modification, and completed vehicles awaiting shipment from the site.

Screening of the site will consist of masonry walls along East Abram Street and South Watson Road (State Highway 360 Frontage road). Landscaping will be located in front of these walls, as well as interior to the site to add additional screening to the site.

Sector Plan Conformity

While the proposed use does not fit with the Mixed-Use Residential land uses described in the Comprehensive Plan, the site borders a Regional Industrial Center and is buffered from single-family housing by a multi-family development and various commercial uses. The previously approved PD request intended to rehabilitate the existing building, but the property owners have since decided to demolish the existing building and construct a new facility. This redevelopment of a vacant site will still meet stated goals of the Comprehensive Plan and the Economic Development Strategy to reinvest in vacant, dilapidated, or blighted properties and provide an increased economic benefit to the surrounding community. An elevated pedestrian crossing over East Abram Street is being constructed, and is needed to safely use the parking lot for employee parking. With enhanced landscaping, the requested PD amendment is in general conformance with the Comprehensive Plan, but does not meet the commercial design standards of the UDC.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:

- i. Case Information
- ii. Itemized Allowable Uses
- iii. Location Map
- iv. Photos
- v. Development Plan (4 pages)

Under separate cover:

None

Available in the City Secretary's office:

None

CITY COUNCIL DATE

June 28, 2016

STAFF CONTACTS

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Jennifer.Pruitt@arlingtontx.gov

Shon Brooks
Principal Planner
Community Development and Planning
817-459-6514
Shon.Brooks@arlingtontx.gov

Case Information



**Applicant/
Property Owner:** General Motors, LLC, represented by Dirk Taylor

Sector Plan: East

Council District: 5

Allowable Uses: Industrial Manufacturing

Development History: The subject site is currently unplatted and located in the A.C. Wingate survey.

Previous zoning cases in the general vicinity in the past five years include:

Case No.	Location	Request	Disposition
PD15-7	Site	GC to PD for limited IM uses	Pass

Transportation: The proposed development has three points of access. Two points of access are from East Abram Street and one from South Watson Road.

Thoroughfare	Existing	Proposed
East Abram Street	Varies with transition to entrance ramp to S.H. 360. 120' ROW at western property line before widening to include entrance ramp intersection with S.H. 360. Approximately 215' at eastern property line adjacent to 2544 E. Abram St.	No additional Right of Way is required for the current improvements.

Traffic Impact: The proposed use for the existing building as "manufacturing" per the manual will generate 79 trips in the AM peak hour, 76 trips in the PM peak hour, and 385 average daily trips. The addition of parking for General Motors will provide approximately 275 parking spaces. Based on that number of employees, the AM peak hour will generate 107 trips, the PM peak hour will generate 110 trips, and the average daily traffic

Case Information



will generate 585 trips. The additional trips will not have a significant impact on the adjacent roadways.

Water & Sewer:

Water and sanitary sewer are available to the site. Water mains exist in the East Abram Street right-of-way and the South Watson Road right-of-way. Sanitary sewer exists along the eastern portion of the property.

Drainage:

This site is in the North Cottonwood Creek drainage basin.

The site has no portion within the FEMA floodplain.

No significant drainage impacts are expected to result from development of this site provided compliance with all relevant City ordinances.

Fire:

Fire Station Number 2, located at 1727 Sherry Street, provides protection to this site. The estimated fire response time is within five minutes, which is in keeping with recommended standards.

School District:

Arlington Independent School District.

Notices Sent:

Neighborhood
Associations:

ACTION North Arlington
Arlington Independent School District
Arlington Alliance for Responsible Government
Arlington Neighborhoods
East Arlington Review
Far South Arlington Neighborhood Association
Forest Hills Home owners Association
Northern Arlington Ambience
West Citizen Action Network (WeCan)
Central Arlington Property Owners, Inc.
Parkview Addition Community

Property Owners:

6

Letters of Support:

0

Letter of Opposition:

0

Itemized Allowable Uses

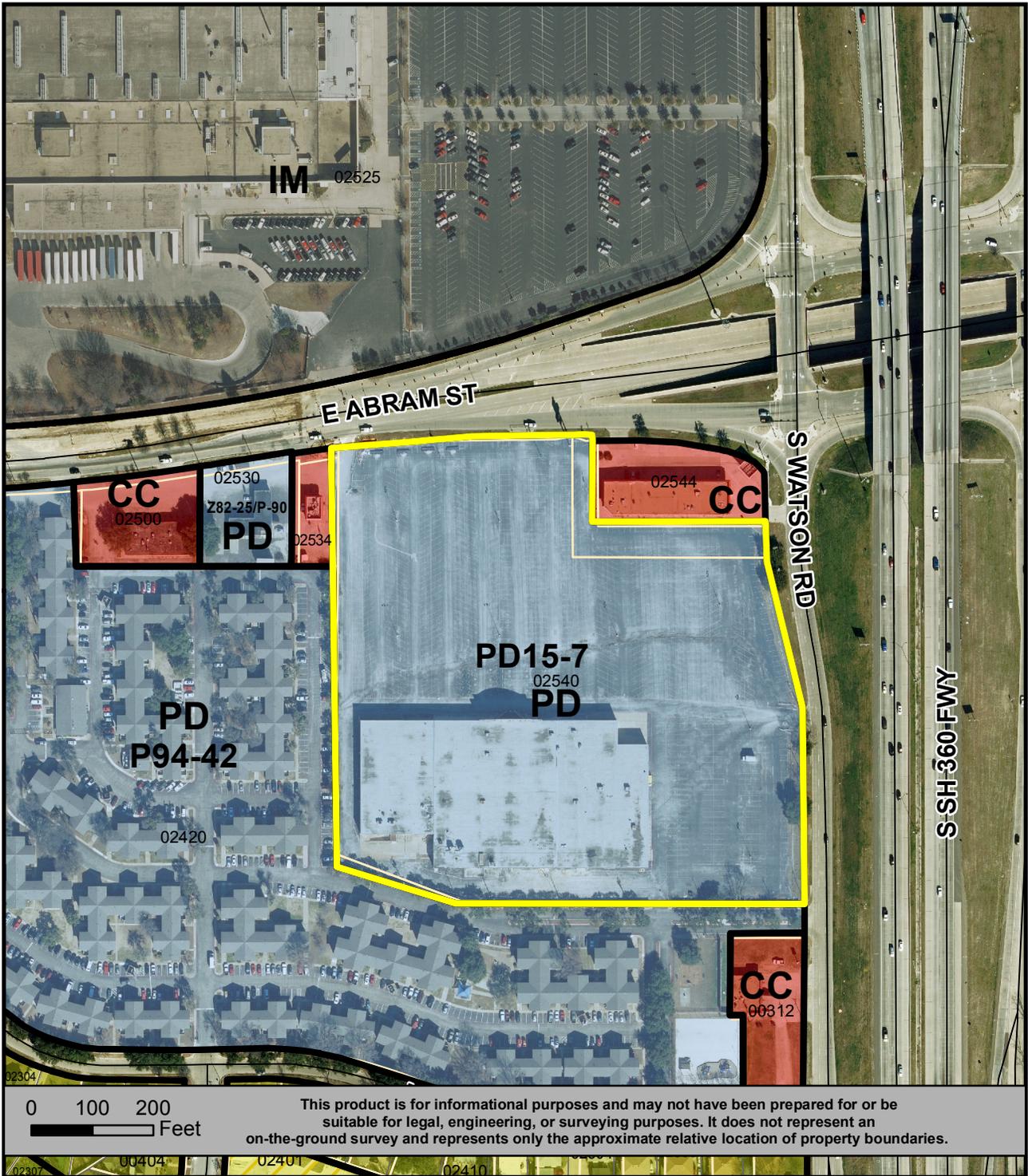


Allowable Uses

Planned Development (PD) for limited Industrial Manufacturing (IM) uses, with a Development Plan.

Permitted – Auto parts accessory and sales, commercial, light manufacturing, warehouse, trade school, temporary construction field office; temporary construction storage yard

Excluded Uses - Crop production, bar, night club, banquet hall, wedding chapel, bingo parlor, bowling alley, billiards, indoor theatre, skating rink, gun range (indoor), recreation-inside/outside, public park, playground or golf course, country club with golf course, yacht club or marina, catering service, cleaning laundry, copy center, restaurant, nursery, garden shop or plant sales; building and landscape materials and lumber sales, antique shop, second hand goods, pawn shop, rental store, new retail gun sales, boat accessory sales, rental, and service, specialty paraphernalia, general retail store, tattoo parlor, massage therapy, personal household service, package liquor stores, auto service, minor auto repair, major auto repair garage, gasoline sales, car wash, motor vehicle sales and rental, commercial parking, veterinary clinic, commercial kennel, commercial stables, radio or TV studio, bail bond service, swimming pool accessory sales and service, heavy machinery and equipment sales/rental/service, commercial cleaners, custom and craft work, wholesale supply business, cold storage plant, distribution center, food processing, wrecker service, salvage or reclamation of products (indoor), church, college, university or seminar, business school, government facility, museum or art gallery, philanthropic institution, private club, lodge or fraternal organization, medical or scientific research lab, mortuary or funeral chapel, cemetery, emergency shelter, women's shelter, electric utility substation, railroad yard, shop, or roundhouse, transit passenger terminal, transit passenger shelter, utility lines, towers, or metering stations, utility installation, accessory caretakers quarters, accessory garage-private, and customarily incidental, full service hotel, motel, residences hotel/motel, gun club or outdoor target range, horse or auto racing, large scale retail, asphalt or concrete batch plant, livestock sales/shipping facilities, high impact use, salvage or reclamation of products (outdoor), day care, public or private school, halfway house, prison, airport, heliport or landing field, and electric generating plant and gas drilling, trailer camp or park, teen club, sexually oriented business, open air vending, large scale retail, alcohol sales, recycling collection center, mini-warehouses, outside storage, wireless telecommunications facilities, temporary carnival, circus or amusement ride, accessory outside display and sales; nursery, and accessory outside storage.



LOCATION MAP
PD15-7R1

REVISION TO DEVELOPMENT PLAN
11.251 ACRES



PD15-7R1

South of East Abram Street and west of South Watson Road



View of the subject site. View south from East Abram Street.



View of adjacent general commercial property. View west.



View of State Highway 360. View south.



View of notification sign. View south along South State Highway 360 frontage road.







Staff Report



Zoning Case PD16-8 (A.E. Petsche/Arrow Electronics)	
Planning and Zoning Meeting Date: 6-15-16	Document Being Considered: Ordinance

RECOMMENDATION

Following the public hearing, consider Planned Development PD16-8, with a Development Plan.

PRIOR BOARD OR COUNCIL ACTION

On September 3, 2014, the Planning and Zoning Commission continued Zoning Case PD14-7 for this site indefinitely at the request of the applicant.

ANALYSIS

Request

The applicant requests to change the zoning on approximately 3.939 acres addressed at 1501 Nolan Ryan Expressway, and generally located north of Nolan Ryan Expressway and west of AT&T Way.

Current zoning: Entertainment District Overlay-Community Commercial (EDO-CC)

Requested zoning: Planned Development (PD) for Entertainment District Overlay-Community Commercial (EDO-CC) uses, with exclusions, plus Wholesale Supply Business exceeding 10,000 square-feet and Distribution Center/Warehouse, with a Development Plan

The subject site consists of a 161,808-square-foot, three-story office building and a 74,739-square-foot warehouse structure. This application is necessary for the occupancy of the 74,739-square-foot warehouse structure on site and is a portion of the lot distinguished by metes and bounds of the warehouse building exclusively. Both buildings were developed by Trammell Crow in 2003 and were a build-to-suit for Siemens Dematic. However, after Siemens moved out in late 2013, only the front office building was leased to Vought Aircraft Division and the rear building is still vacant. The applicant is proposing to lease the vacant 74,739-square-foot rear building (formally used by Siemens as their research lab) to A.E. Petsche, An Arrow Company. This zoning application is limited to the rear portion of the lot.

Per the applicant, it is not anticipated that any construction of additional warehousing, external office space or parking facilities will result from the space being leased. The warehouse will include a renovation for additional offices to be located in the existing warehouse space with the remaining portion of the building to be used for the warehousing and wholesale distribution of aircraft wire and cable.

A local company since 1966, A.E.Petsche, has become the industry leading supplier of high performance aircraft wire and cable for the aerospace, commercial, military, rail, and transportation related industries. The existing site occupied by A.E. Petsche/Arrow will be vacated with the future tenant unknown at this time. The tenant use with electronic/aerospace focus is a targeted industry in Arlington and maintaining this business in Arlington is a major focus for economic development in the City.

Adjacent Land Uses

The properties to the northwest of the subject site are zoned Entertainment District Overlay-Community Commercial (EDO-CC) with hotel and restaurant uses. The properties to the northeast, east, south, and west are zoned Planned Development (PD) for mixed uses (Glory

Park development) and are currently used as parking lots for the Rangers Globe Life Park. The property to the southwest is zoned EDO-PD for CC uses plus multi-family and is partially developed with the Chelsea Park Townhomes project.

Development Plan

The applicant is proposing to limit allowable uses and use the structure for a potential office and light distribution/warehouse tenant within the existing 74,739-square-foot structure. Wholesale Supply Business is currently an allowed use in CC zoning district limiting the use to 10,000 square-feet; however, the applicant proposes to include this use with the space exceeding 10,000 square feet. The applicant also proposes to include one Light Industrial use, Warehouse/Distribution.

The interior of the building will be renovated with to include additional offices and meeting spaces to the existing structure to better serve and grow the tenants business. No exterior building modifications, parking changes, or landscaping are proposed with this Development Plan.

Sector Plan Conformity

The Comprehensive Plan, *99 Square Miles* (2015) identifies this area as a “Regional Activity Center” (RAC). RACs should provide the opportunity to create special places that include residential, retail, offices, and entertainment. This area is typically considerably larger and more diverse in land uses than other land use classifications. Development opportunities specific to the Entertainment District should include restaurants, shopping, hotels, skating and other sports facilities, and sports-related medical and training facilities. Commercial office developments and research and development facilities are also appropriate in RACs.

Similarly, the Economic Development Strategic Plan (2014) identifies the Entertainment District as a primary business district in the Metroplex with world-class amenities; Class A office product, and exceptional shopping, dining, hospitality, and entertainment destinations. This proposed zoning change would bring a new business into the Entertainment District in an appropriate space and location, providing jobs and daytime activity to increase the sustainability for local restaurants and businesses.

The proposed zoning change would allow the property to be used for the function of light warehouse/distribution, while limiting potential future industrial uses that could be a threat to the vitality of the Entertainment District. This request is in general conformance with the Comprehensive Plan 99 Square Miles, and other subsequent plans.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:

- i. Case Information
- ii. Itemized Allowable Uses
- iii. Location Map
- iv. Photos
- v. Development Plan (1 page)

Under separate cover:

None

Available in the City Secretary’s office:

None

CITY COUNCIL DATE

June 28, 2016

STAFF CONTACTS

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Case Information

Applicant: Lexington Arlington LP represented by Chris Delzell

Property Owner: Lexington Arlington LP represented by Chris Delzell

Sector Plan: East

Council District: 4

Allowable Uses: All uses as itemized in attachment ii, with the approval of this rezoning request

Development History: The subject site is currently a 3.939 acre tract of land, being a portion of Lot 10, Block A, of the Ballpark Addition.

No previous zoning cases in the general vicinity in the past five years.

Transportation: The proposed development has three points of access. All three points of access are from Nolan Ryan Expressway.

Thoroughfare	Existing	Proposed
Nolan Ryan Expressway	77-foot, 4 lane undivided, arterial	70-foot, 4 lane undivided, arterial

Traffic Impact: The proposed zoning change will not significantly impact the adjacent roadway systems.

Water & Sewer: Water and sanitary sewer services are available to the subject site.

Drainage: The site is located in the Johnson Creek drainage basin. The site has no portion within the FEMA floodplain.

No significant drainage impacts are expected to result from development of this site as long as all relevant city ordinances are complied with.

Fire: Fire Station Number 11 located at 2204 Ball Park Way, provides protection to this site. The estimated fire response time is less than six minutes, which is in keeping with recommended standards.

School District: AISD Independent School District.

The proposed zoning request is located in the Arlington Independent School District and has no impact on the schools serving this site.



Case Information

Notices Sent:

Neighborhood
Associations:

ACTION North Arlington
Arlington Independent School District
Arlington Alliance for Responsible Government
Arlington Neighborhoods
East Arlington Review
Far South Arlington Neighborhood Assn
Forest Hills Home Owner's Association
Northern Arlington Ambience
West Citizen Action Network (WeCan)
Friends of Parkway Central Park
Riverbend Neighborhood
The Cloisters Condominiums
Town North Neighbors

Property Owners: 4
Letters of Support: 0
Letter of Opposition: 0

Itemized Allowable Uses



Allowable Uses:

Planned Development (PD) for Entertainment District Overlay-Community Commercial (EDO-CC) uses, with exclusions, plus Wholesale Supply Business exceeding 10,000 square-feet and Distribution Center/Warehouse, with a Development Plan

Permitted – Government administration and civic buildings, Business school, Public or private school, University/college/seminary, Hospital, Medical or dental office or clinic, Restaurant, Restaurant/take-out and delivery only, Office/business or professional, Telemarketing call center, Recreation/ indoor (other than listed), General retail store (other than listed), Medical or scientific research laboratory, Wholesale Supply Business, Distribution Center/Warehouse.

Specific Use Permit – Hotel/limited service, Bowling alley.

Conditions – Financial services, Restaurant with drive-through, Sidewalk café, Hotel/full service, Skating rink, Theatre indoor, Custom and craft work.

Excluded – Nursing home, Art gallery or museum, Domestic violence shelter, Mortuary/crematory/funeral chapel, Philanthropic institution (other than listed), Religious assembly, Cemetery, Community garden, Public park or playground, Crop production, Gasoline sales, Catering service, Day care center, Private club/lodge/fraternal, General personal services (other than listed), Massage therapy clinic, Wedding chapel, Country club, Golf course, Major tourist attraction, Firearm sales, Pawn shop, Second-hand goods store, Swimming pool/spa and accessory sales and service, Electric utility substation, Radio or TV station or studio, Utility lines, towers or metering station, Halfway House, Hospital/psychiatric, Alternative Financial Institution, Residence hotel, Bail bond service, Banquet hall, Billiard parlor, Tattoo parlor, Bingo hall, Gun range, Night club, Recreation general outdoor (other than listed), Marina, Specialty paraphernalia sales, Wrecker service, Gas well, Transit passenger terminal, Utility installation other than listed, Telecommunication Facilities Towers >75 ft., Stealth towers >100 ft., Self-storage facility, Kennel/commercial, Veterinary clinic, Motor vehicle rental, Teen club, Building and landscaping materials and lumber sales, Nursery/garden shop or plant sales, Food processing, Telecommunication Facilities Building-mounted antennae and towers, Telecommunication Facilities Towers ≤75 ft., Stealth towers ≤100 ft., Wholesale Supply Business

PD16-8

North and East of Nolan Ryan Expressway and west of AT&T Way.



Subject site. View east.



Subject site. View west.



View from subject site. View east.



View from Nolan Ryan Expressway. View north.



Staff Report

Zoning Case PD07-5R4 (Revised Viridian Planned Development)	
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Planning and Zoning Meeting Date: 6-15-16	Document Being Considered: Ordinance
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RECOMMENDATION

Following the public hearing, consider Zoning Case PD07-5R4.

PRIOR BOARD OR COUNCIL ACTION

On May 20, 2008, City Council approved the 2008.16-acre Planned Development District with concept brief "PD07-5" by a vote of 9-0-0, for a mixed use development known as Viridian.

On September 30, 2008, City Council approved the addition of a 55.57-acre tract of land into the Viridian Planned Development District with concept brief "PD07-5R1" by a vote of 8-0-0.

On June 23, 2009, City Council approved the first development plan "PD07-5R1-DP1" for Villages 1A, 1C, and 1D within 'Planning Area 1' of the Viridian Planned Development by a vote of 9-0-0.

On February 08, 2011, City Council approved the second development plan "PD07-5R1-DP2" for Villages 1B, and 1E within 'Planning Area 1' of the Viridian Planned Development by a vote of 9-0-0.

On February 07, 2012, City Council approved an alternative sign package "PD07-5R2-ASP" for the Viridian Planned Development by a vote of 7-0-0.

On June 24, 2013, City Council approved an updated concept brief to the 2008.16-acre Viridian Planned Development District with concept brief "PD07-5R3" by a vote of 9-0-0.

On June 16, 2015, City Council approved the third development plan, "PD07-5R3-DP3" for Viridian Village 1F by a vote of 8-0-1.

On September 15, 2015, City Council approved the fourth development plan "PD07-5R3-DP4" for Viridian Village 1F by a vote of 7-0-1.

On September 16, 2015, the Planning and Zoning Commission approved the Viridian Village 1F Preliminary Plat by a vote of 7-0-1.

On October 21, 2015, the Planning and Zoning Commission approved the Viridian Village 1G Preliminary Plat by a vote of 8-0-1.

On November 4, 2015, the Planning and Zoning Commission approved the amended Viridian Village 1D Preliminary Plat by a vote of 8-0-1.

On February 23, 2016, City Council approved the fifth development plan "PD07-5R3-DP5" for Viridian Village Planning Area 2 by a vote of 7-0-1.

On March 2, 2016, the Planning and Zoning Commission approved the Viridian Village 2A Preliminary Plat by a vote of 7-0-1.

REQUEST

The applicant is requesting approval of an amendment to the Viridian PD specifically related to the incorporation of the 19.997-acre property formerly known as the B. Barney Baker property and zoned Residential Estate (RE), the elimination of inconsistencies related to the Unified Development Code (UDC), the elimination of the references and terminology from the previous Zoning Ordinance, revised Thoroughfare Plan and Street Section details, and the addition of new housing types in the Viridian Planned Development.

Current zoning: Residential Estate (RE) and Planned Development (PD) for certain institutional uses; certain office uses; certain recreation and entertainment uses; certain residential and lodging uses; certain retail and personal service uses; certain temporary uses; certain utilities, communication, and transportation uses; the following miscellaneous uses: distribution centers, dredging, gas drilling and production, community centers, libraries, medical clinic or ambulatory surgical centers, boutique hotels, condominiums, extended care facilities, car washes, custom and craft work, farmers market, gasoline sales, personal services, veterinarian clinic, temporary outdoor sales, and radio, television, or microwave tower, and related accessory uses.

Requested zoning: Planned Development (PD) for certain institutional uses; certain office uses; certain recreation and entertainment uses; certain residential and lodging uses; certain retail and personal service uses; certain temporary uses; certain utilities, communication, and transportation uses; the following miscellaneous uses: distribution centers, dredging, gas drilling and production, community centers, libraries, medical clinic or ambulatory surgical centers, boutique hotels, condominiums, extended care facilities, car washes, custom and craft work, farmers market, gasoline sales, personal services, veterinarian clinic, temporary outdoor sales, and radio, television, or microwave tower, and related accessory uses.

ANALYSIS

This proposal is for a revision to the PD07-5R3 approved in 2013. The subject site is located north of Northeast Green Oaks Boulevard and east of North Collins Street. The Viridian Planned Development, as approved, is a large, mixed-use, pedestrian-friendly community located in northeast Arlington, and offers a variety of living choices ranging from live/work spaces; multi-family residences, including brownstones and townhomes; single family residences; and luxury home sites on a private island. According to the applicant, Viridian's new urbanism design is anticipated to encompass close to one million square feet of retail shops, as well as office, hotel, and restaurant space.

The subject site is partially developed with mostly residential uses and zoned Planned Development (PD) for commercial and residential uses and Residential Estate (RE). This property represents a significant portion of the northeast section of the City. The Arlington Municipal Landfill is across North Collins Street, River Legacy Park is along the southern portion of the property, and the eastern City limits are to the East. A mix of industrial uses and undeveloped land lies to the north, zoned RE and PD for Industrial Manufacturing (IM).

Various community amenities include 1,100 acres of protected wetlands and open spaces, a trail system with 20 miles of trails along the Trinity River and 450 acres of lakes. The Viridian Elementary School was constructed in 2014 and has been in operation for 2 years. Phase-one of the Amenity Center was constructed in 2014 and has been in operation for 2.5 years.

The Viridian development has currently over 700 single family dwellings that have been constructed and occupied. Each home is located within 700 feet of open space and each subdivision phase has active and passive open spaces. There have been four Parks constructed; Inspiration Park, Arrowhead Park, Lake Slope Park and Fossil Park.

The Viridian development was approved with a variety of residential housing types. This request includes the addition of two new housing types:

- Group Cluster, 4 – A square or rectangular building consisting of four homes or lots fronting on a shared driveway adjacent to a public street and or alley;
- Group Cluster, 6 – A square or rectangular building consisting of six houses fronting on a shared driveway adjacent to a public street and or alley.

This amendment will allow new housing products to be added to the variety of living choices offered in the Viridian development without increasing density. The new products are intended to fit seamlessly within the Viridian development while creating attractive housing options that are not currently offered.

This amendment includes the incorporation of the 19.997-acre property formerly known as the B. Barney Baker property and zoned RE. The property owner has recently purchased the property and requested to incorporate the land into the Planned Development, for future development specifically in Planning Area 3.

This PD amendment also includes the elimination of the multiple inconsistencies related to the Unified Development Code (UDC), the elimination of the references and terminology from the previous Zoning Ordinance, revised Thoroughfare Plan and Street Section details, in the Viridian Planned Development.

Traffic Analysis

As part of the PD amendment, the overall thoroughfare plan for the Viridian development has been revised. In general, the development will use the same street cross sections that were included under the original PD. However, significant changes have been made to Bird’s Fort Trail, the primary roadway through the development. The original PD included a 78-foot wide corridor for Bird’s Fort Trail which includes a 15-foot center median, two 12-foot travel ways, two 8.5-foot on-street parking aisles, and two 11-foot parkways.

The proposed PD amendment removes the center median and prohibits on-street parking on one side of the road along most of the primary roadway. The proposed PD does require at least 20% of the primary roadway to have a center median. Below is a table showing the comparison of the primary roadway for the existing PD thoroughfare plan and the proposed thoroughfare plan.

		Current	Proposed
Bird’s Fort Trail Roadway	Right of Way Width	78'	56'
	Pavement Width	41'	32'
	On-Street Parking	Both Sides	One Side
	Center Median	100%	20%

The proposed modifications to the Viridian thoroughfare plan should not have a significant impact on traffic compared to the original PD thoroughfare plan if adequate “No Parking” signage is installed and enforced

Comprehensive Plan Analysis

The 2015 Comprehensive Plan, *99 Square Miles*, contains goals to provide residential neighborhoods which provide pleasant places to live with a variety of housing styles, to encourage the provision of quality housing in a variety of styles and designs in order to attract new middle and upper income families to Arlington, as well as providing high quality housing options for Arlington’s current residents. The commercial uses in the area will provide convenient shopping and office uses for these residents and the rest of the city. As a master planned community, Viridian is intended to set the standard for sustainable development throughout the city. The PD meets the criteria of the comprehensive plan.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:

- i. Case Information
- ii. Photos
- iii. Location Map
- iv. Amended Planned Development (121 Pages)

Under separate cover:

None

Available in the City Secretary's office:

None

CITY COUNCIL DATE

June 28, 2016

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Case Information

Applicant/Owner: Viridian Holdings LP represented by Howard Porteus

Sector Plan: North

Council District: 1

Allowable Uses: Viridian Planned Development (see Ordinance No. 13-022 for specific uses)

Transportation: The proposed development has access from North Collins Street, Blue Lake Boulevard, Emerald Fossil Parkway, and Viridian Park Lane.

Thoroughfare	Existing	Proposed
North Collins Street	120-foot, 6-lane divided, Major Arterial	120-foot, 6-lane divided, Major Arterial
Blue Lake Boulevard	Partially constructed	65-foot, 2-lane undivided, Local
Emerald Fossil Parkway	Not constructed	65-foot, 2-lane undivided, Local
Viridian Park Lane	Partially constructed	65-foot, 2-lane undivided, Local

Water & Sewer: The water and sanitary sewer main has been built.

Drainage: The site is located in the Trinity River drainage basin. A substantial portion of the site is located within a FEMA designated floodplain. No significant drainage impacts are expected to result from development of this site, as long as the developer complies with all relevant city ordinances.

Fire: A temporary fire station, located at 4020 North Collins Street, provides protection to this site. The estimated fire response time is less than five minutes, which is in keeping with recommended standards.

Notices Sent:
Neighborhood

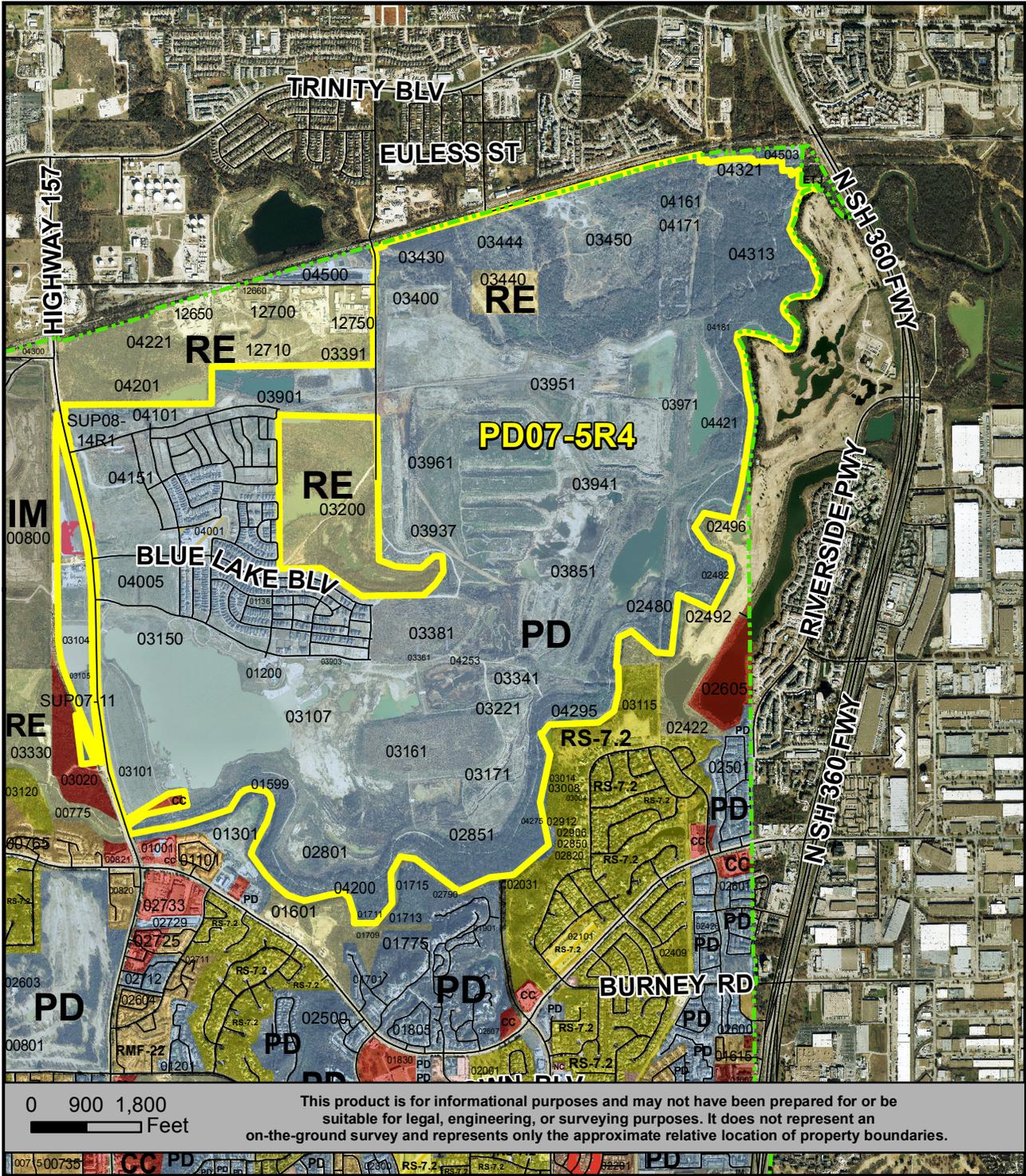
ACTION North Arlington
Arlington Alliance for Responsible Government
City of Arlington
East Arlington Review
Estates of Hidden Woods



Case Information

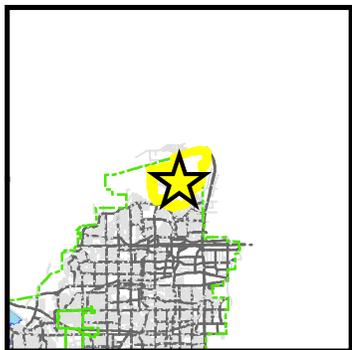
Estates of River Ridge
Far South Arlington Neighborhood Association
Forest Hills Home Owners Association
Friends of Parkway Central Park
Holt Road Community Watch/Neighborhood Association
Hunter Place North Home Owners Association
Hurst Eules Bedford Independent School District
Northern Arlington Ambience
Oak Canyon Home Owners Association
Red Maple Court Neighborhood Organization
Riverbend Neighborhood
Shadow Ridge Community
Spring Lake Association
Viridian Home Owners Association
West Citizen Action Network (WeCan)
Wood Ridge Neighborhood Association

Property Owners: 0
Letters of Support: 0
Letter of Opposition: 0



LOCATION MAP PD07-5R4

**Viridian PD Amendment
2,093 ACRES**



PD07-5R4

PD Amendment

North of Northeast Green Oaks Boulevard and east of North Collins Street



View of posted sign along South Collins Street. View south.



View across South Collins Street. View northeast.



View of entry feature. View north.



View of townhomes on site. View north.

VIRIDIAN
PLANNED DEVELOPMENT DISTRICT

Adopted 05/20/2008

Revised 09/30/2008

Revised 02/07/2012

Revised 06/18/2013

Revision 6/15/2016



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I. APPLICABLE REGULATIONS

In the event of a conflict between this PD and or the Zoning Ordinance and or the Unified Development Code (UDC) or any other City ordinance imposing zoning regulations, this PD shall control. Without limiting the generality of the foregoing, if this PD addresses a topic of regulation, that topic shall be addressed exclusively by the PD. By way of example, this PD addresses building design standards; therefore, the building design standards in this PD are the exclusive building design standards applicable to the Property.

Development of the Property shall be subject to ordinances that the City is required by state or federal law to adopt and apply uniformly to all property within its corporate limits, regardless of whether such ordinances conflict with this PD.

Article XIII [Residential Adjacency Standards and General Fence Requirements] of the Zoning Ordinance does not apply (*i.e. Section 5.3 in the UDC specifically related to Fencing adjacent to residential properties shall not apply*).

Section 9-300 [Planned Development "PD" District] of the Zoning Ordinance does not apply to the creation of this PD, but future amendments to this PD are governed by Section 9-300 of the Zoning Ordinance, except as otherwise provided in this PD (*i.e. Section 10.4.3 in the UDC specifically related to Planned Developments*).

The Alternative Equivalent Compliance (AEC) process may be utilized for all applicable standards as listed in Section 10.4.22 of the UDC.

II. MASTER PLAN

Use of the Property shall comply with the general use areas shown as Town Center Area, Residential, Civic/Community Facilities, and Park/Open Space on the Master Plan attached as **Exhibit A**, as it may be amended in accordance with this section, and with the use chart for each general use area as set forth in **Exhibit B**. The developer may change the boundaries and area of any use area, including the Town Center Areas by up to a cumulative amount of ten percent for each land use area. Any change to the Master Plan must be submitted to the Zoning Administrator to ensure it is in compliance with this section, and the amended Master Plan will become a part of the permanent file maintained by the Zoning Administrator for this PD. Areas shown on the Master Plan as Residential are considered to be residential zoning areas, all other parts of the Property are considered to be nonresidential zoning areas.

III. DEFINITIONS

A. Definitions.

Terms used within this PD, including its exhibits, shall be defined as stated below. If a term is not listed below, the definition in the Zoning Ordinance shall apply (*i.e. Article 12 in the UDC specifically Definitions*).

1. Accessory Community Center, Private – A private accessory community center as defined in the Zoning Ordinance except as provided in **Section V.B.2** of this PD.
2. Accessory Secondary Living Unit – A living unit that complies with the requirements in **Section V.B.6** of this PD.
3. Active Park – A park intended to support activities and equipped with improvements to promote activities, such as picnic tables, shade structures, dog parks and playgrounds.
4. Alley – A private access easement that functions similar to a traditional alley.
5. Amenity Center – An accessory use to a residential development that may consist of one or more buildings and structures and that may include, but is not limited to, meeting space, recreational facilities (such as a swimming pool and playground).
6. Block face – One side of a block between two streets.
7. Boulevard – A street divided by a median.
8. Code – The Code of the City of Arlington.
9. Community Center – A facility that is used as a place of meeting, recreation, or social activity but not primarily to render a service that is customarily carried on as a business.
10. Community Home - A residential facility that qualifies as a community home pursuant to Chapter 123 of the Texas Human Resources Code.
11. Extended Care Facility – A facility for the temporary lodging and care of patients treated by a local hospital or medical facility. An extended care facility may also provide temporary lodging for a patient’s family members or guests.
12. Facade – Any separate face of a building that encloses or covers usable space. A roof is not a facade.
13. Farmers Market – The indoor or outdoor retail sale, by individual vendors, of farm products such as fruits, vegetables, herbs, spices, edible seeds, nuts, live plants, flowers, and honey.
14. Floor Area – An air-conditioned floor space.
15. Gas Well Drilling and Production – The development, exploration, and production of natural gas.
16. General Retail Store, Other Than Listed – A facility or area for the retail sale of general merchandise or food, but does not include uses specifically listed in this PD.

17. Group Cluster, 4 – A square or rectangular group of home consisting of four homes or lots fronting on a shared driveway off a public street and or alley
18. Group Cluster, 6 – A square or rectangular group of homes consisting of six houses fronting on a shared Driveway adjacent to a public street and or alley
19. Height – The vertical distance measured from grade to the highest point of a structure (including a sign).
20. Hotel, Boutique – means a hotel that complies with the requirements in **Section V.C.1** of this PD.
21. Hotel, Full Service – A building or group of buildings providing transient lodging accommodations to the general public for compensation, where each guest room is accessed from an interior corridor, and that includes ancillary facilities and services such as restaurants, meeting rooms, personal services, recreational facilities, daily housekeeping service, and 24-hour front desk service.
22. Land Use Category – One of the following land use categories identified on the permitted use table attached as **Exhibit B**: (i) institutional; (ii) office; (iii) recreation and entertainment; (iv) residential and lodging; or (v) retail and personal service.
23. Large Scale Retail, Town Center – A single use retail building that complies with the requirements in **Section V.C.4** of this PD.
24. Library – An establishment for the loan or display of books.
25. Masonry – Stone or brick laid up unit by unit and set in mortar, or cultured stone, cast stone, stucco or natural stone panels.
26. Medical Clinic or Ambulatory Surgical Center – A facility for examining, consulting with, and treating patients with medical, dental, or optical problems on an out-patient basis.
27. Mixed Use Building – A building that contains two or more uses from a different land use category, with one land use category occupying at least ten percent of the gross floor area of the building or 15,000 square feet (whichever is less) and the other land use category occupying at least five percent of the gross floor area of the building or 10,000 square feet (whichever is less).
28. Multi-Family – A building used or designed as a residence for three or more families or households living independently of each other on the same lot.
29. Non-residential building or non-residential development - A building or a lot containing one or more uses that are not single family, duplex, or multi-family.
30. Non-residential use – A use that is not exclusively single family, duplex, or multi-family.
31. Open Space – A property that is at least 0.25 acres and is one of the following: a public park, a private park accessible to residents living on the Property, or an undeveloped space open to the sky and accessible by the public and located on private property, such as native mitigation areas or trails, except for development allowed in open space in this PD.

32. Parkway – means the area between a sidewalk and the back of curb.
33. PD – means this Planned Development District (**PD07-5**: Ordinance no. 08-038, adopted May 20th, 2008; **PD07-5R1**: Ordinance No. 08-093, adopted on September 30th, 2008; **PD07-5R2-ASP**: Ordinance No. 12-006, adopted on February 7th, 2012; **PD07-5R3**: Ordinance #13-022, adopted on 18th June 2013).
34. Personal Services – means a facility or area for the sale of personal services, such as a spa or salon, a tailor, a florist, or a pet grooming shop.
35. Pocket Park – means a park that is less than one acre in size.
36. Property – means the property depicted on the attached **Exhibit C** and described by metes and bounds on the attached **Exhibit D**.
37. Radio, Television, or Microwave Tower – means a structure supporting antennae that transmit or receive any portion of the electromagnetic spectrum.
38. Rear Entry Garage – means a garage served by an alley or a side street abutting the rear of a lot.
39. Residential Building or Residential Development – means a building or a lot with single family, duplex, or multi-family use.
40. Residential Use – A single family, duplex, or multi-family use.
41. Side-Entry Garage – A front entry garage with a garage door that is perpendicular to the street (e.g., “j-swing garage”), or a garage on a corner lot with a garage door that is parallel to a side street.
42. Single Family Attached – A single family dwelling on a separate lot that fronts on a street, a place, a court, or a private access easement, and that is attached to one or more single family dwellings by either a common wall or another structure which causes the attached dwellings to constitute an architectural whole or appear on the exterior to be a single building.
43. STC – Sound Transmission Class, which is commonly accepted integer-number rating of how well a building partition attenuates airborne sound, and is used to rate interior walls, ceilings/floors, doors, windows and exterior wall configurations.
44. Stealth Towers – A communications tower that is effectively camouflaged or concealed so that it blends in with the natural surroundings or the built environment.
45. Temporary – Of limited duration; not permanent.
46. Temporary Asphalt or Concrete Batch Plant – A temporary facility or area for mixing concrete or asphalt to be used for new construction on the Property.
47. Temporary Construction Field Office – A facility or area used as a temporary field construction office.

48. Temporary Construction Storage Yard – A facility or area for the temporary outside storage of construction equipment and materials associated with an active permit to demolish or construct.
49. Temporary Outdoor Sales – An area used for the temporary outdoor sale of general merchandise or seasonal merchandise to the public.
50. Utility Lines, Towers, or Metering Station – This use is defined as set forth in the Zoning Ordinance. In addition, this use may include windmills and solar-powered panels.
51. Wireless Communications Facilities – Meaning Telecommunication towers, antennas, and other facilities regulated by Section 12-800 of the Zoning Ordinance. (*i.e. Section 3.2.4 in the UDC specifically related to Wireless Communication Facilities*).
52. Zoning Ordinance – meaning Ordinance No. 94-100, adopted on June 28, 1994, and the Unified Development Code – means Ordinance No. 16-008 adopted Feb 9th, 2016 as amended.

IV. PD AMENDMENT AND DEVELOPMENT PLAN REVIEW PROCEDURES

A. Zoning Change.

1. Property Owner Consent for PD Amendments. PD amendments are authorized for all or a portion of the land governed by this PD. With the exception of PD amendments initiated by the City, all requests to amend this PD shall only be accompanied by the written consent of the owners of the land that is the subject of the amendment, to the extent permitted by law. A request to amend or an amendment to this PD with respect to a portion of the Property shall not affect this PD as it applies to the remainder of the Property, unless otherwise provided by law. A request to amend specific provisions of this PD (regardless of the portion of the Property to which the amendment applies) shall not affect the remaining provisions of this PD, unless otherwise provided by law.
2. Approval Authority. The Zoning Administrator has the authority to authorize minor amendments as provided by this PD.
3. Specific Use Permits. The provisions of Section 5-500 of the Zoning Ordinance [Specific Use Permits] (10.4.6 in the UDC), as well as all definitions in the Zoning Ordinance (UDC) pertaining thereto, shall apply to all requests for Specific Use Permits, except that the landscape plan required by Section 5-500(H)(5) shall be in compliance with the standards of this PD, not the standards of Article XIV of the Zoning Ordinance entitled "Landscape and Screening Standards" (*i.e. Section 5.2.1 in the UDC specifically related to Landscaping*).

B. Development Plan Approval.

1. Approval Required. Prior to the submittal of an application for a preliminary plat for any portion of the Property, a development plan for that portion of the Property must be submitted to City Council for consideration in accordance with this **Section IV.B.**
2. Procedures. Development plans shall be submitted by the applicant to the City Council for administrative review. No public hearing shall be required.
3. Development Plan Content. A development plan must include the following information:
 - a. Proposed land use including the approximate number of dwelling units of each type such as Type 1, 2, or 3 Multi-family and single family by type as set forth in **Exhibit F.**
 - b. The percentage of each type of dwelling unit compared to all dwelling units in this PD, considering the units requested and all units approved in previous development plans (based on the approximate numbers provided in (a)).
 - c. The location and width of proposed thoroughfares, and a designation of the streets as boulevards or non-boulevards.
 - d. The location, of proposed landscaping within common areas and public right-of-way.
 - e. The location and size of proposed parks and open space areas.
 - f. The location and width of proposed trails.

- g. Elevations that generally depict representative architecture along a typical block face within the development plan area. A separate elevation shall be submitted for each building type proposed within a development plan area. For purposes of this paragraph, the following are considered building types: each type of single family detached listed in ***Exhibit F***; each type of single family attached in ***Exhibit F***; multi-family (not in a mixed use building); a mixed use building that includes multi-family uses; and a non-residential building. The applicant may submit additional materials depicting the typical architecture within the development plan area for the City Council's consideration. All required elevations shall include sufficient detail to allow the City Council to evaluate the general style and architecture of the development within the development plan area, including, but not limited to, identification of predominant exterior building materials and the proposed color palette. Samples of the detail that should be provided in elevations are illustrated in ***Exhibit P***.
 - h. A comprehensive fence plan indicating fencing materials, colors, heights, and general locations.
 - i. The percentage of buildings that have a facade that is predominantly composed of cementitious fiber board compared to the projected total of all buildings in this PD as shown in the most recently accepted Transportation Impact Analysis for this PD considering the buildings requested and all buildings approved in previous development plans (to ensure that no more than 30 percent of the projected total number of buildings have a facade that is predominantly composed of cementitious fiber board).
4. Approval Criteria.
- a. The City Council shall approve a development plan if it complies with this PD and all other applicable City ordinances. Except as expressly stated in **Section IV.B.4.b**, the City Council shall not impose conditions on the approval of a development plan other than conditions that bring a development plan into compliance with this PD and all other applicable City ordinances.
 - b. The City Council may deny approval of elevations or impose reasonable conditions on representative building elevations required by **Section IV.B.3.i** to assure that buildings within the development plan area (i) include adequate articulation; (ii) include a sufficient mix of design features to avoid monotony; (iii) in the case of buildings other than single family detached structures, incorporate design features oriented to pedestrians at street level; and (iv) are high quality.
5. Effect of Development Plan Approval.
- Development of the Property shall substantially comply with approved development plans. A development plan must be approved prior to plat approval for that portion of the Property. In determining substantial compliance, elevations that are part of an approved development plan are intended to illustrate representative architectural styles and typical implementation of PD design standards, and shall not be interpreted to require buildings to be constructed with identical elevations.

6. Amendments. Minor amendments to an approved development plan may be approved by the Zoning Administrator pursuant to Section 9-300I of the Zoning Ordinance. Any other amendments to an approved development plan shall be processed in the same manner as the original development plan, but amendments are not required to be submitted in connection with a plat. (*i.e. Section 10.4.3 in the UDC specifically related to Planned Developments*).

C. Design Guidelines.

Prior to issuance of a building permit for the construction of any building, design guidelines for the Property will be created and will encumber the Property. These design guidelines will include a private architectural review committee charged with reviewing building construction for compliance with the design guidelines. The City will promptly notify the Viridian Municipal Management District or its designee at the address the Viridian Municipal Management District has provided to the City, and provide a copy to the applicant, if a building permit application is made without attaching written confirmation from the private architectural review committee that it has reviewed the plans for the proposed building and found that the building complies with the design guidelines, but the City will otherwise disregard the applicant's failure to provide this letter, and the City shall not be liable for the results of any failure to provide notice.

The development plan review procedures set forth in this article are the exclusive development plan review procedures applicable to the Property.

V. PERMITTED USES

A. Principal Uses.

1. Permitted Uses Table. See the permitted use table on ***Exhibit B***. The principal uses followed by “P” are permitted by right. Uses followed by “S” are permitted by Specific Use Permit. The uses followed by “C” are permitted subject to the applicable conditions set forth in ***Section C*** below. Except as otherwise provided in ***Subsection 2*** below for similar uses, all uses not listed on ***Exhibit B*** are prohibited.
2. Similar Uses Allowed. Uses not specifically listed on Exhibit B, but of a similar type and nature to those uses listed on Exhibit B, are permitted as determined by the Zoning Administrator.
3. Prohibition of Certain Gas-Related Uses. With the exception of gas well drilling and production, and associated accessory uses such as tanks and pipelines, all uses related to gas compression, processing, and storage (including, but not limited to, compression facilities and saltwater disposal wells) are expressly prohibited.

B. Accessory Uses.

Accessory uses are permitted. Without limiting the generality of the foregoing, the following accessory uses are permitted:

1. Accessory caretaker’s quarters.
2. Accessory Community Center, Private.

An accessory community center may include a restaurant open to members and their guests. An accessory community center may also include banquet facilities that may be rented for special occasions, such as wedding receptions and parties.

3. Accessory Garage, Private.
4. Accessory Outside Display and Sales.
5. Accessory Outside Storage:

When in connection with a non-residential uses and visible from ground level on an adjacent street, this use shall be screened with a masonry wall that is a minimum of six feet in height, and none of the items stored may project above the screening wall. The perimeter of the screening wall shall be landscaped with a minimum 12-inch-wide landscape strip containing shrubs, vines, or a combination of both.

6. Accessory Secondary Living Unit:

This use must not exceed 800 square feet in floor area, must be located on the same lot as and be accessory to a single family detached or duplex living unit, and it must be occupied only by guests, servants, or family members of the residents of the main structure.

The structure must not contain more than one bedroom, more than one kitchen, or more than one bathroom. May be attached to or detached from the main structure, may be located above a garage, and may not be rented or leased.

7. Accessory Swimming Pool, Private.

8. Amenity Center.

Special Conditions Applicable to Certain Uses.

1. Hotel, Boutique:

Section 12-1000 (Special Standards for Full Service Hotels, Motels, and Residence Hotels/Motels) of the Zoning Ordinance and or Article 3.2.3 in the Unified Development code (*i.e. section E.2. specifically related to Commercial Uses, Lodging Facilities*) does not apply to a boutique hotel. A boutique hotel must meet the following requirements:

- a. A building providing transient lodging accommodations for compensation, usually containing fewer than 200 rooms, and that is not classified as a full service hotel, limited service hotel, or residence hotel. Boutique hotels typically have distinctive and contemporary design and décor; promote a luxurious or avant-garde atmosphere; are concentrated in the Luxury, Upper Upscale, and Upscale chain and class categories; and demonstrate a Four Diamond or higher AAA rating.
- b. The entrance to each guest room must be gained from a completely enclosed area or from an exterior court located within a secured area.
- c. A boutique hotel must have management onsite 24 hours a day.
- d. A boutique hotel must provide housekeeping services or daily maid service.
- e. A boutique hotel must provide guests with access to a natural area within 1,000 feet of the hotel. The natural area must be in excess of 1,000 acres and must have horizontal dimensions of at least 1,000 feet by 2,500 feet.
- f. A boutique hotel must offer concierge service or other personalized service to each guest.
- g. A boutique hotel must be located either within the town center area shown on the Master Plan or adjacent to or across the street from publicly accessible open space or a lake.
- h. A boutique hotel within the town center area shown on the Master Plan must offer the following services to each guest either on-site or within the specified distance from the boutique hotel¹.

- (1) One or more meeting or conference rooms with a minimum of 1,000 square feet of conference space within 1,500 feet;

¹ These services may be developed concurrently with a boutique hotel or in a subsequent development phase.

(2) Recreational facilities within 500 feet; and

(3) A restaurant with a full service kitchen offering meals during normal dining hours (breakfast, lunch, and dinner) and seating for a minimum of 50 patrons within 500 feet.

i. A boutique hotel may contain personal service shops.

2. Gas Well Drilling and Production.

a. Gas well drilling and production is permitted on the Property subject to the Gas drilling in all areas is permitted by SUP only.

3. General Retail Store, Other Than Listed.

Without limiting the generality of the definition of this use in **Section III.A** of this PD, this use may include the sale of wine for off-premise consumption, as well as on-premise consumption of wine.

4. Large Scale Retail.

Any retail structure of fifty thousand (50,000) square feet or larger in contiguous footprint area whether occupied by a single-tenant or multiple tenants regardless of whether such structure is situated on one lot or across multiple lots. In addition to traditional retail stores and shopping centers, this definition specifically includes, but is not limited to: membership warehouse clubs; wholesale membership clubs; outlet stores; discount or close-out clubs; and, grocery stores. For the purposes of this ordinance a Covered Mall Building containing more than five hundred thousand (500,000) square feet is not included in this definition.

5. Temporary Asphalt or Concrete Batch Plant.

This use is permitted on the Property in connection with the issuance of a construction permit. This use may include associated temporary buildings, such as trailers. This use shall cease operation upon completion of construction on the Property. This use must be in compliance with all applicable local, state, and federal regulations.

6. Temporary Construction Field Office

This use is permitted on the Property in connection with the issuance of a permit authorizing the construction of structures or infrastructure improvements.

This use may be operated from a temporary building, such as a trailer. This use shall cease operation, and the building shall be removed, upon completion of construction of improvements or structures on the Property.

7. Temporary Construction Storage Yard.

This use is permitted on the Property in connection with the issuance of a permit authorizing the construction of structures or infrastructure improvements. This use may include associated temporary buildings, such as trailers. This use shall cease operation upon completion of construction of improvements or structures on the Property.

8. Temporary Outdoor Sales.

This use may include a temporary farmers market. For the sale of seasonal merchandise, this use shall not exceed 90 days. For the sale of non-seasonal merchandise, this use shall not exceed 14 days.

9. Veterinary Clinic.

Rooms containing cages or pens are not permitted to have windows, doors, or other penetrations on exterior walls. Areas designated for holding, boarding, or grooming pets are limited to no more than 15 percent of the gross floor area. Outside boarding is prohibited.

10. Wireless Communications Facilities.

Except as otherwise provided in this section, the provisions of Section 3.2.4C1 of the Unified Development Code, as well as all definitions in the Unified Development Code pertaining thereto, apply. Mounted antennas may be located on mixed use and non-residential buildings. Unless towers are stealth towers, towers are permitted only in the area identified on ***Exhibit E***. Stealth towers are permitted at any location on the property. All towers are subject to the height restrictions and SUP requirements set forth in Section 12-800 of the Zoning Ordinance (*i.e. Section 3.1.5 in the UDC specifically related to Allowable Uses*).

VI. RESTRICTIONS ON MULTI-FAMILY

A. Multi-family development shall be restricted as follows:

11. Type 1 Multi-Family.

Type 1 multi-family is multi-family development that consists of a maximum of ten dwelling units on a platted lot, all of which shall be in a single building. Type 1 multi-family does not include multi-family within a mixed use building. Type 1 multi-family buildings shall be a maximum of three stories. Type 1 multi-family may be located only at street termini, on corner lots, at focal points, and at other unique anchor locations approved by the Zoning Administrator. Type 1 multi-family is permitted only in Residential Areas shown on the Master Plan (**Exhibit A**). Type 1 multi-family shall have ground floor entrances to each dwelling unit.

12. Type 2 Multi-Family.

Type 2 multi-family is multi-family development that is a minimum of four stories in height and is not in a mixed use building. Type 2 multi-family is permitted in Town Center Areas Including Collins East and the area north of Birds Fort Trail, on the Master Plan (**Exhibit A**) that is located adjacent to Collins Street.

13. Type 3 Multi-Family.

Type 3 multi-family consists of multi-family development within a mixed use building. The entire first floor must be built as, or convertible to, non-residential or have multi-family related uses other than dwelling units (such as a leasing office or a multi-family amenity center on the first floor) to qualify as a mixed use building. Type 3 multi-family is permitted only in Town Center Areas shown on the Master Plan (**Exhibit A**).

B. Multi-family dwelling units shall have no stairwells visible from outside the property line of the multi-family dwelling units.

C. The minimum dwelling unit area for multi-family dwelling units is 550 square feet; however, the minimum dwelling unit area must average a minimum of 800 square feet when considering all dwelling units within a multi-family building.

VII. BUILDING SETBACK, AREA, AND BULK REQUIREMENTS

A. Requirements for Single Family, Duplex, and Type 1 Multi-family Development.

1. Requirements.

- a. The requirements in this **Section A** and **Exhibit F** are the exclusive building setback, area, and bulk requirements applicable to single family detached and attached, duplex, and Type 1 multi-family development other than fences and retaining walls that are part of the development. The requirements in **Exhibit F** apply to all single family (detached and attached), duplex, and Type 1 multi-family buildings, including accessory buildings, but do not apply to other structures.

(1) **Zero Lot Line Standards:** The side setback may be reduced anywhere from four and a half feet (4'6") to zero feet (0') on any one side of a single family (detached) lot, when a maintenance easement is provided with such reduced setback.

(i) The building separation maintained between the structures on adjacent properties shall not be less than seven-and-a-half feet (7.5 feet).

(ii) The building separation area shall include a use and maintenance easement of no less than 7.5 feet in width, extending along the entire lot line adjoining the reduced setback.

a) The maintenance easement shall be dedicated by plat and will include the maintenance agreement, approved by the City and detailing the purpose of the maintenance easement and access rights for maintenance purposes, on the plat.

b) The maintenance easement shall be maintained as an open space, with the following exceptions:

(i) Fences that are parallel to the front lot line are allowed.

(ii) Horizontal construction at grade level, such as a deck not exceeding 12 inches above grade, or paved surfaces may be allowed in the maintenance easement upon a finding that it does not impede the drainage of the adjoining structure.

c) If the separation between buildings is less than 10 feet there will be additional fire safety requirements required to be installed.

- b. Without limitation, Article XI of the Zoning Ordinance does not apply to any structures that are part of the development other than fences and retaining walls, except to the extent Article XI cannot be varied by this PD (see e.g. the foundation requirements for single family dwellings). Notwithstanding the foregoing, the retaining wall restrictions in Article XI shall not apply to retaining walls around a lake (*i.e. Section 5.3 in the UDC specifically related to Screening, Buffering, and Fencing shall not apply*).

- c. The Zoning Administrator may approve alternative materials and methods to the fence and retaining wall restrictions in Article XI and or the Unified Development Code to the extent the alternate materials or methods are equal or better in function and durability.
 - d. Swimming pools shall have a minimum five-foot setback from rear and side property lines, however, such setback applies only to the swimming pool, and not to associated decking or paving around the pool.
2. Garages.
- a. With the exception of side entry garages, garages may not extend beyond the front of a single family detached home or duplex.
 - b. Required parking spaces for single family detached, single family attached, and duplex uses must be located in enclosed, covered parking areas.
 - c. Notwithstanding anything to the contrary in ***Exhibit F***, front-facing garage doors are permitted provided they are located at least five feet behind the front facade. For homes with front porches, the front facade is considered to be the portion of the front porch closest to the front property line but in no event less than three feet behind the front of the house.
 - (2) If the garage is less than five feet behind the façade of the house upgraded garage doors, coach lights and additional architectural features shall be required.
3. Single Family Attached.
- The front facade of single family attached structure may not exceed 350 feet in length.
4. Mix of Residential Types Required.
- a. Within each residential planning area identified on ***Exhibit Q***, a minimum of eight percent of the total dwelling units shall be single family detached dwelling units developed under the standards for any of the following residential types on ***Exhibit F***: single family detached Classical 55 ft. Home sites, Manor 65 ft. Home sites, Chateau 75 ft. Home sites or Estate 80 ft. plus Home sites.
 - b. Within each residential planning area identified on ***Exhibit Q***, a minimum of 50 percent of total dwelling units shall be single family detached dwelling units developed under the standards for any of the following residential types on ***Exhibit F***: single family detached chalet home sites, single family detached executive home sites, single family detached manor home sites, single family detached chateau home sites, and single family detached estate home sites. The dwelling units described under the prior paragraph may be counted to satisfy the requirements of this paragraph.
 - c. Within each residential planning area identified on ***Exhibit Q***, a minimum of 55 percent of total dwelling units shall be single family detached dwelling units.

B. Requirements for Multi-Family (Types 2 and 3), Mixed Use Buildings and Non-Residential Development.

1. Requirements.

- a. The requirements in the table below are the exclusive building setback, area, and bulk requirements applicable to Type 2 multi-family buildings, Type 3 multi-family buildings, mixed use, and non-residential buildings, and any related accessory buildings.
- b. Without limitation, Article XI of the Zoning Ordinance relating to the building setback, area, bulk and design requirements does not apply to any structures other than fences and retaining walls, except to the extent Article XI cannot be varied by this PD. Notwithstanding the foregoing, the retaining wall restrictions in Article XI shall not apply to retaining walls around a lake (*i.e. Article 2 of the Unified Development Code specifically related to the Zoning Districts and Setbacks and Article 5 of the Unified Development Code specifically related to the Design and Development Standards*).
- c. The Zoning Administrator may approve alternative materials and methods to the fence and retaining wall restrictions in Article XI to the extent the alternate materials or methods are equal or better in function and durability (*i.e. Article 5 of the Unified Development Code specifically related to the Design and Development Standards*).
- d. Swimming pools shall have a minimum five-foot setback from rear and side property lines, however, such setback applies only to the swimming pool, and not to associated decking or paving around the pool.

Table VII-1: Building Setbacks and Height Restrictions

Multi-Family (Types 2 and 3) Mixed Use, and Non-Residential Development	
Maximum Setback from a Street	A building facade must be constructed within 21 feet of the back of curb along a minimum of 50 percent of each front building facade, exclusive of open space areas, parks, and driveways. If a block face is built out in phases, a phasing plan may be used to show how this requirement will be satisfied in a future construction phase. There shall be no maximum setback requirement along Collins Street or streets within the Property that provide direct access to Collins Street. The Zoning Administrator may alter the maximum setback requirement upon a finding that the alteration will promote pedestrian activity along the street. There is no maximum setback requirement for a large scale retail building and for schools.
Maximum Height	15 stories. Exceptions: a) No height limit for a Full Service Hotel. b) Maximum height for Schools is 75 feet.

VIII. DESIGN STANDARDS

A. Applicability of Other Design Standards.

The design standards in this article are the exclusive design standards applicable to the Property.

B. Approved Building Materials.

In the context of approved building materials, a facade does not include doors, fascia, windows, chimneys, dormers, window box-outs, bay windows, soffits, eaves, and outdoor fireplaces. Multiple buildings on the same lot will each be deemed to have separate facades.

1. A minimum of 90 percent of each exterior building facade shall consist of one or more of the following building materials (subject to further restrictions in facade area set forth in paragraphs (e) and (f) for Cementitious fiber board and EIFS):

- a. Stone, brick or tile laid up unit by unit and set in mortar.
- b. Stucco (exterior Portland cement plaster with three coats over metal lath or wire fabric lath or other methods approved by the Zoning Administrator as equal or better quality in durability).
- c. Cultured stone or cast stone.
- d. Architecturally finished block (i.e. burnished block or split faced concrete laid up unit by unit and set in mortar).
- e. Cementitious fiber board.

Cementitious fiber board is permitted subject to the following conditions: the style and color of a building using this product must be approved as part of a development plan, no more than 30 percent of buildings in this PD may have a facade that is predominantly composed of this product.

f. Exterior Insulation and Finish System (EIFS).

EIFS is further limited to the following:

- (1) non-residential buildings and mixed use buildings by right; and
- (2) buildings containing single family attached and multi-family uses (excluding mixed use buildings) if approved by the Zoning Administrator based on a finding that the proposed use of EIFS is consistent with the spirit and intent of this PD to require high quality building materials and a variety of building materials.
- (3) EIFS may be used only on that portion of a facade that is four feet or higher above grade. A maximum of 50 percent of all sides of a building visible from the street and not ultimately screened by another building or other device may consist of EIFS.

1. Dormers.
2. Cupolas.
3. Gables.
4. Recessed entries (minimum three feet).
5. Balconies.
6. Covered front porches (minimum 70 square feet in area and seven feet in depth).
7. Courtyards.
8. Box windows.
9. Architectural pillars or posts.
10. Exterior chimneys.
11. Varied roof heights.
12. Archways.
13. Porte cocheres.
14. Porticos.
15. Shutters (functional or decorative); or
16. Articulated cornice lines.

E. Design Features for Multi-Family (Types 2 and 3) and Non-Residential Buildings.

Non-residential, Type 2 multi-family, and Type 3 multi-family buildings shall comply with the following requirements:

1. Cladding materials used on a facade shall extend a minimum of 20 feet around building corners onto adjacent facades, other than facades abutting an alley.
2. All buildings must include at least four of the following design features, and buildings that are greater than 20,000 square feet in floor area must include at least six of the following design features:
 - a. Canopies, archways, covered walkways, or porticos.
 - b. Awnings.
 - c. Arcades.
 - d. Courtyards.
 - e. Cupolas.

- f. Balconies.
 - g. Tower elements.
 - h. Recesses, projections; columns; pilasters projecting from the planes; offsets; reveals; or projecting ribs used to express architectural or structural bays.
 - i. Varied roof heights for pitched, peaked, sloped, or flat roof styles.
 - j. Articulated cornice line.
 - k. Arches.
 - l. Display windows, faux windows, or decorative glass windows.
 - m. Architectural details, such as tile work and molding, or accent materials integrated into the building façade.
 - n. Integrated planters or wing walls that incorporate landscaping and sitting areas or outdoor patios.
 - o. Integrated water features; or
 - p. Other similar architectural features approved by the Zoning Administrator.
- F. Repetition of Elevations for Single Family Detached Uses and Duplexes.
1. No street-facing elevation on a single family detached home or duplex shall be repeated directly across the street from itself (excluding at “T” intersections and within cul-de-sacs), or within four lots of itself along the same block face, as illustrated on Exhibit G. At least 10 percent of an elevation must be different, or it will be considered to be a repeated elevation.
 2. In addition, no color scheme may be repeated within three lots of the same color scheme along the same block face.
- G. Single Family Attached Sound Attenuation.
- When single family attached uses share a common wall, the common wall shall have a minimum Sound Transmission Class (STC) rating of 58.
- H. Drive-Through Windows.
- Drive-through windows associated with restaurants are permitted only within 500 feet of Collins Street. Drive through windows associated with all other uses are limited to the town center area illustrated on the Master Plan or the area within 500 feet of Collins Street.
- I. Entries.
1. Non-residential, Type 2 multi-family and Type 3 multi-family buildings shall comply with the following requirements:
 - a. All ground floor entrances shall be covered or inset.

- b. Building entrances shall be articulated with architectural elements such as columns, porticos, porches, and overhangs.
2. All non-residential and Type 3 multi-family buildings over 20,000 square feet in floor area shall incorporate elements such as arcades, roofs, alcoves, porticos, and awnings that protect pedestrians from sun and weather for a minimum of 50 percent of the length of the building frontage along a street.

J. Building Articulation.

Non-residential (except for Schools), Type 2 multi-family, and Type 3 multi-family buildings shall comply with the following articulation requirements:

1. All facades adjacent to and facing a street or public open space shall comply with the following standards, as illustrated on **Exhibit H**:
 - a. No building facade shall extend for a distance greater than three times the mean height of the facade without having an off-set of 15 percent or more of the mean height of the facade. This off-set shall extend for a distance equal to at least 25 percent of the length of the adjacent plane described in the preceding sentence.
 - b. No portion of a horizontal facade that is the same height shall extend for a distance greater than three times that height without changing height by a minimum of 15 percent. This height change shall continue for a distance equal to at least 25 percent of the length of the adjacent plane described in the preceding sentence.
2. Facades adjacent to and facing a street or public open space shall include material changes or changes in relief such as columns, cornices, bases, fenestration, and fluted masonry.
3. The top floor of any building shall contain a distinctive finish, consisting of a cornice, banding, or other architectural termination. In addition, the bottom one-third of any building exceeding six stories shall be distinguished from the remainder of the building by providing a distinctive level of detail, such as columns, pilasters, masonry base rustication, unique masonry detailing, unique fenestration, or other distinctive material or color variation.
4. Schools shall comply with the following requirements: No overall building façade shall extend for a distance greater than three times the mean height of the façade without having a minimum off-set of 3 feet. This off-set shall extend for a distance equal to at least 15 feet.

K. Transparency.

1. At least 25 percent of each residential facade (excluding mixed use buildings) adjacent to and facing a street or public open space shall contain windows or doorways.
2. At least 40 percent of each facade in non-residential buildings or mixed use buildings, adjacent to and facing a street or public open space shall contain windows or doorways, except that on a mixed use building containing residential uses, at least 40 percent of the first floor of each facade adjacent to a street or public open space shall contain windows or doorways, and at least 25 percent of the upper floors of each facade adjacent to a street or public open space shall contain windows or doorways.

3. There are no transparency requirements for a large scale retail use and for schools.

L. Outdoor Storage.

Outdoor storage is prohibited in connection with a non-residential use unless the Zoning Administrator approves it based upon a finding that the adverse effects of such storage have been mitigated through adequate restrictions regarding the storage location and type of screening. This provision does not apply to accessory outside storage, which is required to be screened in accordance with **Section V.B.5** of this PD.

With the exception of temporary construction fencing, the following types of fences are prohibited: chain link, barbed wire, pipe, vinyl, and razor wire fences.

M. Pedestrian Connectivity.

When a block face developed with non-residential uses or mixed use buildings exceeds 500 feet in length, pedestrian access through the block shall be provided. Such access may be provided through a pedestrian access easement, a business open to the public, or any other means that provides pedestrian access during regular business hours.

N. Accessory Buildings.

An accessory building shall not exceed the floor area of the main building.

O. Enhancements on Corner Lots.

Each single family detached home and Type 1 multi-family building located on a corner lot shall include a minimum of two architectural enhancements on the side of the building facing the intersecting street. Examples of architectural enhancements include, but are not limited to, gables, columns, windows, vents, porches, and shutters.

Each corner lot with a single family detached home or Type 1 multi-family building shall have landscape enhancements along the side street as follows: at least one minimum three-inch caliper tree shall be planted for each 35 feet (or fraction thereof) of lot length along the side street, and a minimum of five evergreen shrubs that are a minimum of five gallons shall be planted every five feet on center along fence lines facing the side street. Trees are not required to be evenly spaced.

P. Other.

1. Each single family detached home and Type 1 multi-family building will have enhancements particular to each style of architecture. For example, coastal style homes will have elevations that feature cementitious fiberboard siding (lap, shake or scallop design), covered porches, porch railings, fascia and trim moldings, shutters, lower pitch roofs, and dormers, and Mediterranean style homes will have elevations that feature arched windows, porches with arches, "A" gable roofs, soffit rafter tails, balconies, and towers.
2. Each single family detached home shall be serviced by a shared mailbox for each two homes which is landscaped and architecturally compatible with the residential structure in which it serves. All streets will have upgraded street lights that will be architecturally compatible with the overall theme of this PD.

IX. GRANT OF PERMISSION FOR USE OF RIGHT-OF-WAY

A. Grant of permission.

The Council hereby grants a non-exclusive revocable permission subject to an easement use agreement for each named improvement to each owner of land and tenant within the Property boundaries to use the public right of way within the Property boundaries for the exclusive purpose of constructing, operating, repairing and maintaining the following improvements and any improvements reasonably related thereto or necessary for the operation thereof:

1. Street and pedestrian lighting,
2. Public seating areas,
3. Landscaping and related amenities, including fountains,
4. Monuments, statues, or other public artwork,
5. Street furniture, including benches,
6. Drinking fountains,
7. Trash containers,
8. Tunnels;
9. Security cameras,
10. Bollards,
11. Temporary construction barricades,
12. Underground duct banks,
13. Pedestrian bridges and overpasses,
14. Arches,
15. String lighting, and
16. Wiring

The Zoning Administrator may authorize additional items (other than those enumerated in this Section A above) to be included in the permission if such items do not interfere with the public use of the right of way.

B. Limitations.

This permission will not terminate at the end of any specific time period, however, the Council reserves and has the absolute right to terminate this permission at will, by adoption of a resolution, at any time such termination becomes necessary. Written notice shall be provided to the abutting property owner as listed on the current tax roll 15 days in advance of the Council meeting.

The determination by the City of the necessity of the termination is final and binding, and the City is entitled to possession of the premises without giving any additional notice and without necessity of legal proceedings to obtain possession thereof, when in its judgment, the purpose or use of this permission is inconsistent with the public use of the right-of-way or the purpose or use of this permission is likely to become a nuisance or a public safety issue.

Upon termination of the permission by the Council, each owner or tenant shall remove all improvements and installations in the public right-of-way to the satisfaction of the Director of Public Works and Transportation.

The City reserves the right to require the relocation of improvements and encumbrances at the owners' or tenants' expense for any construction project within the right of way, as determined by the Director of Public Works and Transportation, or when in the City's sole discretion it is warranted by the public health, safety and welfare.

C. Insurance Required.

Upon the conducting of any activities or installing any of the improvements described in **Section A**, it is a condition to continuation of the license that there be in place commercial general liability insurance coverage with an insurance company authorized to do business in the State of Texas and otherwise acceptable to the City, covering, but not limited to, the liability assumed under the license granted under this section, with combined single limits of liability for bodily injury and property damage of not less than \$1,000,000 for each occurrence, \$2,000,000 annual aggregate. Coverage under this liability policy must be on an "occurrence" basis and the City shall be named as additional insured. Proof of such insurance must be sent to: Office of Risk Management (Tel: 817-459-6869). City of Arlington, TX 76004-3231; and the policy must provide for thirty days prior written notice to the Office of Risk Management of cancellation, expiration, non-renewal, or other material change in coverage. All subrogation rights for loss or damage against the City are hereby waived to the extent same are covered by the liability insurance policy. In the event there is more than one license holder, such holders shall be individually, and not joint and severally, liable hereunder.

D. Maintenance.

Each owner or tenant placing permitted improvements in the right-of-way shall be responsible for obtaining all required construction and building permits, and maintaining and keeping the improvements safe and from deteriorating in value or condition at no expense to the City. The City shall be absolutely exempt from any requirement to make repairs to or to maintain the permitted improvements.

E. Staff Review.

1. The Director of Public Works and Transportation shall review all proposed improvements described by **Section A**, and shall approve a proposed improvement if:
 - a. The improvement will not unreasonably interfere with pedestrian or vehicular traffic, the design and location of the improvement includes all reasonable planning to minimize potential harm or injury to or interference with the public in the use of the public street, and the improvement will not create any hazardous condition or obstruction of vehicular or pedestrian travel upon the public street; and

- b. There is clear, continuous, and unobstructed passageway for pedestrians that is a minimum of five feet in width with a minimum vertical clearance of eight feet, provided, however, that where unusual circumstances exist, the requirement could be less than five feet in width where it is certain that public safety would not be jeopardized
2. The Zoning Administrator shall review all proposed improvements described by **Section A** in the context of land use compatibility, architectural consistency, character of the development, and pedestrian mobility. If the Zoning Administrator determines that a permitted improvement is inappropriate based on the foregoing standards, an applicant may appeal that determination to the Zoning Board of Adjustment within 15 days after the decision in accordance with the procedures set forth in Section 5-800 of the Zoning Ordinance (*i.e. Section 9.4 in the UDC specifically related to Zoning Board of Adjustment*).

X. LANDSCAPING

- A. The landscape requirements in this article are the exclusive landscaping requirements applicable to the Property. Unless otherwise stated in this article, the requirements of Article XIV of the Zoning Ordinance (Landscape and Screening Standards) do not apply. *(i.e. Section 5.3 in the UDC specifically related to Screening, Buffering, and Fencing do not apply).*
- B. Single family detached, single family attached, duplex, and Type 1 multi-family development shall be landscaped in accordance with the residential landscaping requirements on **Exhibit I**.
- C. Parkways adjacent to Type 2 multi-family, Type 3 multi-family, and non-residential buildings shall be landscaped in accordance with Section 14-300 of the Zoning Ordinance, *(i.e. Section 5.2 in the UDC specifically related to Landscaping).*
- D. Except as follows:
 - 1. The tree point provisions of Section 14-300 of the Zoning Ordinance do not apply *(i.e. Section 5.3 in the UDC specifically related to Screening, Buffering, and Fencing do not apply).*
 - 2. The landscape setback shall be measured from the inside boundary line of the pedestrian access and utility easement (not the street-side boundary line).
 - 3. The requirements of Section 14-300 of the Zoning Ordinance related to transitional buffers do not apply. *(i.e. Section 5.3 in the UDC specifically related to Screening, Buffering, and Fencing do not apply)*
 - 4. Subsection 14-300(D) of the Zoning Ordinance (Landscaping Internal to Parking Areas) does not apply *(i.e. Section 5.2 in the UDC specifically related to Screening, Buffering, and Fencing do not apply).*
 - 5. All required landscape materials shall be irrigated with an automatic irrigation system, however, landscaping in above ground planters may be irrigated by hand or with an automatic irrigation system. All automatic irrigation systems shall have rain and freeze sensors.
- E. Parking lots for Type 2 multi-family, Type 3 multi-family, and non-residential buildings shall be landscaped as described below:
 - 1. A maximum of 20 uninterrupted parking spaces are permitted in a row before relieved by a landscaped island.
 - 2. Landscaped islands are required at the end of each parking aisle.
 - 3. All landscaped islands shall be a minimum of seven feet in width and the depth of a parking space. If a double row of parking is provided, the island shall be the depth of both rows.
 - 4. At least 15 percent of a parking lot shall be landscaped.

5. Every landscaped island shall have at least one tree and shall be landscaped with ground cover. Trees shall be a minimum of three inches in caliper at the time of planting, except that trees located at the end of parking aisles must be a minimum of four inches in caliper at the time of planting. Trees may be located within landscaped islands, minimum four foot by four foot landscape diamonds, or other landscaped areas within a parking lot.
 6. The total number of trees within a parking lot shall equal at least one tree for every 20 parking spaces within the parking lot.
 7. All required landscape materials shall be irrigated with an automatic irrigation system, however, landscaping in above ground planters may be irrigated by hand or with an automatic irrigation system.
 8. At Schools, street trees are not required adjacent to or in bus and vehicular loading zones or along "visitor street parking".
- F. All required trees must be of a species approved for planting under Article XIV of the Zoning Ordinance (*i.e. the approved plant list in the information bulletin of the UDC*).

XI. TREE PRESERVATION

- A. This article contains the exclusive tree preservation requirements applicable to the Property. The trees required to be preserved by this article will exceed the tree preservation standards in the Zoning Ordinance (*i.e. Section 5.2.3 of the Unified Development Code, pertaining to Tree Preservation and Replacement*).
- B. Trees located in the area shown on **Exhibit J** must be preserved, except that trees may be removed in areas that will contain drainage, roadway, trail, or similar improvements, but only to the extent tree removal is necessary to construct such improvements.
- C. Prior to the commencement of any construction activity within 20 feet of the area shown on **Exhibit J**, areas shown on **Exhibit J** that are within 20 feet of proposed construction activity shall be protected by installing temporary protective fencing between such areas and the construction activity. The protective fencing may be comprised of brightly colored vinyl construction fencing, chain link fencing, or other similar fencing with an approximate height of four feet or greater.
- D. No tree removal permit shall be required to remove trees outside of the area shown on **Exhibit J**. A tree removal permit is required to remove trees within the area shown on **Exhibit J**.
- E. If this PD is amended in the future to include additional property, the trees shown on **Exhibit J** for preservation may also be used to satisfy the tree preservation requirements for a maximum of 100 additional acres.

XII. SCREENING

A. Rooftop Equipment.

Rooftop equipment shall be screened from view at ground level. (Parapet walls referenced in **Section VIII C.3** shall fulfill this screening requirement *(i.e. Section 5.3.2 of the Unified Development Code, pertaining to Mechanical and Utility Equipment Screening)*).

B. Trash Storage Areas.

Outdoor trash storage areas visible from a street must be screened on three sides by a solid wall at least eight feet in height of a material that is consistent with the exterior building material of the main building that the storage area serves. Decorative metal opaque gates shall be used to access such trash collection areas. The perimeter of screening walls shall be landscaped with a minimum 12-inch wide landscape strip containing shrubs, vines, or a combination of both.

C. Off-Street Loading and Service Areas.

Off-street loading and service areas must be screened by walls consistent with the architectural style and materials of the associated building at least eight feet in height, and by planting evergreen plant material capable of growing to eight feet in height within 18 months after planting. For schools, decorative fencing, six feet in height, may be used in lieu of solid walls with planting material that meets transparency requirements for school security.

D. Other.

Each single family detached home will have the Heating, Ventilation, and Air Conditioning (HVAC), Electrical, and Gas equipment located behind the rear yard fence to create a more appealing streetscape. If the electrical and gas equipment cannot be located behind the fence due to regulatory requirements, meters will be screened from the street by evergreen plant material of sufficient height to effectively screen the equipment from view.

XIII. PARKING

A. General Provisions.

1. Except as otherwise provided in this paragraph, required parking must be off-street parking. Head-in and parallel parking spaces located on streets are permitted and count toward required parking. Head-in parking is not permitted if maneuvering is done on an arterial street, unless the maneuvering is done on a slip road.
2. Within the town center areas on the Master Plan, as well as areas within 300 feet of those areas, shared parking and off-premise parking may be provided for mixed use buildings in accordance with the town center parking requirements in Section D below. Off-premise and shared parking for all other areas is prohibited, unless the Zoning Administrator approves such parking if the alternative parking arrangement avoids the provision of excess parking or is otherwise supported by the findings of a parking study and the alternative parking arrangement will not have an adverse effect on property adjacent to the area where the alternative parking is provided.
3. Unless otherwise stated, all parking spaces may be enclosed or unenclosed.

B. Off-Premise Parking.

Except as otherwise provided in this article, parking spaces must be located on the same platted lot as the use that they serve.

C. Minimum Parking Requirements.

See **Table XIII.1** for the minimum parking requirements for each principal use. Parking is not required for floor area devoted to common areas, such as common areas associated with indoor malls and the lobbies of office buildings. If a use has a drive through window, a minimum of six stacking spaces shall be provided in addition to the parking requirements listed in **Table XIII.1** on the following page.

Table XIII-1 Minimum Parking Requirements:

PERMITTED USE	MINIMUM PARKING REQUIREMENT²
INSTITUTIONAL	
Business School	1 per student
Religious Assembly	1 per 4 seats in sanctuary or auditorium
College, University, or Seminary	1 per 4 students
Community Center	1:200 SF
Day Care Center	1 per 8 students
Government Administration and Civic Buildings	To be determined by Zoning Administrator based on most similar use
Hospital	1½ per bed
Library	1:350 SF of public area
Medical Clinic or Ambulatory Surgical Center	4: 1,000 SF
Museum or Art Gallery	1:400 SF
Public or Private School	Elementary – 1 per 20 students; Junior High – 1 per 18 students; Senior High – 1 per 1.75 students; Kindergarten – 1 per 8 students
OFFICES	
Offices	3:1,000 SF
RECREATION AND ENTERTAINMENT USES	
Country Club with Golf Course	1:300 SF
Nightclub	1:100 SF
Park, Playground, or Golf Course	Golf course 9.8 per hole; otherwise none
Private Club, Lodge, or Fraternal Organization	1:200 SF
Recreation and Entertainment, Indoor	Theater – 1 per 4 seats; Bowling Alley – 6 per lane; Pool Halls and Other Commercial Amusements (Indoor) – 1:100 SF; Racquetball Court – 4 per court; Health Club – 1:200 SF

² Fractional parking requirements shall be rounded up to the nearest whole number. Unless otherwise stated, references to square footage are to floor area.

PERMITTED USE	MINIMUM PARKING REQUIREMENT ²
RESIDENTIAL AND LODGING USES	
Hotel, Boutique	1 per guest room up to 100 rooms; then 0.75 per guest room over 100; 50 percent of these spaces may be counted to satisfy the parking requirements of accessory uses
Community Home	1 per six beds
Duplex	2 per dwelling unit
Extended Care Facility	1 per 6 beds
Hotel, Full Service	1 per guest room up to 100 rooms; then 0.75 per guest room over 100; 50 percent of these spaces may be counted to satisfy the parking requirements of accessory uses
Multi-Family	1.65 per dwelling unit for the first 50 dwelling units; 1.50 per dwelling unit thereafter
Nursing Home	1 per six beds
Single Family (Attached and Detached)	2 per dwelling unit
Assisted Living Facility	1 per 1½ dwelling units
RETAIL AND PERSONAL SERVICE USES	
Bar	1:75 SF
Antique Shop	2:1,000 SF (1:400 for furniture sales)
Car Wash	1:150 SF
Catering Service	3:1,000 SF
General Personal Services (Cleaning, Laundry)	3:1,000 SF
General Personal Services (Copy Center)	3:1,000 SF
Custom and Craft Work	1:400 SF
Farmers Market	1:1,000 SF of site area
Gasoline Sales	1:250 SF with a minimum of 4 spaces
General Retail Store, Other Than Listed	3:1,000 SF (1:400 SF for furniture sales)
Large Scale Retail	3:1,000 SF (1:400 SF for furniture sales)
Large Scale Retail, Town Center	3:1,000 SF (1:400 SF for furniture sales)
Nursery, Garden Shop, Or Plant Sales	3:1,000 SF for indoor portion; 1:600 SF for

PERMITTED USE	MINIMUM PARKING REQUIREMENT²
	outdoor portion
Open-Air Vending	None
Personal Services	3:1,000 SF
Restaurant	1:150 SF
Veterinary Clinic	1:400 SF
TEMPORARY USES	
Temporary Asphalt or Concrete Batch Plant	None
Temporary Carnival, Circus, or Amusement Ride	None
Temporary Construction Field Office	None
Temporary Construction Storage Yard	None
Temporary Outdoor Sales	None
UTILITY, COMMUNICATION, AND TRANSPORTATION USES	
Electric Generating Plant	None
Electric Utility Substation	None
Radio or TV Station Recording Studio	1:400 SF
Utility Lines, Towers, or Metering Station	None
Wireless Telecommunication Facilities (Including Radio, Television, or Microwave Tower)	None
WHOLESALE, DISTRIBUTION, AND STORAGE	
Distribution Center	1:3000 SF
OTHER	

Town Center Parking.

This Section D only applies to parking for a mixed use building.

1. Off-Premise Parking.

a. Residential Uses.

Required parking spaces for residential uses are not required to be located on the same lot as the use they serve; however, such spaces must be within 300 feet of the use they serve if they are not located on the same lot.

b. Non-Residential Uses.

Parking spaces for non-residential uses, whether required or excess, are not required to be located on the same lot as the use that they serve; however, such spaces must be within 600 feet of the use they serve if they are not located on the same lot.

2. Shared Parking.

The minimum parking requirements above may be reduced using the occupancy rates in **Table XIII.2** below to calculate the adjusted parking requirements, and the parking requirement shall be determined by the adjusted off-street parking calculation:

Table XIII-2: Shared Parking Requirements

Time of Day Use	Weekday			Weekend		
	12am – 8am	8am – 6pm	6pm – 12am	12am – 8am	8am – 6pm	6pm – 12am
Office	5%	100%	20%	5%	5%	5%
Restaurant	10%	70%	100%	20%	70%	100%
Retail	5%	90%	80%	5%	100%	70%
Entertainment	10%	40%	100%	50%	80%	100%
Hotel	100%	70%	100%	100%	70%	100%
Institutional (non-church)	5%	100%	20%	5%	10%	10%
Institutional (church)	5%	10%	5%	5%	100%	50%
Conference / Meeting Room	5%	100%	100%	5%	100%	100%
Residential	100%	60%	100%	100%	80%	100%
All other uses	100%	100%	100%	100%	100%	100%

3. Calculation of the adjusted off-street parking requirements will be as follows:
 - a. Determine the parking requirements for each use within the PD.
 - b. Multiply the parking requirement calculated per **Table XIII.1** by the occupancy rate for that category of use in **Table XIII.2**. See **Table XIII.3** for the shared parking category of use for each land use listed in **Table XIII.1**.
 - c. Total the time of day columns for both weekday and weekend to determine the parking demand at each time of day.
 - d. The column with the largest sum is the adjusted off-street parking requirement.
4. Example of adjusted parking calculations:
 - a. 50,000 sq. ft. office, 30,000 sq. ft. retail and 20,000 sq. ft. restaurant, respectively.
 - b. Individual office parking requirements: $(3 \text{ spaces}/1,000 \text{ sq. ft.})(50,000 \text{ sq. ft.}) = 150 \text{ spaces}$
 - c. Individual retail parking requirements: $(3 \text{ spaces}/1,000 \text{ sq. ft.})(30,000 \text{ sq. ft.}) = 90 \text{ spaces}$
 - d. Individual restaurant requirements: $(1 \text{ space}/100 \text{ sq. ft.})(20,000 \text{ sq. ft.}) = 200 \text{ spaces}$
 - e. Total: $150 + 90 + 200 = 440 \text{ total spaces}$
 - f. Adjusted parking calculation for weekdays and weekends is as follows:

Weekday			
Time of Day			
12mid - 8am	8am - 6pm		6pm - 12mid
Office	$(.05)(150) = 8$	$(1.0)(150) = 150$	$(0.2)(150) = 30$
Retail	$(.05)(90) = 5$	$(0.9)(90) = 81$	$(0.8)(90) = 72$
Restaurant	$(0.1)(200) = 20$	$(0.7)(200) = 140$	$(1.0)(200) = 200$
Total	33	371	302

Weekend			
Time of Day			
12mid-8am	8am - 6pm		6pm-12mid
Office	(.05)(150)=8	(.05)(150)=8	(.05)(150)=8
Retail	(.05)(90)=5	(1.0)(90)=90	(0.7)(90)=63
Restaurant	(0.2)(200)=40	(0.7)(200)=140	(1.0)(200)=200
Total	53	238	271

g. Solution to example calculation:

371 spaces required, i.e., the highest total for any time period both weekday and weekend (Allows a 16 percent savings from 440 spaces). The categories of shared parking attributable to each use are identified in **Table XIII.3**.

Table XIII-3: Uses within Each Shared Parking Category

PERMITTED USE	SHARED PARKING CATEGORY ³
INSTITUTIONAL	
Business School	Not Eligible
Religious Assembly	Not Eligible
College, University, or Seminary	Not Eligible
Community Center	Not Eligible
Day Care Center	Not Eligible
Government Administration and Civic Buildings	Institutional (non-church)
Hospital	Institutional (non-church)
Library	Institutional (non-church)
Medical Clinic or Ambulatory Surgical Center	Institutional (non-church)
Museum or Art Gallery	Institutional (non-church)
Public or Private School	Not Eligible

³ Uses identified as "other" are not permitted to have reduced parking requirements through a shared parking arrangement (i.e., they are deemed to have a 100 percent occupancy).

PERMITTED USE	SHARED PARKING CATEGORY³
OFFICES	
Offices	Office
RECREATION AND ENTERTAINMENT	
Country Club with Golf Course	Not Eligible
Nightclub	Entertainment
Park, Playground, or Golf Course	Not Eligible
Private Club, Lodge, or Fraternal Organization	Institutional (non-church)
Recreation and Entertainment, Indoor	Entertainment
RESIDENTIAL AND LODGING	
Hotel, Boutique	Hotel
Community Home	Not Eligible
Duplex	Not Eligible
Extended Care Facility	Not Eligible
Hotel, Full Service	Hotel or Conference/Meeting Room (As Applicable)
Multi-Family	Residential
Nursing Home	Not Eligible
Single Family (Attached)	Not Eligible
Single Family (Detached)	Not Eligible
Assisted Living Facility	Not Eligible
RETAIL AND PERSONAL SERVICE	
Bar	Entertainment
Antique Shop	Retail
Car Wash	Not Eligible
Catering Service	Retail
General Personal Services (Cleaning, Laundry)	Retail
General Personal Services (Copy Center)	Retail
Custom and Craft Work	Retail
Farmers Market	Retail

PERMITTED USE	SHARED PARKING CATEGORY³
Gasoline Sales	Not Eligible
General Retail Store, Other Than Listed	Retail
Large Scale Retail	Retail
Large Scale Retail, Town Center	Retail
Nursery, Garden Shop, or Plant Sales	Retail
Open Air Vending	Not Eligible
Personal Services	Retail
Restaurant	Restaurant
Veterinary Clinic	Retail
TEMPORARY	
Temporary Asphalt or Concrete Batch Plant	Not Eligible
Temporary Carnival, Circus, or Amusement Ride	Not Eligible
Temporary Construction Field Office	Not Eligible
Temporary Construction Storage Yard	Not Eligible
Temporary Outdoor Sales	Not Eligible
UTILITY, COMMUNICATION, AND TRANSPORTATION	
Electric Generating Plant	Not Eligible
Electric Utility Substation	Not Eligible
Utility Lines, Towers, or Metering Station	Not Eligible
Wireless Telecommunication Facilities (Including Radio, Television, or Microwave Tower)	Not Eligible
WHOLESALE, DISTRIBUTION, AND STORAGE	
Distribution Center	Not Eligible

5. Master Parking Plan.

a. Applicability.

Notwithstanding anything to the contrary in this subsection, only uses that utilize off-premise or shared parking are required to demonstrate parking requirements through a master parking plan.

b. Initial Master Parking Plan.

Prior to the issuance of the first building permit to construct new floor area served by off-premise or shared parking, an initial master parking plan shall be provided to the Zoning Administrator.

c. Periodic Updated Master Parking Plans Required.

Except as otherwise provided below, the initial master parking plan shall be updated, and an updated plan submitted to the Zoning Administrator, prior to any of the following:

- (1) Issuance of any subsequent building permits to construct new floor area served by off-premise or shared parking;
- (2) Issuance of a demolition permit to demolish existing floor area served by off-premise or shared parking;
- (3) Issuance of a certificate of occupancy that allows a new use or changes an existing use served by off-premise or shared parking; and
- (4) Making any change to a mixed use building that increases or decreases the existing parking requirement if that building is served by off-premise or shared parking, regardless of whether such change requires a building permit or certificate of occupancy.

d. Contents of Master Parking Plan.

Both the initial and updated master parking plans shall contain the following information:

- (1) A tabulation box that includes the basis for the calculation of the parking requirement (e.g., amount of floor area; number of dwelling units, guest rooms, or beds) for each existing and proposed use served by off-premise or shared parking, and the resulting calculation of the parking requirement for such uses;
- (2) The general location⁴ of all required parking identified under the preceding paragraph (the boundaries of the parking area and the total number of spaces within such area shall suffice); and

⁴ It is not necessary to show each individual parking space. The outline of the parking lot, or the footprint of the parking garage, along with a notation regarding the number of parking spaces in such lot or garage, is sufficient.

- (3) Identification of the particular parking spaces devoted to each mixed use building containing a residential use for the purpose of confirming such parking spaces are within the required distances from the uses they serve. Only the parking spaces devoted to the residential portion must be identified.

XIV. OFF-STREET LOADING FOR NON-RESIDENTIAL USES

Off-street loading facilities may be accessed from a street or a private service drive, or may consist of a berth within a structure. Off-street loading facilities shall be screened in accordance with the applicable provisions of this PD. On-street loading is permitted in designated loading zones.

XV. SIGNS

The Council may approve different sign regulations than the regulations in the Zoning Ordinance by approving an alternate sign package (*i.e. Section 7.15 in the UDC specifically related to Alternate Sign Plan*). An alternate sign package follows the same process as a zoning change.

XVI. OPEN SPACE

- A. The requirements of this article are intended to help maintain the integrity of the River Legacy Park and existing trail system on the Property; promote the continuity and expansion of publicly accessible open space and trails; protect and enhance the environmental values of the River Legacy Park and the surrounding open space; and ensure that publicly accessible open space is preserved in perpetuity.
- B. Parks and open space areas shall be designated on approved plats for the Property and shall generally comply with the Preliminary Park and Open Space Master Plan attached as Exhibit K.
- C. A Final Park and Open Space Master Plan generally consistent with the Preliminary Park and Open Space Master Plan shall be submitted to the City prior to submittal of a preliminary plat for any portion of the Property.
- D. The developer shall provide areas large enough to accommodate the open space amenities required in Section XVI.E of this PD.
- E. Open space amenities shall be provided as follows:
 - 1. The developer shall, at a minimum, construct the following amenities within open space by the time the Building Inspector approves the final inspection or the certificate of occupancy for the 700th dwelling unit located outside town center areas as shown on the Master Plan:
 - a. One recreational facility (may be an amenity center).
 - b. A swimming pool complex.
 - c. Four Tennis Courts.
 - d. Event lawn area in the amenity center.
 - e. Three play structures (such as climbers, jungle gyms, spinners, or hangers).
 - f. One shade structure for each active park.
 - g. Two picnic tables for each active park.
 - h. Two park benches for each active park.
 - i. Three dog clean-up station.
 - j. Fencing for each pocket park.
 - k. Community Dog park.
 - l. Shared use with the School play yard.
 - m. Fish Pond.
 - n. Bocce Ball Court.
 - o. Water Fountains at major parks.

- p. Gas Barbeque grills in amenity center; and
 - q. Park signage.
2. The developer shall, at a minimum, construct the following amenities within open space shown by the time the Building Inspector approves the final inspection or the certificate of occupancy for the 2,000th dwelling unit located outside town center areas as shown on the Master Plan:
- a. One recreational facility (may be an amenity center).
 - b. A swimming pool complex.
 - c. Active play field.
 - d. Gas Grills in Amenity Center.
 - e. One play structure (such as climbers, hangers, slides or spinners) in Active Parks.
 - f. Two picnic tables for each active park.
 - g. Two park benches for each active park.
 - h. One dog clean up station.
 - i. Park signage.
 - j. One shade structure in Active parks.
 - k. Sailing Center and Boat Dock; and
 - l. Pocket Park.
3. The developer shall, at a minimum, construct the following amenities within open space by the time the Building Inspector approves the final inspection or the certificate of occupancy for the 4,000th dwelling unit located outside town center areas as shown on the Master Plan:
- a. One recreational facility (may be an amenity center).
 - b. A swimming pool complex.
 - c. Active play field.
 - d. Barbeque Grills.
 - e. One play structure (such as climbers, hangers, slides, or spinners).
 - f. Two picnic tables for each active park.
 - g. Two park benches for each active park.
 - h. One dog clean up station.

- i. Park signage.
- j. One shade structure for each active park; and
- k. Pocket Park.

4. Similar Amenities Allowed.

Open space amenities not specifically listed above, but of a similar type and nature to those listed above, are permitted as determined by the Zoning Administrator.

- F. Every dwelling unit shall be within 700 feet of open space, except that each dwelling unit in a single family attached or multi-family structure shall be within 1,000 feet of open space.
- G. The developer shall use non-potable whenever possible to irrigate open spaces and parks. The developer will install an irrigation system for all open spaces.
- H. Open space areas shall be landscaped with one tree that is a minimum of three inches in caliper for every 35 feet of street frontage or fraction thereof. Trees may be planted in clusters to create a natural appearance. Where feasible, the developer shall transplant as native trees from areas scheduled for developmental impact to open space areas and parks within the Property.
- I. Ownership and maintenance of public open space areas shall be in accordance with Senate Bill No. 919 adopted by the Texas Legislature in 2007, codified at Chapter 3861 of Subtitle C, Title 4, Special District Local Laws Code, the Viridian Municipal Management District, and other applicable State law. Private open space shall be maintained by a property owner's association or other appropriate entity.
- J. A minimum of 900 acres of the Property shall be provided as open space open to the public at such time as the Viridian Municipal Management District finds that the open space area is ready to be open to the public.

XVII. RECREATIONAL AND SOCIAL AMENITIES

- A. Prior to the approval of the final inspection for the 500th single family residence on the Property, an amenity center shall be constructed on the Property.
- B. Prior to the approval of the final inspection for the 2,000th single family residence on the Property, a second amenity center shall be constructed on the Property.
- C. Each amenity center shall have the following amenities and shall be open to residents and their guests:
 - 1. Restroom facilities;
 - 2. Meeting room;
 - 3. A swimming pool;
 - 4. Group recreational equipment;
 - 5. A playground; and
 - 6. An outdoor community gathering space
- D. In order to promote a sense of community, social programming will be incorporated into the fabric of this PD by the home owner's association. This programming is intended to create and support interaction between families, neighbors, neighborhoods and villages within this PD. Functions and events may include, but are not limited to, items such as the following:
 - 1. Clubhouse/Pool Activities and Events:

Dance classes, ballet classes, karate classes, fitness classes, scrap booking, book clubs, cooking classes, wine tasting, New Year's celebrations, bunko night, poker night, kid's story time, casino nights, super bowl parties, Valentine's Day moms' night out, March madness, Easter Parade, Memorial Day pool opening, 4th of July event, Labor Day celebrations, Halloween events, Thanksgiving pot luck, meet and greet Santa, meet and greet your neighbors, and pancake socials.
 - 2. Outdoor Activities:

Bike races, , horseshoes, tennis, sand volleyball, fishing tournaments, fly and reel, movies on the lake, fireworks, national night out (safety), astronomy, bird watching, nature tours and classes, summer camps (in conjunction with River Legacy, Boy Scouts, or Girl Scouts), nature hikes, fun runs, marathons, mom's stroller classes, and Barktoberfest (dog party).
 - 3. Lake Events:

Sailing regattas, sculling, scuba diving lessons, canoeing/kayaking, bird watching classes, River Legacy educational classes, camping, boat rentals/catamarans, sand castle building, swimming, beach parties, and fishing tournaments.

4. Town Center Events:

Trade days, art and craft fairs, pottery, Taste of Arlington, farmers market, WiFi in public areas, art competitions, sculpture contests, community parades, medieval fair, and musical and theatrical performances.

XVIII. STREET AMENITY DESIGN PACKAGE

- A. The following street amenities will be provided in town center areas shown on the Master Plan: pedestrian street lamps, bike racks, litter containers, and street seating. Such amenities shall be installed concurrently with required landscaping. Street amenities are not required within 100 feet of a platted single family attached or detached residential lot line.

- B. A street amenity design package shall be submitted along with the development plan for the portion of the Property being developed. The design package shall, at a minimum, include designs for pedestrian street amenities that are consistent with accepted urban design principles and compatible with the theme or architecture of the development depicted in the development plan application. The design package shall indicate the general location of street amenities proposed on or adjacent to the portion of the Property that is the subject of the development plan, and future development plans shall also show the proposed locations of street amenities.

XIX. STREET SECTIONS

Streets must be provided in accordance with the proposed street sections shown on ***Exhibit L***; however, this PD shall not be construed to modify the City's standard minimum requirements for street construction and the dedication of public right-of-way.

XX. PEDESTRIAN AND STREET LIGHTING STANDARDS

Street lighting and pedestrian lighting shall be provided in accordance with *Exhibit M.*

XXI. EXHIBITS

The following exhibits are attached hereto and incorporated by reference for all purposes:

Exhibit "A"	Master Plan
Exhibit "B"	Permitted Uses
Exhibit "C"	Depiction of the Property
Exhibit "D"	Legal Description of the Property
Exhibit "E"	Intentionally Omitted (<i>Wireless tower locations</i>)
Exhibit "F"	Building Setback, Area, and Bulk Requirements for Residential
Exhibit "G"	Illustration of Anti-Monotony Rule
Exhibit "H"	Building Articulation
Exhibit "I"	Landscaping
Exhibit "J"	Tree Preservation Area
Exhibit "K"	Preliminary Park and Open Space Master Plan
Exhibit "L"	Street Section Table
Exhibit "M"	Pedestrian and Street Lighting Standards
Exhibit "N"	Intentionally Omitted (<i>Gas well Sites</i>)
Exhibit "O"	Intentionally Omitted
Exhibit "P"	Architectural Styles
Exhibit "Q"	Residential Planning Areas

EXHIBIT "B":
PERMITTED USES CHART

PERMITTED USES				
INSTITUTIONAL				
	RESIDENTIAL	TOWN CENTE R	CIVIC	OPEN SPACE
Business School		P		
Religious Assembly	P	P	P	
College, University, or Seminary		P		
Community Center	P	P	P	
Day Care Center	P	P	P	
Government Administration and Civic Buildings	P	P	P	
Hospital		P		
Library	P	P	P	
Medical Clinic or Ambulatory Surgical Center		P		
Museum or Art Gallery		P	P	
Public or Private School	P	P	P	
OFFICE				
Offices		P	P	
RECREATION AND ENTERTAINMENT				
Country Club with Golf Course	P	P	SUP	P
Nightclub		P		
Park, Playground, or Golf Course	P	P	P	P
Private Club, Lodge, or Fraternal Organization	P	P	P	
Recreation and Entertainment, Indoor ⁵	P	P	P	SUP

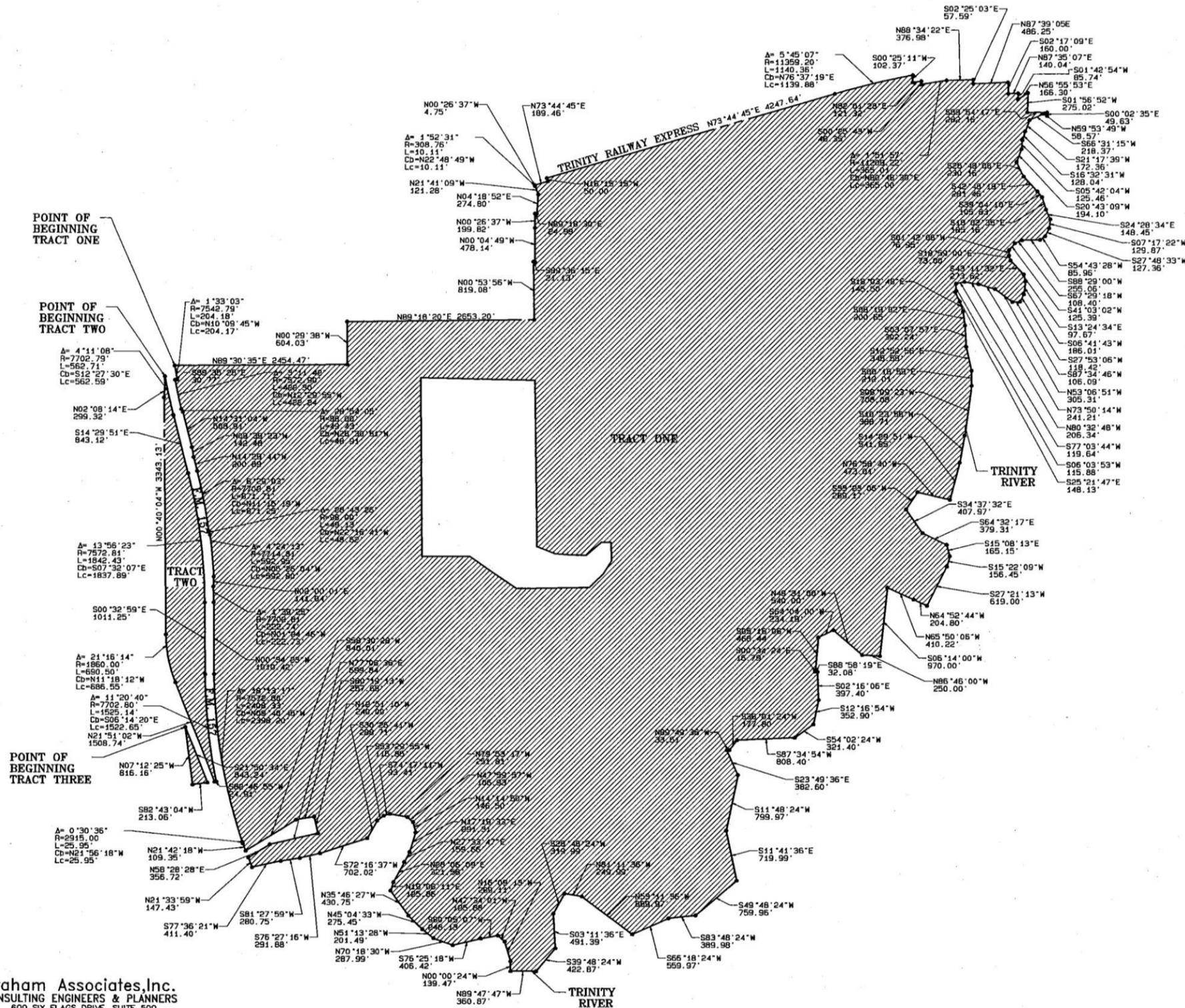
⁵ Coin operated arcades operated in connection with an inside recreation use are permitted only as an accessory use.

RESIDENTIAL AND LODGING				
	RESIDENTIAL	TOWN CENTE R	CIVIC	OPEN SPACE
Hotel, Boutique		C		
Community Home	P	P		
Duplex	P	P		
Extended Care Facility		P		
Hotel, Full Service ⁶		P		
Multi-Family	SEE SECTION VI FOR MORE DETAILS			
Nursing Home		P		
Single Family (Attached and Detached)	P	P		
Assisted Living Facility		P		
RETAIL AND PERSONAL SERVICE USES				
Bar		P		
Antique Shop		P		
Car Wash		P		
Catering Service		P		
General Personal Services (Cleaning Laundry)		P		
General Personal Services (Copy Center)		P		
Custom and Craft Work		P		
Farmers Market		P		
Gasoline Sales		P		
General Retail Store, Other Than Listed		P		
Large Scale Retail		C		
Large Scale Retail, Town Center		P		
	RESIDENTIAL	TOWN CENTE R	CIVIC	OPEN SPACE

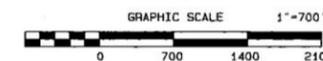
⁶ Full service hotels must comply with Section 3.2.3 of the Unified Development Code.

Nursery, Garden Shop, or Plant Sales		P		
Open Air Vending		P		
Personal Services		P		
Restaurant		P		
Veterinary Clinic		C		
TEMPORARY				
Temporary Asphalt or Concrete Batch Plant	C	C	C	C
Temporary Carnival, Circus, or Amusement Ride		P		
Temporary Construction Field Office	C	C	C	C
Temporary Construction Storage Yard	C	C	C	C
Temporary Outdoor Sales		P		
UTILITIES, COMMUNICATION, AND TRANSPORTATION				
Electric Generating Plant	P	P		
Electric Utility Substation	P	P		
Radio or TV Station Recording Studio		P		
Radio, Television, or Microwave Tower		P		
Utility Lines, Towers, or Metering Station	P	P	P	P
Wireless Telecommunication Facilities		C		C
WHOLESALE, DISTRIBUTION, AND STORAGE				
Distribution Center		S		
OTHER				
Gas Well Drilling and Production	SEE SECTION V.C FOR MORE DETAILS			

EXHIBIT "C": DEPICTION OF THE PROPERTY



VIRIDIAN EXHIBIT "C"



DATE OF DRAWING: 06-23-08
 REVISED DATE: 05-02-16

G Graham Associates, Inc.
 CONSULTING ENGINEERS & PLANNERS
 600 SIX FLAGS DRIVE, SUITE 500
 ARLINGTON, TEXAS 75011 (817) 640-8535
 TDPF FIRM: F-1191/TBPLS FIRM: 101538-00

EXHIBIT "D":

LEGAL DESCRIPTION OF THE PROPERTY

05-02-16

TRACT 1:

Being a 2,147.12 acre tract of land situated in the William Jenkins Survey, Abstract No.856, Samuel Kephart Survey, Abstract No.891, Thomas D. Newton Survey, Abstract No. 1164, Jehu Condra Survey, Abstract No. 347, E. Jones Survey. Abstract No. 842, J.J. Goodfellow Survey, Abstract No. 1904, Norman Underwood Survey, Abstract No. 1582, Jefferson Estill Survey, Abstract No. 491, John Childress Survey, Abstract No. 249, Jonathan Brown Survey, Abstract No. 109, James & DC Swan Survey, Abstract No. 1995, Patrick G. Dalton Survey, Abstract No. 414, Madison Coleman Survey, Abstract No. 380 and the Thomas Dalton Survey, Abstract No. 402, Tarrant County, Texas, and being all of a tract of land, conveyed Viridian Holdings, LP., as recorded in Document No. D215157108, and a portion of a tract of land conveyed to Viridian Holdings, LP., as recorded in Document No. D215157350, County Clerk Records, Tarrant County, Texas, and being more particularly described as follows:BEGINNING at a found 1/2 inch iron rod for corner, said point being the most northwesterly corner of said Tract 1, and being in the existing east right-of-way line of North Collins Street (FM 157) (having a variable width R.O.W.);

BEGINNING at a found 1/2 inch iron rod for corner, said point being the most northwesterly corner of said Tract 1, and being in the existing east right-of-way line of North Collins Street (FM 157) (having a variable width R.O.W.);

THENCE North 89°30'35" East, a distance of 2454.47 feet to a point for corner;

THENCE North 00°29'38" West, a distance of 604.03 feet to a point for corner;

THENCE North 89°18'20" East, a distance of 2653.20 feet to a point for corner;

THENCE North 00°53'56" West, a distance of 819.08 feet to a point for corner;

THENCE South 89°36'15" East, a distance of 21.13 feet to a point for corner;

THENCE North 00°04'49" West, a distance of 478.14 feet to a point for corner;

THENCE North 00°26'37" West, a distance of 199.82 feet to a point for corner;

THENCE North 89° 18'30" East, a distance of 24.99 feet to a point for corner;

THENCE North 04°18'52" East, a distance of 274.80 feet to a point for corner;

THENCE North 21°41'09" West, a distance of 121.28 feet to a point for corner, for the beginning of a non-tangent curve to the left having a radius of 308.76 feet and a central angle of 1°52'3 1" and a long chord which bears North 22°48'49" West, 10.11 feet;

THENCE along said non-tangent curve to the left an arc distance of 10.11 feet to a point for corner;

THENCE North 00°26'37 11 West, a distance of 4.75 feet to a point for corner;

THENCE North 73°44'45.11 East, a distance of 189.46 feet to a point for corner;

THENCE North 16°15'15.11 West, a distance of 50.00 feet to a point for corner;

THENCE North 73°44'45" East, a distance of 4247.64 feet to a point for corner, for the beginning of a tangent curve to the right having a radius of 11359.20 feet, a central angle of 5°45'07", and a long chord which bears North 76°37'19" East, 1139.88 feet;

THENCE along said tangent curve to the right, an arc distance of 1140.36 feet to a point for corner;

THENCE South 00°25' 11" West, a distance of 102.37 feet to a point for corner;

THENCE North 82°01'28" East, a distance of 121.32 feet to a point for corner;

THENCE South 00°25'43" West, a distance of 46.35 feet to a point for corner, for the beginning of a non-tangent curve to the right having a radius of 11209.22 feet and a central angle of 1°5'15.711", and a long chord which bears North 80°48'30" East, 365.00 feet;

THENCE along said non-tangent curve to the right an arc distance of 365.01 feet to a point for corner;

THENCE North 88°34'22.11 East, a distance of 376.98 feet to a point for corner;

THENCE South 02°25'03" East, a distance of 57.59 feet to a point for corner;

THENCE North 87°39'05" East, a distance of 486.25 feet to a point for corner;

THENCE South 02°17'09" East, a distance of 160.00 feet to a point for corner;

THENCE North 87°35'07.11 East, a distance of 140.04 feet to a point for corner;

THENCE South 01°42'54.11 West, a distance of 85.74 feet to a point for corner;

THENCE North 56°55'53" East, a distance of 166.30 feet to a point for corner;

THENCE South 01°56'52" West, a distance of 275.02 feet to a point for corner;

THENCE South 89°54'17" East, a distance of 282.16 feet to a point for corner;

THENCE South 00°02'35.11 East, a distance of 49.63 feet to a point for corner;

THENCE North 59°53'49" West, a distance of 58.57 feet to a point for corner;

THENCE South 66°31'15" West, a distance of 218.37 feet to a point for corner;

THENCE South 21°17'39" West, a distance of 172.36 feet to a point for corner;

THENCE South 16°32'31" West, a distance of 128.04 feet to a point for corner;

THENCE South 05°42'04.11 West, a distance of 125.46 feet to a point for corner;

THENCE South 20°43'09" West, a distance of 194.10 feet to a point for corner;

THENCE South 25°49'06" East, a distance of 230.16 feet to a point for corner;

THENCE South 42°48'19" East, a distance of 281.46 feet to a point for corner;

THENCE South 39°04'10" East, a distance of 105.83 feet to a point for corner;
THENCE South 18°02'35.11 East, a distance of 185.16 feet to a point for corner;
THENCE South 24°28'34.11 East, a distance of 148.45 feet to a point for corner;
THENCE South 07°17'22.11 West, a distance of 129.87 feet to a point for corner;
THENCE South 27°48'33.11 West, a distance of 127.36 feet to a point for corner;
THENCE South 54°43'28.11 West, a distance of 85.96 feet to a point for corner;
THENCE South 88°29'00.11 West, a distance of 255.06 feet to a point for corner;
THENCE South 67°29'18.11 West, a distance of 108.40 feet to a point for corner;
THENCE South 41°03'02" West, a distance of 125.39 feet to a point for corner;
THENCE South 01°42'06" West, a distance of 76.95 feet to a point for corner;
THENCE South 18°59'00" East, a distance of 73.00 feet to a point for corner;
THENCE South 43°11'32" East, a distance of 273.62 feet to a point for corner;
THENCE South 13°24'34.11 East, a distance of 97.67 feet to a point for corner;
THENCE South 06°41'43" West, a distance of 186.01 feet to a point for corner;
THENCE South 27°53'06" West, a distance of 118.42 feet to a point for corner;
THENCE South 87°34'46" West, a distance of 106.09 feet to a point for corner;
THENCE North 53°06'51" West, a distance of 305.31 feet to a point for corner;
THENCE North 73°50'14" West, a distance of 241.21 feet to a point for corner;
THENCE North 80°32'48" West, a distance of 206.34 feet to a point for corner;
THENCE South 77°03'44" West, a distance of 119.64 feet to a point for corner;
THENCE South 06°03'53" West, a distance of 115.88 feet to a point for corner;
THENCE South 25°21'47" East, a distance of 148.13 feet to a point for corner;
THENCE South 18°03'48" East, a distance of 145.50 feet to a point for corner;
THENCE South 08°19'02" East, a distance of 200.65 feet to a point for corner;
THENCE South 03°07'57" East, a distance of 302.24 feet to a point for corner;
THENCE South 12°52'56" East, a distance of 345.58 feet to a point for corner;
THENCE South 00°18'59" East, a distance of 212.01 feet to a point for corner;
THENCE South 08°09'23" West, a distance of 708.08 feet to a point for corner;
THENCE South 10°23'56" West, a distance of 388.71 feet to a point for corner;

THENCE South 14°29'51" West, a distance of 541.65 feet to a point for corner;
THENCE North 76°58'40" West, a distance of 473.01 feet to a point for corner;
THENCE South 33°23'06" West, a distance of 289.17 feet to a point for corner;
THENCE South 34°37'32" East, a distance of 407.97 feet to a point for corner;
THENCE South 64°32'17" East, a distance of 379.31 feet to a point for corner;
THENCE South 15°08'13" East, a distance of 165.15 feet to a point for corner;
THENCE South 15°22'09" West, a distance of 156.45 feet to a point for corner;
THENCE South 27°21'13" West, a distance of 619.00 feet to a point for corner;
THENCE North 64°52'44" West, a distance of 204.80 feet to a point for corner;
THENCE North 65°50'06" West, a distance of 410.22 feet to a point for corner;
THENCE South 06°14'00" West, a distance of 970.00 feet to a point for corner;
THENCE North 86°46'00" West, a distance of 250.00 feet to a point for corner;
THENCE North 49°31'00" West, a distance of 540.00 feet to a point for corner;
THENCE South 64°04'00" West, a distance of 234.19 feet to a point for corner;
THENCE South 05°16'06" West, a distance of 468.44 feet to a point for corner;
THENCE South 00°34'24" East, a distance of 16.79 feet to a point for corner;
THENCE South 88°58'19" East, a distance of 32.08 feet to a point for corner;
THENCE South 02°16'06" East, a distance of 397.40 feet to a point for corner;
THENCE South 12°16'54" West, a distance of 352.90 feet to a point for corner;
THENCE South 54°02'24" West, a distance of 321.40 feet to a point for corner;
THENCE South 87°34'54" West, a distance of 808.40 feet to a point for corner;
THENCE South 38°01'24" West, a distance of 177.80 feet to a point for corner;
THENCE North 89°49'36" West, a distance of 33.51 feet to a point for corner;
THENCE South 23°49'36" East, a distance of 382.60 feet to a point for corner;
THENCE South 11°48'24" West, a distance of 799.97 feet to a point for corner;
THENCE South 11°41'36" East, a distance of 719.99 feet to a point for corner;
THENCE South 49°48'24" West, a distance of 759.96 feet to a point for corner;
THENCE South 83°48'24" West, a distance of 389.98 feet to a point for corner;
THENCE South 66°18'24" West, a distance of 559.97 feet to a point for corner;

THENCE North 53°11'36" West, a distance of 889.97 feet to a point for corner;
THENCE North 81 °11'36" West, a distance of 249.99 feet to a point for corner;
THENCE South 28°48'12" West, a distance of 319.99 feet to a point for corner;
THENCE South 03°11'36" East, a distance of 491.39 feet to a point for corner;
THENCE South 39°48'12" West, a distance of 422.87 feet to a point for corner;
THENCE North 89°47'47" West, a distance of 360.87 feet to a point for corner;
THENCE North 00°00'12" West, a distance of 139.47 feet to a point for corner;
THENCE North 16°09'13" West, a distance of 289.11 feet to a point for corner;
THENCE North 47°34'10" West, a distance of 125.88 feet to a point for corner;
THENCE South 80°05'10" West, a distance of 248.13 feet to a point for corner;
THENCE South 76°25'18" West, a distance of 406.42 feet to a point for corner;
THENCE North 70°18'13" West, a distance of 287.99 feet to a point for corner;
THENCE North 51°13'12" West, a distance of 201.49 feet to a point for corner;
THENCE North 45°04'13" West, a distance of 275.45 feet to a point for corner;
THENCE North 35°46'12" West, a distance of 430.75 feet to a point for corner;
THENCE North 19°06'11" East, a distance of 125.86 feet to a point for corner;
THENCE North 28°06'10" East, a distance of 321.56 feet to a point for corner;
THENCE North 27°33'14" East, a distance of 159.66 feet to a point for corner;
THENCE North 17°19'13" East, a distance of 291.31 feet to a point for corner;
THENCE North 14°14'15" West, a distance of 146.50 feet to a point for corner;
THENCE North 47°59'15" West, a distance of 106.93 feet to a point for corner;
THENCE North 79°53'17" West, a distance of 251.81 feet to a point for corner;
THENCE South 74°17'11" West, a distance of 93.41 feet to a point for corner;
THENCE South 53°29'15" West, a distance of 115.85 feet to a point for corner;
THENCE South 30°26'14" West, a distance of 288.71 feet to a point for corner;
THENCE South 72°16'37" West, a distance of 702.02 feet to a point for corner;
THENCE South 76°27'16" West, a distance of 291.88 feet to a point for corner;
THENCE South 81°27'59" West, a distance of 280.75 feet to a point for corner;
THENCE South 77°36'21" West, a distance of 411.40 feet to a point for corner;

THENCE North 21°33'59.11 West, a distance of 147.43 feet to a point for corner;

THENCE North 58°28'28.11 East, a distance of 356.72 feet to a point for corner;

THENCE North 77°06'36.11 East, a distance of 699.84 feet to a point for corner;

THENCE North 12°51'10.11 West, a distance of 240.00 feet to a point for corner;

THENCE South 80°19'13.11 West, a distance of 257.68 feet to a point for corner;

THENCE South 58°30'28.11 West, a distance of 840.01 feet to a point for corner;

THENCE North 21°42'18.11 West, a distance of 109.35 feet to a point for corner, for the beginning of a tangent curve to the right having a radius of 2914.96 feet and a central angle of 0°30'36.11 and a long chord which bears North 21°56'18.11 West, 25.95 feet;

THENCE along said tangent curve to the right an arc distance of 25.95 feet to a point for corner, for the beginning of a compound curve to the right having a radius of 7572.80 feet and a central angle of 18°13'17.11 and a long chord which bears North 09°40'45.11 West, 2398.20 feet;

THENCE along said compound curve to the right an arc distance of 2408.33 feet to a point for corner;

THENCE North 00°34'23.11 West, a distance of 1010.42 feet to a point for corner, for the beginning of a non-tangent curve to the left having a radius of 7702.81 feet and a central angle of 1°39'25" and a long chord which bears North 01°24'46" West, 222.73 feet;

THENCE along said non-tangent curve to the left an arc distance of 222.74 feet to a point for corner;

THENCE North 02°00'01.11 East, a distance of 141.04 feet to a point for corner, for the beginning of a non-tangent curve to the left having a radius of 7714.81 feet and a central angle of 4°24'13.11 and a long chord which bears North 05°26'04" West, 592.80 feet;

THENCE along said non-tangent curve to the left an arc distance of 592.95 feet to a point for corner, for the beginning of a reverse curve to the right having a radius of 98.00 feet, a central angle of 28°43'26", and a long chord which bears North 22°16'41" West, 48.62 feet;

THENCE along said reverse curve to the right, an arc distance of 49.13 feet to a point for corner, for the beginning of a reverse curve to the left having a radius of 7702.81 feet, a central angle of 6°29'03", and a long chord which bears North 11°15'19" West, 871.25 feet;

THENCE along said reverse curve to the left, an arc distance of 871.71 feet to a point for corner;

THENCE North 14°29'44" West, a distance of 200.89 feet to a point for corner;

THENCE North 09°39'23" West, a distance of 142.48 feet to a point for corner;

THENCE North 14°31'04" West, a distance of 508.91 feet to a point for corner, for the beginning of a tangent curve to the right having a radius of 98.00 feet and a central angle of 28°54'05" and a long chord which bears North 28°30'51" West, 48.91 feet;

THENCE along said tangent curve to the right an arc distance of 49.43 feet to a point for corner, for the beginning of a compound curve to the right having a radius of 7572.90 feet, a central angle of 3°11'42", and a long chord which bears North 12°29'55" West, 422.24 feet;

THENCE along said compound curve to the right, an arc distance of 422.30 feet to a point for corner;

THENCE South 89°35'25" East, a distance of 30.77 feet to a point for corner, for the beginning of a non-tangent curve to the right having a radius of 7542.79 feet and a central angle of 1°33'03", and a long chord which bears North 10°09'45" West, 204.17 feet;

THENCE along said non-tangent curve to the right an arc distance of 204.18 feet to the POINT OF BEGINNING and CONTAINING 93,528,751 square feet, 2,147.12 acres of land, more or less.

"Save & Except" from Tract 1 the following tract:

Being a 110.97 acre tract of land situated in the Samuel Kephart Survey, Abstract No. 891 and the Thomas D. Newton Survey, Abstract No. 1164, City of Arlington, Tarrant County, Texas, and being all of a called 110.97 acre tract of land, described as the "save and except" tract in a deed to Viridian Holdings, LP., as recorded in Document No. D215157108, County Clerk Records, Tarrant County, Texas. Said 110.97 acre tract of land being more particularly described by metes and bounds as follows:

COMMENCING at a found railroad spike for an inside ell corner of aforesaid 2,147.12 acre tract and being the southeast corner of a tract of land conveyed to Don G. and Rita J. Winn Trust, as recorded in Document No. D207016971, County Clerk Records, Tarrant County, Texas;

THENCE South 00°56'38" East, a distance of 855.96 feet to a found 3/4 inch iron rod, for the northeast corner of aforesaid 110.971 acre tract, being the POINT OF BEGINNING;

THENCE South 00°46'51" East, a distance of 2342.37 feet to a found 1 inch square tube for the inside ell corner of aforesaid 110.97 acre tract;

THENCE South 68°32'34" East, a distance of 282.28 feet to a found 1/2 inch iron rod for corner;

THENCE South 86°00'45" East, a distance of 185.98 feet to a found 1/2 inch iron rod for corner;

THENCE South 88°03'37" East, a distance of 241.41 feet to a found 3/4 inch iron rod for corner;

THENCE North 49°31 '08" East, a distance of 285.94 feet to a found 5/8 inch iron rod with a yellow cap stamped "Carter Burgess" for corner;

THENCE South 89°49'20" East, a distance of 136.26 feet to a found 1/2 inch iron rod for corner;

THENCE South 02°31 '12" East, a distance of 255.86 feet to a found 1/2 inch iron rod with a yellow cap stamped "Brittain & Crawford" for corner;

THENCE South 32°22'38" West, a distance of 222.96 feet to a found 1 inch iron rod for corner;

THENCE South 46°01 '29" West, a distance of 277.26 feet to a found 1/2 inch iron rod with a yellow cap stamped "Brittain & Crawford" for corner;

THENCE South 88°56'31" West, a distance of 744.44 feet to a found 1/2 inch iron rod with a yellow cap stamped "Brittain & Crawford" for corner;

THENCE South 89°27'53" West, a distance of 277.94 feet to a found 1/2 inch iron rod for corner;

THENCE North 55°45'57" West, a distance of 805.23 feet to a found 1/2 inch iron rod for corner;

THENCE South 89°34'03" West, a distance of 674.35 feet to a found 1/2 inch iron rod with a yellow cap stamped "Brittain & Crawford" for the southwest corner of aforesaid 110.97 acre tract;

THENCE North 00°32'29" West, along the west line of aforesaid 110.97 acre tract, a distance of 2520.73 feet to a found 2 inch iron pipe, for the northwest corner of said 110.97 acre tract;

THENCE South 88°46'50" East, along the north line of aforesaid 110.97 acre tract, a distance of 1618.96 feet to the POINT OF BEGINNING and CONTAINING 4,833,906 square feet or 110.97 acres of land, more or less.

TRACT 2:

Being a 45.251 acre tract of land situated in the Patrick G. Dalton Survey, Abstract No. 414, and the William Jenkins Survey, Abstract No. 856, City of Arlington, Tarrant County, Texas, and being a portion of tract of land, conveyed to Viridian Holdings, LP., as recorded in Document No. D215157350, County Clerk Records, Tarrant County, Texas. Said 45.251 acre tract of land being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod with a plastic cap stamped "Brittain & Crawford" found for the north corner of aforesaid 45.251 acre tract and being on the west right-of-way of F.M.. 157 (a variable width right-of-way) and on the east right-of-way of Old F.M.. 157 (a variable width right-of-way now closed) and being the beginning of a non-tangent curve to the left having a central angle of 04°11'08", a radius of 7702.79 feet, a chord bearing of South 12°27'30" East, and a chord length of 562.59 feet;

THENCE along the east line of aforesaid 45.251 acre tract and the common west right-of-way of F.M. 157 the following courses and distances:

Along said non-tangent curve to the left, an arc length of 562.71 feet, to a concrete right-of-way monument with an aluminum disc found for corner;

South 14°29'51" East, a distance of 843.12 feet to a concrete right-of-way monument with an aluminum disc found for corner, and being the beginning of a non-tangent curve to the right having a central angle of 13°56'23", a radius of 7572.81 feet, a chord bearing of South 07°32'07" East, and a chord length of 1837.89 feet;

Along said non-tangent curve to the right, an arc length of 1842.43 feet, to a concrete right-of-way monument with an aluminum disc found for corner;

South 00°32'59" East, a distance of 1011.25 feet to a concrete right-of-way monument with an aluminum disc found for corner and being the beginning of a non-tangent curve to the left having a central angle of 11°20'40", a radius of 7702.80 feet, a chord bearing of South 06°14' 20" East, and a chord length of 1522.65 feet;

Along said non-tangent curve to the left, an arc length of 1525.14 feet, to a 1/2 inch iron rod found for the southeast corner of aforesaid 45.251 acre tract;

THENCE South 82°46'55" West, along the south line of aforesaid 45.251 acre tract, a distance of 24.91 feet to a 1/2 inch iron rod found for the southwest corner of said 45.251 acre tract and being on the east right-of-way of aforesaid old F.M. 157;

THENCE along the west line of aforesaid 45.251 acre tract and the common east right-of-way of aforesaid old F.M. 157 the following courses and distances:

North 21°51'02" West, a distance of 1508.74 feet to a 1/2 inch iron rod with a plastic cap stamped "Brittain & Crawford" found for corner and being the beginning of a non-tangent curve to the right having a central angle of 21°16'14", a radius of 1860.00 feet, a chord bearing of North 11°18' 12" West, and a chord length of 686.55 feet;

Along said non-tangent curve to the right, an arc length of 690.50 feet, to a 1/2 inch iron rod with a plastic cap stamped "Brittain & Crawford" found for corner;

North 00°40'04" West, a distance of 3343.13 feet to a 1/2 inch iron rod with a plastic cap stamped "Brittain & Crawford" found for corner;

North 02°08'14" East, a distance of 299.32 feet to the POINT OF BEGINNING and CONTAINING 1,971,112 square feet or 45.251 acres of land, more or less.

TRACT 3:

Being a 1.996 acre tract of land situated in the Patrick G. Dalton Survey, Abstract No. 414, City of Arlington, Tarrant County, Texas, and being a portion of tract of land, conveyed to Viridian Holdings, LP., as recorded in Document No. D215157350, County Clerk Records, Tarrant County, Texas. Said 1.996 acre tract of land being more particularly described by metes and bounds as follows:

BEGINNING at a found 1/2 inch iron rod for corner, said point being the north corner of said Tract 3, and being in the west right-of-way line of Old FM 157 (a variable width R.O.W. now closed);

THENCE South 21° 50'34" East, along the northeast line of aforesaid 1.996 acre tract and the common southwest right-of-way of aforesaid Old F.M.157, a distance of 843.24 feet to a 1/2 inch iron rod with a plastic cap stamped "Brittain & Crawford" found for the southeast corner of said 1.996 acre tract;

THENCE South 82°43'04" West, along the south line of aforesaid 1.996 acre tract and the north line of a called 22.05 acre tract of land conveyed to the City of Arlington by deed recorded in Volume 15590, Page 18, Deed Records, Tarrant County, Texas, a distance of 213.06 feet to a 1/2 inch iron rod with a plastic cap stamped "Brittain & Crawford" found for the southwest corner of said 1.996 acre tract and the inside ell corner of said 22.05 acre tract;

THENCE North 07°12' 25" West, along the west line of aforesaid 1.996 acre tract and the common east line of aforesaid 22.05 acre tract, a distance of 816.16 feet to the POINT OF BEGINNING and CONTAINING 89,947 square feet or 1.996 acres of land, more or less.

EXHIBIT "F": BUILDING SETBACK, AREA, AND BULK REQUIREMENTS FOR RESIDENTIAL

Table 4: VIRIDIAN Planned Development Building Setback Areas for Residential (Revised 4.26.16)

	Residential Type	Examples of Residential Type	Minimum Lot Area (sf)	Minimum Lot Width	Minimum Lot Depth	Maximum Number of Stories	Garage Orientation	Density Range	Minimum Front Yard Setback	Min. Interior Side Yard Setback	Min. Corner Side Yard Setback	Minimum Rear Yard Setback	Maximum Lot Coverage (%)	Min. Dwelling Unit Size (sf)	Special Conditions
1	MF - 1	MF Type 1 (Mansion Homes)	8,000	80'	100'	3	Alley	16-24	5	5	15	5	80%	550	4-Plex and 6-Plex Units for Illustrative Purposes Only
2	SF-A	Single Family Attached (Tuck Under)	2,100	30'	70'	3	NA	30-35	16	0'	15	5	None	1100	
3	SF-A	Single Family Attached (Villa Homesites)	1,540	22'	70'	3	Alley	20-25	16	0'	15	5	80%	1100	Attached Garage Product
4	SF-A	Single Family Attached (Villa Homesites)	1,760	22'	80'	3	Alley	16-24	16	0'	15	5	80%	1100	Detached Garage Product
5	SF-A	Single Family Attached (Brownstones)	1,040	16'	65'	3	Alley	21-30	16	0'	15	5	80%	1200	3- Unit and 6-Units for Illustrative Purposes Only
6	SF-A	Single Family Attached (Brownstones Live/Work)	960	16'	60'	3	Alley	21-30	16	0'	15	5	80%	850	
7	SF-D	4 Group cluster	1,400	16'	60'	2	Cul de sac	15	16	5	15	5	80%	1000	
8	SF-D	6 Group Clusters	1,400	16'	60'	2	Cul de sac	15	16	5	15	5	80%	1000	
9	SF-D	Single Family Detached (Garden Homesites)	1,980	30'	66'	3	Alley	8-13	9	5	15	5	80%	1,200	*The side setback may be reduced anywhere from five feet (5') to zero feet (0') on any one side of a single family (detached) lot, and follow the Zero Lot Line standards described in Section VII.A.1.a(i).
10	SF-D	Single Family Detached (Paseo Homesites)	1,980	33	66'	3	Alley	8-13	9	5	15	5	80%	1,200	**8' Minimum for Detached Garage, 17.5' Minimum for Attached (Traditional) Garage Orientation.
11	SF-D	Single Family Detached (Paseo Homesites)	1,980	33	66'	3	Street	8-13	13	5	15	5	80%	1,200	***5,000 Minimum Square Foot and 50' Minimum Lot Width for Side Load or Front Loaded Garages. ****45 ft-The courtyard Homes when on a street set back 13 feet fthe Back of Curb.

12	SF-D	Single Family Detached (Cottage Homesites)	3,150	35'	90'	3	Alley	8-13	20	5	15	5	80%	1,250	The minimum dwelling unit area for multi-family dwelling units is 550 square feet; however, the minimum dwelling unit area must average a minimum of 800 square feet when considering all dwelling units within a multi-family building. (Per SECTION VI (pg. 14.c.))
13	SF-D	Single Family Detached (Chalet Homesites)	4,000	40'	100'	3	Alley	7-9	20	5	15	5	80%	1,600	
14	SF-D	Single Family Detached (Courtyard Homesites)	4,500	45'	100'	3	Alley/Mews	7-9	3	5	15	5	80%	1,600	
15	SF-D	Single Family Detached (Courtyard Homesites)	4,500	45'	100'	3	Alley	7-9	13	5	15	5	80%	1,600	
16	SF-D	Single Family Detached (Executive Homesites)	5,000	50'	100'	2	Alley	9-10	20	5	15	5	80%	2,000	
17	SF-D	Single Family Detached (Classical Homesites)	5,500	55"	123	3	Alley or Side	5-9	20	5	15	5	75%	2,500	
18	SF-D	Single Family Detached (Manor Homesites)	6,500	65'	123	3	All	4-6	20	5	15	5	75%	3,000	
19	SF-D	Single Family Detached (Chateau Homesites)	7,000	75'	123	3	All	4-6	20	5	15	5	75%	3,000	
20	SF-D	Single Family Detached (Estate Homesites)	8,000	80'	130	3	Alley or Side	3-5	24	7.5	15	5	75%	3,500	

(Drawings illustrating each housing type in this Exhibit F are for illustrative purposes only, and homes are not required to be designed as illustrated.)

NOTES: FRONT AND CORNER SETBACKS ARE MEASURED FROM BACK OF THE CURB OR PROPERTY LINE

Exceptions to Minimum Setback:

Minimum side setback to detached garages or accessory building may be reduced to 3' when greater setback would be otherwise required. (Subject to additional requirements from the City fire codes)

Allowed Encroachments into Setbacks:

Porches (up to 7' into front setback and 3' into corner side yard setback but in no event into the PDUCE, private utility easement, or any public easement).

Porches (up to 7' into front setback; 45' product allowed, upon developer/town architect approval, to utilize setback encroachment for entire structure).

Box windows and Fireplaces that do not extend to the foundation (up to 2' into all setbacks).

Balconies, Awnings, Overhanging Eaves (up to 2' into all setbacks).

Bay windows and Fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).

Stoops and Stairs (up to 5' into front and rear setbacks).

Suspended planter/flower boxes (up to 1.5' into all setbacks).

Foundation encroachments on all setbacks of 4"-6" are allowed for architectural details such as brick ledges

(ALL encroachments are subject to compliance with city fire and safety ordinances)

Legend (Residential Type)

MF-1 Multi-Family Type 1

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SF-A = Single Family Attached

SF-D = Single Family Detached

SECTION VI: INAUGURAL VILLAGE PRODUCT TYPES



TOWNHOMES: ALLEY ENTRY, ATTACHED GARAGE

Townhomes are attached housing types frequently used for transition between urban multi-family and single family lot areas. Each unit is located on a separate platted lot.

HOUSING TYPE ELEMENTS:

- Lot Area: 1,540 SF min.
- Lot Width: 22' min.
- Lot Depth: 70' min.
- Maximum Number of Stories: 3
- Garage Orientation: Alley
- Min./Max. Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 0'
- *Minimum Corner Side Yard Setback: 15' Back of curb
- Minimum Rear Yard Setback: 5'
- Minimum Dwelling Unit Size: 1,100 SF

EXCEPTIONS TO MINIMUM SETBACK:

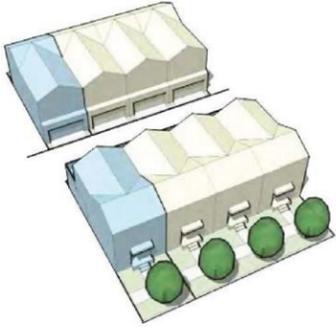
Minimum side setback to detached garages or accessory building may be reduced to 3' (with Town Architect approval) when greater setback would be otherwise required.

ALLOWED ENCROACHMENTS INTO SETBACK:

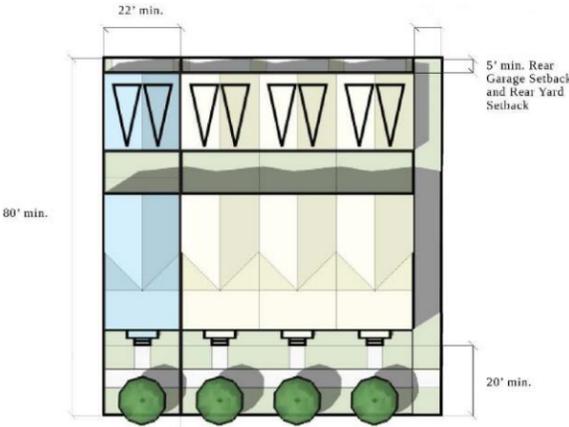
- Porches (up to 8' into front setback and corner side yard setback but in no event into the PDUCE)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"-6" are allowed for architectural details such as brick ledges

ARCHITECTURAL ELEMENTS:

- Columns at entries and porches shall have enhanced materials. Masonry or a combination of wood and masonry is acceptable.
- *Subject to additional fire rating requirements of City of Arlington*



View and Plan: Townhome with Attached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

TOWNHOMES: ALLEY ENTRY, DETACHED GARAGE



HOUSING TYPE ELEMENTS:

- Lot Area: 1,760 SF min.
- Lot Width: 22' min.
- Lot Depth: 80' min.
- Maximum Number of Stories: 3
- Garage Orientation: Alley
- Min./Max. Front Yard Setback: 20' Back of curb
- Minimum Interior Side Yard Setback: 0'
- Minimum Corner Side Yard Setback: 15' Back of curb
- Minimum Rear Yard Setback: 5'
- Minimum Dwelling Unit Size: 1,100 SF

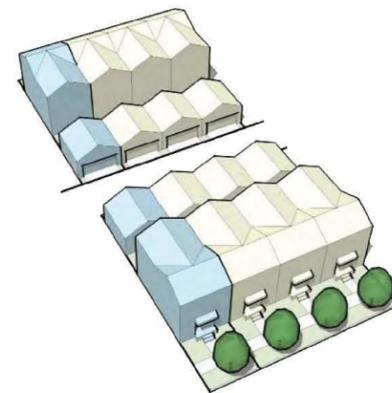
EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with Town Architect approval) when greater setback would be otherwise required.

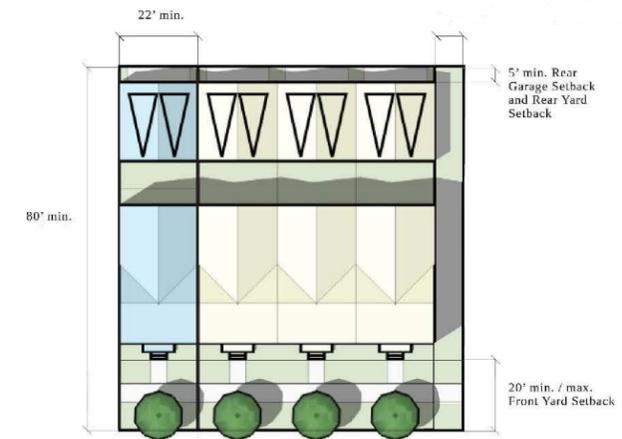
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"-6" are allowed for architectural details such as brick ledges

**Subject to fadditional fire rating requirements of City of Arlington*



View and Plan: Townhome with Detached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



PASEO 33' HOME SITES: ALLEY ENTRY, ATTACHED GARAGE, DETACHED HOME

HOUSING TYPE ELEMENTS:

Lot Area: 1,980 SF min.

Lot Width: 33' min.

Lot Depth: 66'

Maximum Number of Stories: 3

Garage Orientation: Alley

Min./Max. Front Yard Setback: 9' Back of curb

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size: 1,200 SF

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with Town Architect approval) when greater setback would be otherwise required.

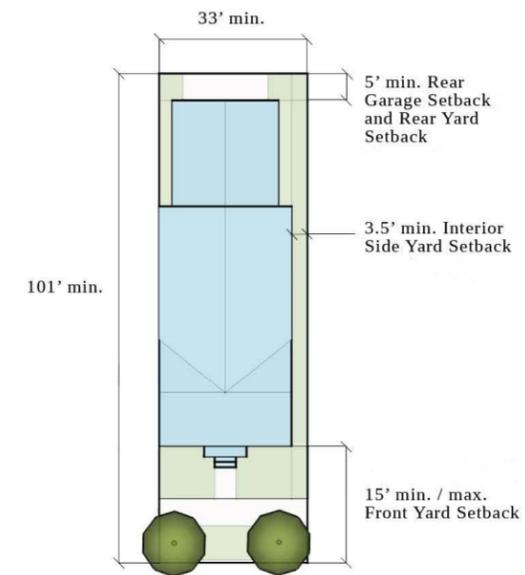
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches may not encroach front minimum front set back.
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges

**Subject to additional fire rating requirements of City of Arlington*



View and Plan: Villa Home Site



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



4 GROUP CLUSTER HOMESITE: CUL-DE-SAC ENTRY

HOUSING TYPE ELEMENTS:

- Lot Area: 1,400 SF min.
- Lot Width: 16' min.
- Lot Depth: 60' min.
- Maximum Number of Stories: 2
- Garage Orientation: Alley; min. 2 spaces
- Minimum Front Yard Setback: 16'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 15' Back of curb
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 80%
- Minimum Dwelling Unit Size: 1,000 SF min.

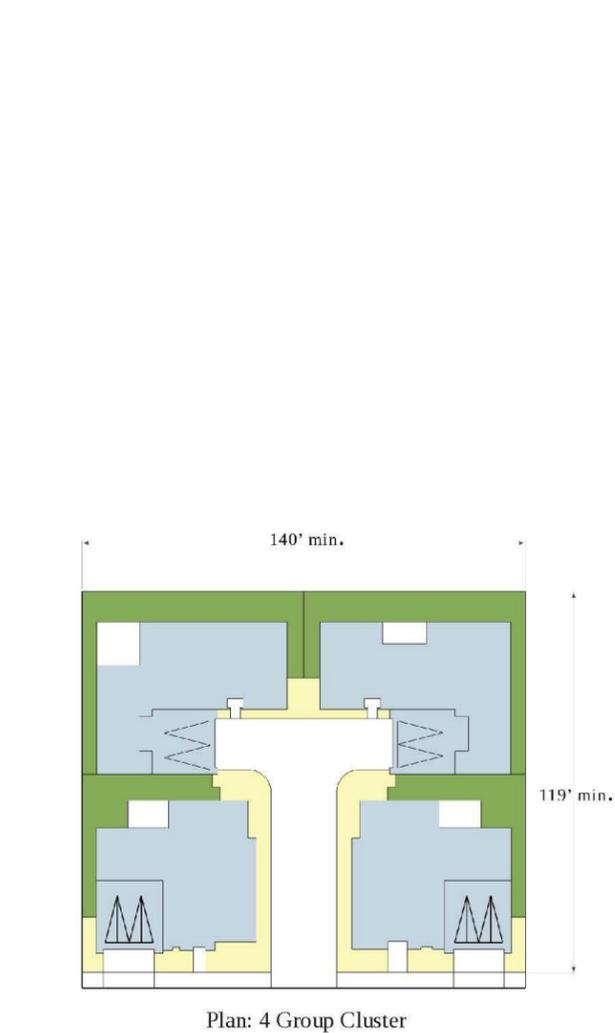
EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 5' (with Town Architect approval) when greater setback would be otherwise required.

ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges

**Subject to fire rating requirements of City of Arlington*



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



6 GROUP HOMESITE: 60' CUL-DE-SAC ENTRY,

HOUSING TYPE ELEMENTS:

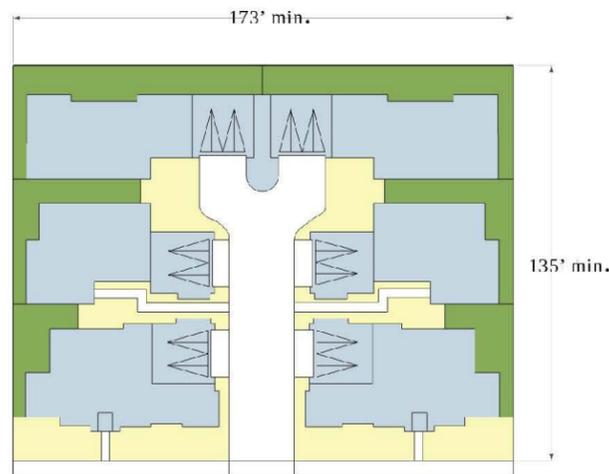
- Lot Area: 1,400 SF min.
- Lot Width: 16' min.
- Lot Depth: 60' min.
- Maximum Number of Stories: 2
- Garage Orientation: Alley; min. 2 spaces
- Minimum Front Yard Setback: 16'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 15' Back of curb
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 80%
- Minimum Dwelling Unit Size: 1,000 SF min.

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 5' (with Town Architect approval) when greater setback would be otherwise required.

ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges



Plan: 6 Group Cluster

Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

*Subject to additional fire rating requirements of City of Arlington



GARDEN HOMESITES: ALLEY ENTRY



The Green Court Home site is a block type in which alley-fed, small lot single-family lots are arranged around a common green. The cluster, with its depth of not more than 150', should have at least one public street along the green. A common walkway along the green serves all lots. This type has been proven to be a very popular option, especially for young couples, young families, and empty nesters. The shared green provides safety for younger children and a park-like atmosphere in which to play without crossing any streets, and the court-facing homes allow for easy supervision by parents or community members. The homes face a common green space, parking must be accessed from rear alleys.

HOUSING TYPE ELEMENTS:

- Lot Area: 1,980 SF min.
- Lot Width: 30' min.
- Lot Depth: 66' min.
- Maximum Number of Stories: 3
- Garage Orientation: Alley; min. 2 spaces
- Minimum Front Yard Setback: 9'
- Minimum Interior Side Yard Setback: 3.5' except for Zero Lot Line Types where 7.5' min. side setback is required on one side and 0' on the other)
- Minimum Corner Side Yard Setback: 15' Back of curb
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 80%
- Minimum Dwelling Unit Size: 1,200 SF min.

**Rear setback may be reduced with additional off street parking*

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 5' (with Town Architect approval) when greater setback would be otherwise required.

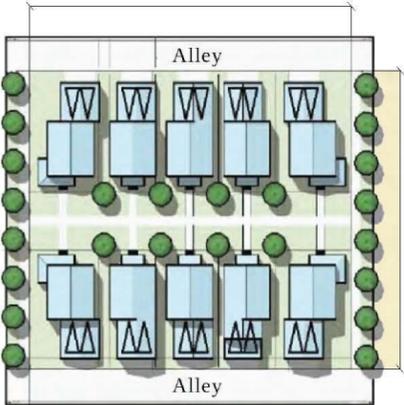
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 24" into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges

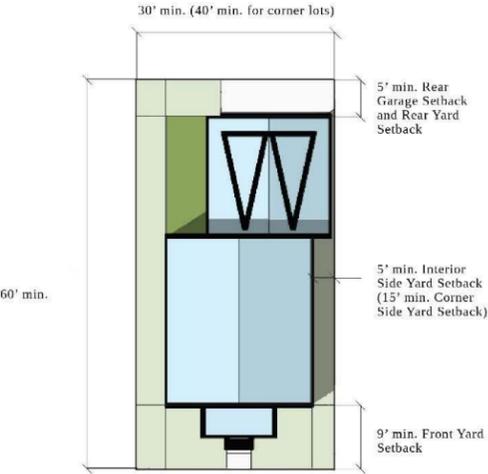
**Subject to fire rating requirements of City of Arlington*



View and Plan: Green Court Homes



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



Plan: Individual Green Court Homes



ZERO CENTER PLOTTED HOME SITES: 40' ALLEY ENTRY, NO STREET

HOUSING TYPE ELEMENTS:

- Lot Area: 2,400 SF min.
- Lot Width: 40' min.
- Lot Depth: 100' min.
- Maximum Number of Stories: 3
- Garage Orientation: Alley; min. 2 spaces
- Minimum Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 5' min. side setback is required on one side and 3.5' on the other
- Minimum Corner Side Yard Setback: 15'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 80%

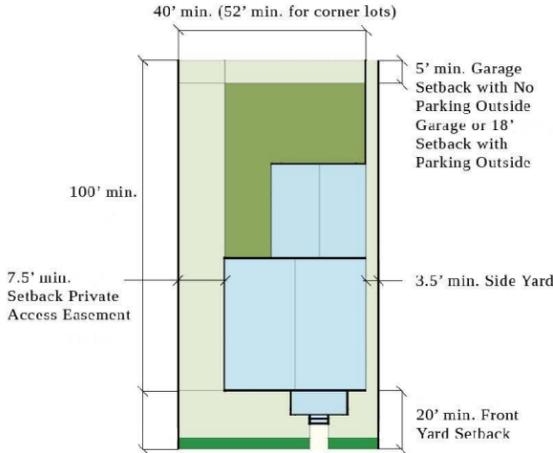
EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 5' (with Town Architect approval) when greater setback would be otherwise required.

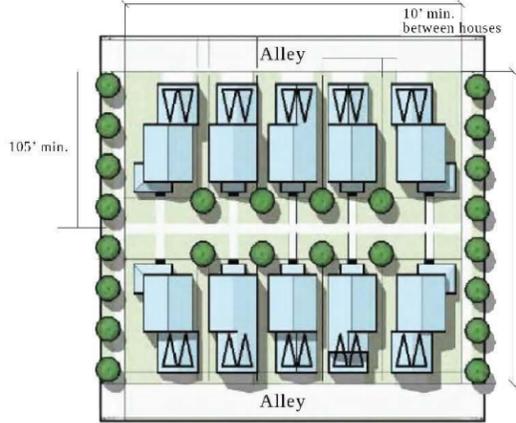
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges

**Subject to additional fire rating requirements of City of Arlington*



Plan: Individual Zero Lot Line Home



View and Plan: Zero Lot Line Homes

Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



ZERO CENTER PLOTTED HOME SITES: 45' ALLEY ENTRY, NO STREET

HOUSING TYPE ELEMENTS:

- Lot Area: 4,500 SF min.
- Lot Width: 45' min.
- Lot Depth: 100' min.
- Maximum Number of Stories: 3
- Garage Orientation: Alley; min. 2 spaces
- Minimum Front Yard Setback: 13'
- Minimum Interior Side Yard Setback: 5' min. side setback
- Minimum Corner Side Yard Setback: 15' Back of curb
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 80%

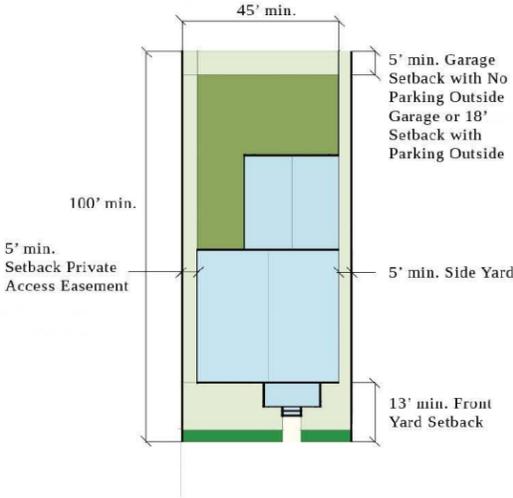
EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 5' (with Town Architect approval) when greater setback would be otherwise required.

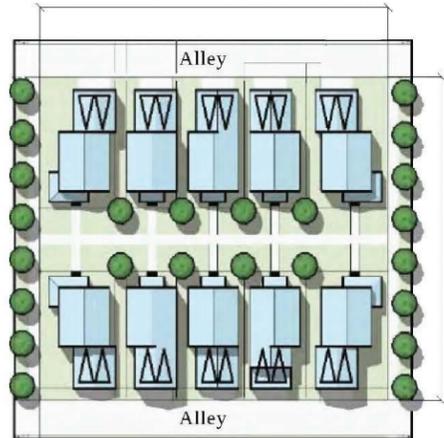
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback but in no event into the PDUCE.)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges

**Subject to additional fire rating requirements of City of Arlington*



Plan: Individual Zero Lot Line Home



View and Plan: Zero Lot Line Homes

Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



ZERO LOT LINE HOME SITES: 45' ALLEY ENTRY, ATTACHED GARAGE

HOUSING TYPE ELEMENTS:

Lot Area: 4,500 SF min.

Lot Width: 45' min.

Lot Depth: 100' min.

Maximum Number of Stories: 2

Garage Orientation: Alley; min. 2 spaces

Minimum Front Yard Setback: 13'

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 80%

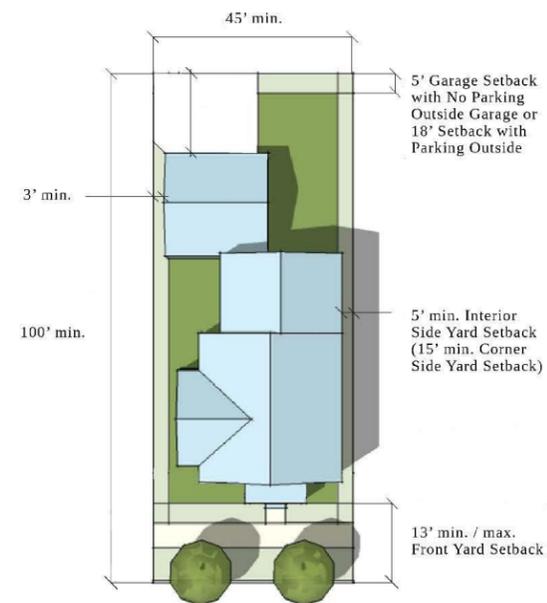
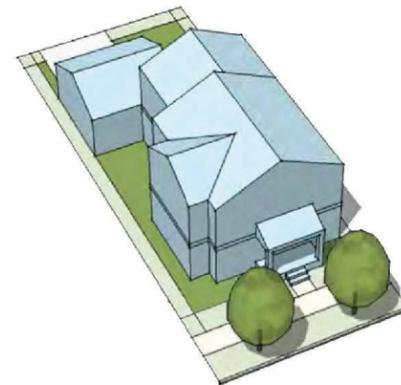
EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with Town Architect's approval) when greater setback would otherwise be required.

ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches may not encroach into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges
- Any additional encroachments require prior developer approval

**Subject to additional fire rating requirements of City of Arlington*



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

COTTAGE HOMES: 35' HOME SITES ALLEY ENTRY, ATTACHED GARAGE



The Cottage Homes appeal to individuals and families who desire single-family units with limited yard maintenance.

HOUSING TYPE ELEMENTS:

- Lot Area: 3,150 SF min.
- Lot Width: 35' min.
- Lot Depth: 90' min.
- Maximum Number of Stories: 3
- Garage Orientation: Alley; min. 2 spaces
- Minimum Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 15' Back of curb
- Minimum Rear Yard Setback: 5'
- Minimum Dwelling Unit Size; 1,250 SF min.
- Maximum Lot Coverage: 80%

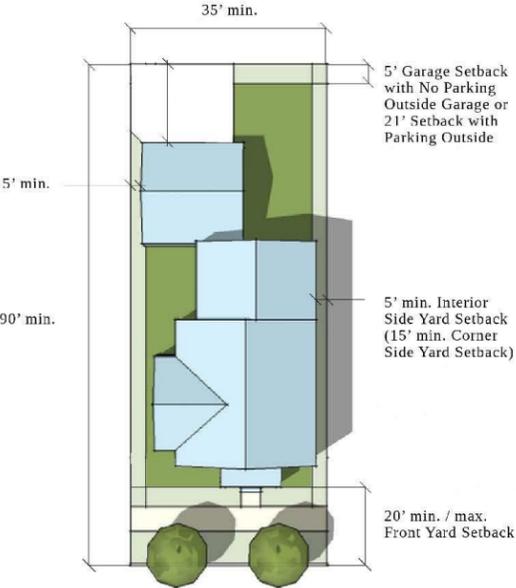
EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with Town Architect approval) when greater setback would otherwise be required.

ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges.

**Subject to additional fire rating requirements of City of Arlington*



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

CHALET 40' HOME SITES: ALLEY ENTRY, ATTACHED GARAGE



View and Plan: Alley Drive Chalet Home with Attached Garage

HOUSING TYPE ELEMENTS:

- Lot Area: 4,000 SF min.
- Lot Width: 40' min.
- Lot Depth: 100' min.
- Maximum Number of Stories: 3
- Garage Orientation: Side drive; min. 2 spaces
- Minimum Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 5' (except for Zero Lot Line Types where 10' min. side setback is required on one side and 0' on the other)
- Minimum Corner Side Yard Setback: 15'
- Minimum Front Garage Setback for Side-Drive Lots: 18'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 80%

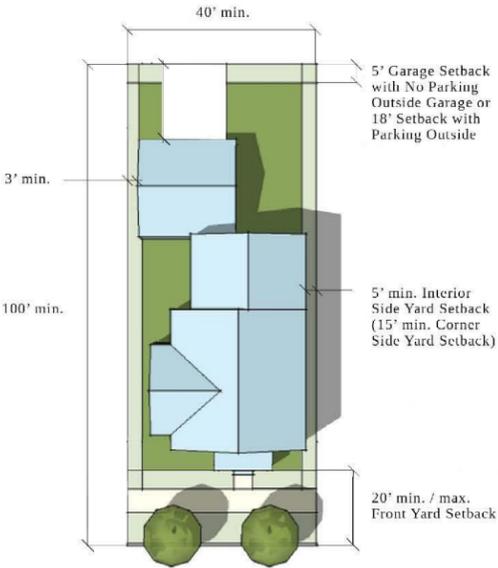
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback but in no event into the PDUCE)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges.

*Subject to additional zoning requirements of City of Arlington

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with Town Architect approval) when greater setback would be otherwise required.



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



CHALET 40' HOME SITES: ALLEY ENTRY, DETACHED GARAGE

HOUSING TYPE ELEMENTS:

- Lot Area: 4,000 SF min.
- Lot Width: 40' min.
- Lot Depth: 100' min.
- Maximum Number of Stories: 3
- Garage Orientation: Side drive; min. 2 spaces
- Minimum Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 5' (except for Zero Lot Line Types where 10' min. side setback is required on one side and 0' on the other)
- Minimum Corner Side Yard Setback: 15'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 80%

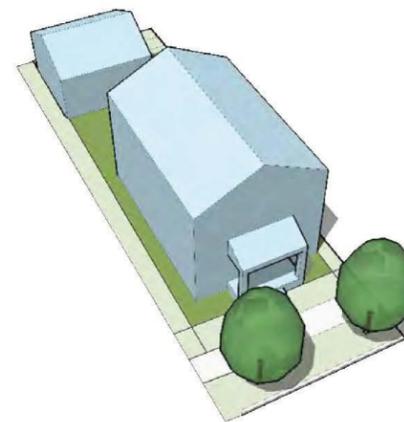
EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building maybe reduced to 3' (with Town Architect approval) when greater setback would be otherwise required.

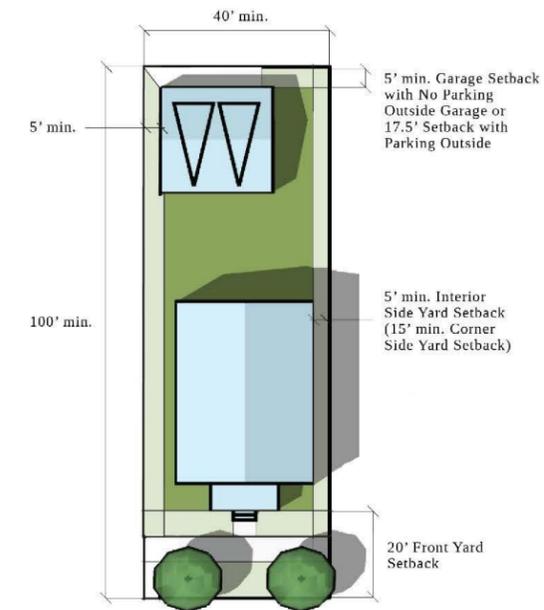
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"-6" are allowed for architectural details such as brick ledges

**Subject to additional fire rating requirements of City of Arlington*

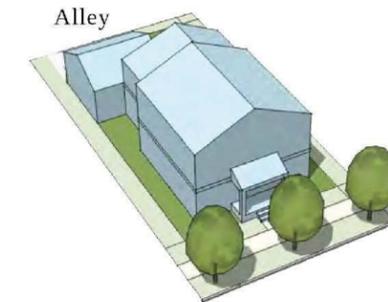


View and Plan: Alley Drive Chalet Home with Detached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

EXECUTIVE 50' HOME SITES: ALLEY ENTRY, ATTACHED GARAGE



View and Plan: Alley Loaded Executive Home with Attached Garage

Executive Homes are the most commonly used traditional lot types. These offer a moderately sized back yard.

HOUSING TYPE ELEMENTS:

- Lot Area: 5,000 SF min.
- Lot Width: 50' min.
- Lot Depth: 100' min.
- Maximum Number of Stories: 2
- Garage Orientation: Alley; min. 2 spaces
- Minimum Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 5' (except for Zero Lot Line Types where 10' min. side setback is required on one side and 0' on the other)
- Minimum Corner Side Yard Setback: 15' Back of curb
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 80%

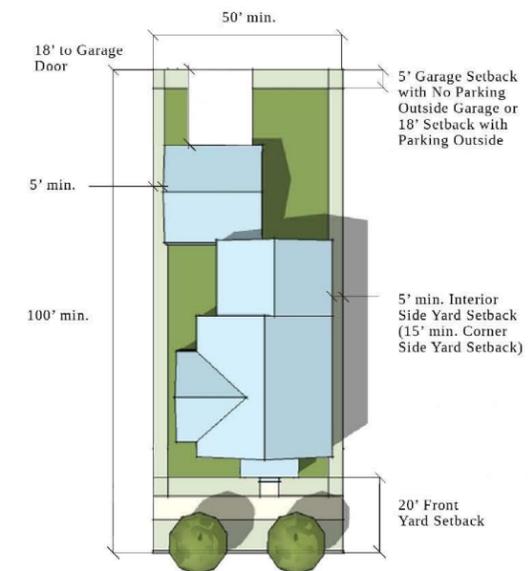
EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 5' (with Town Architect's approval) when greater setback would otherwise be required.

ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges.

**Subject to additional fire rating requirements of City of Arlington*



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



EXECUTIVE 50' HOME SITES: ALLEY ENTRY, DETACHED GARAGE

HOUSING TYPE ELEMENTS:

Lot Area: 5,000 SF min.

Lot Width: 50' min.

Lot Depth: 100' min.

Maximum Number of Stories: 2

Garage Orientation: Alley; min. 2 spaces

Minimum Front Yard Setback: 20' Back of curb

Minimum Interior Side Yard Setback: 5' (except for Zero Lot Line Types where 10' min. side setback is required on one side and 0' on the other)

Minimum Corner Side Yard Setback: 15'

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 80%

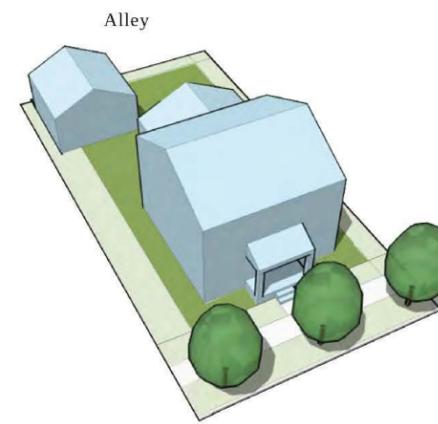
EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 5' (with Town Architect approval) when greater setback would otherwise be required.

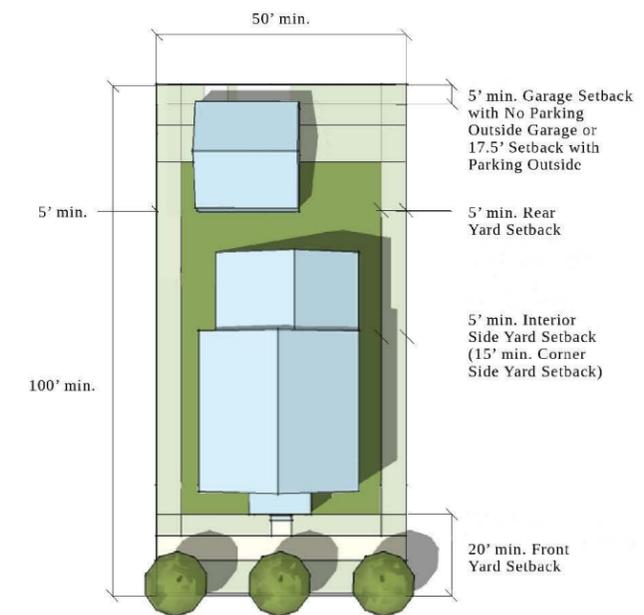
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and catilever box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges

**Subject to additional fire rating requirements of City of Arlington*



View and Plan: Alley Loaded Executive Home with Detached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



EXECUTIVE 50' HOME SITES: FRONT ENTRY, SIDE DRIVE

HOUSING TYPE ELEMENTS:

- Lot Area: 5,000 SF min.
- Lot Width: 50' min.
- Lot Depth: 100' min.
- Maximum Number of Stories: 2
- Garage Orientation: Side drive; min. 2 spaces
- Minimum Front Yard Setback: 20' Back of curb
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 15' Back of curb
- Minimum Front Garage Setback for Side-Drive Lots: 18'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 80%

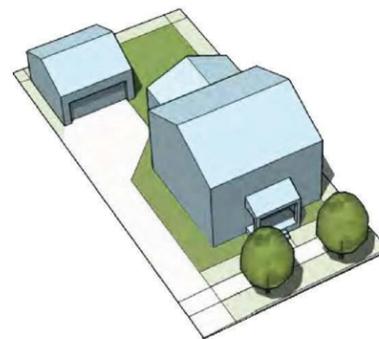
EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 5' (with Town Architect approval) when greater setback would be otherwise required.

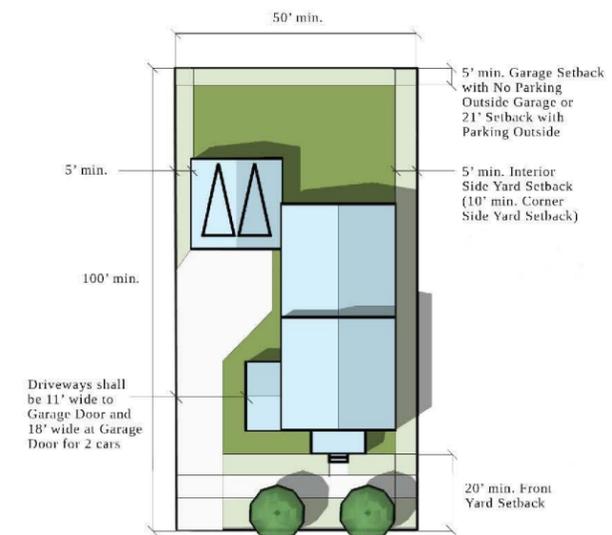
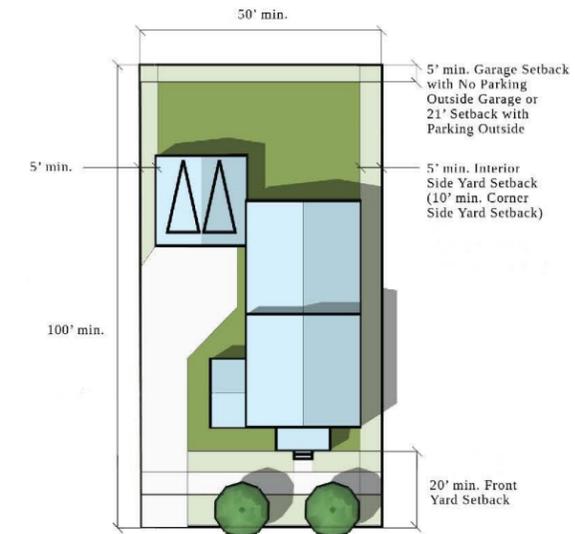
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges

**Subject to additional fire rating requirements of City of Arlington*



View and Plan: Side Drive Executive Home with Detached Garage





EXECUTIVE 50' HOME SITES: FRONT ENTRY, FRONT DRIVE

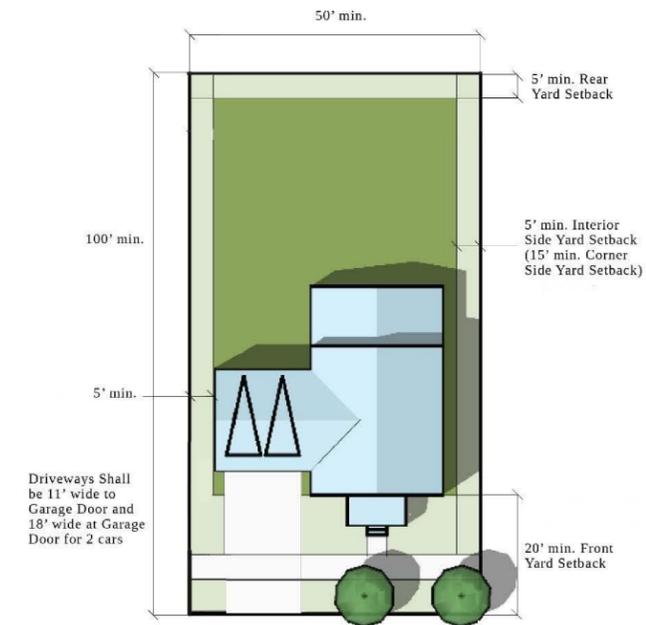
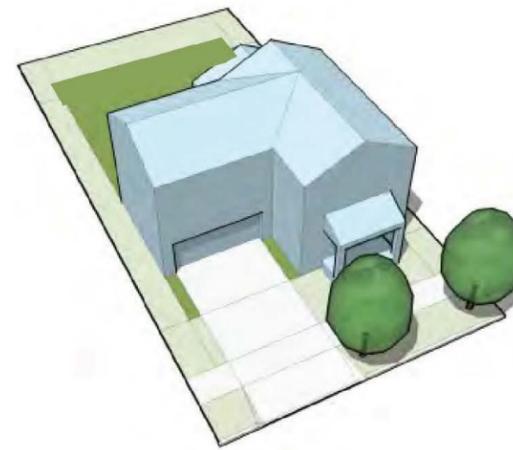
HOUSING TYPE ELEMENTS:

- Lot Area: 5,000 SF
- Lot Width: 50' min.
- Lot Depth: 100' min.
- Maximum Number of Stories: 2
- Garage Orientation: Alley; min. 2 spaces; 3 allowed
- Minimum Front Yard Setback: 20' Back of curb
- Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 15' Back of curb
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 80%

ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges

**Subject to additional fire rating requirements of City of Arlington*



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



CLASSICAL 55' HOME SITES: CENTER PLOTTED, FRONT ENTRY

HOUSING TYPE ELEMENTS:

Lot Area: 5,500 SF min.

Lot Width: 55' min.

Lot Depth: 123' min.

Maximum Number of Stories: 3

Garage Orientation: Side drive; Front Drive, min. 2 spaces

Garage Doors: Individual garage doors required.

Minimum Front Yard Setback: 20'

Minimum Interior Side Yard Setback: 10' min. side setback is required on one side and 0' on the other

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 75%

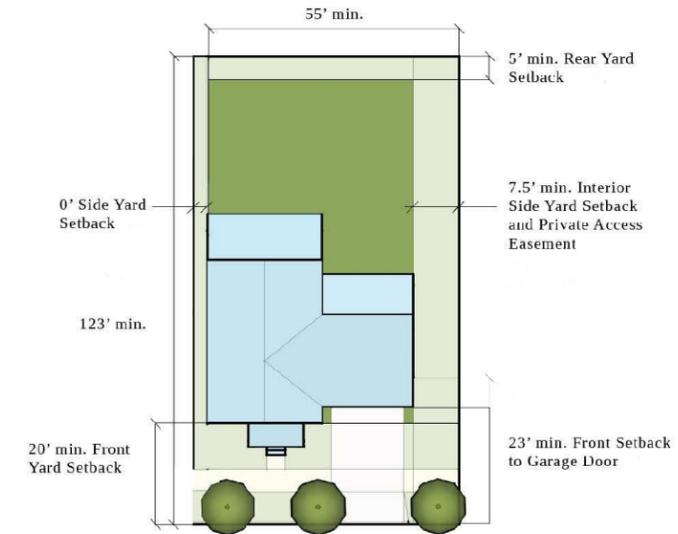
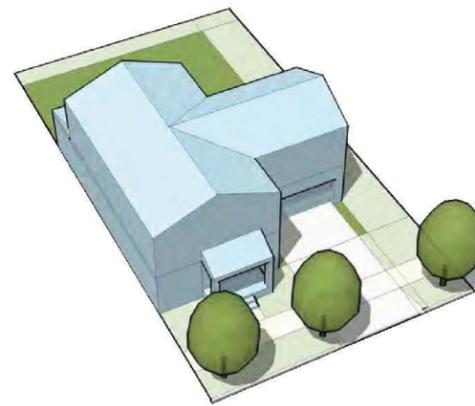
EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 5' (with Town Architect approval) when greater setback would be otherwise required.

ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges

**Subject to additional fire rating requirements of City of Arlington*



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

CLASSICAL 55' HOME SITES: FRONT ENTRY, FRONT DRIVE



HOUSING TYPE ELEMENTS:

Lot Area: 5,500 SF min.

Lot Width: 55' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Side drive; Front Drive, min. 2 spaces

Minimum Front Yard Setback: 20' Back of curb

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' Back of curb

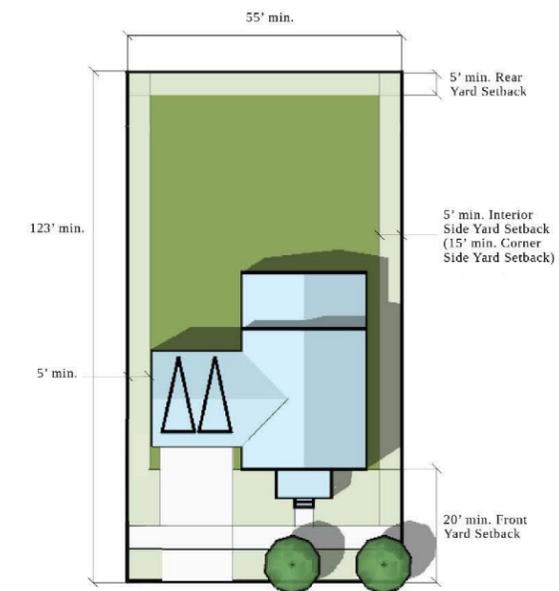
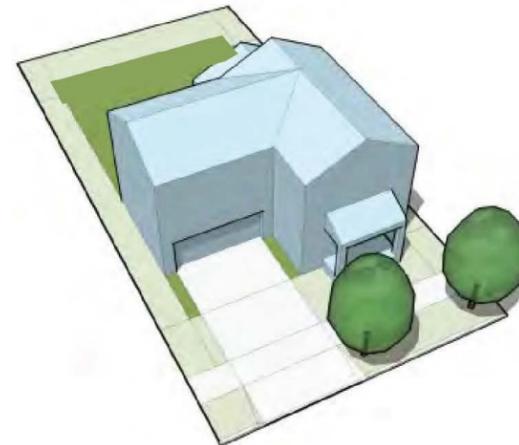
Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 75%

ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges

**Subject to additional fire rating requirements of City of Arlington*



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



MANOR 65' HOME SITES: ALLEY ENTRY, ATTACHED OR DETACHED GARAGE



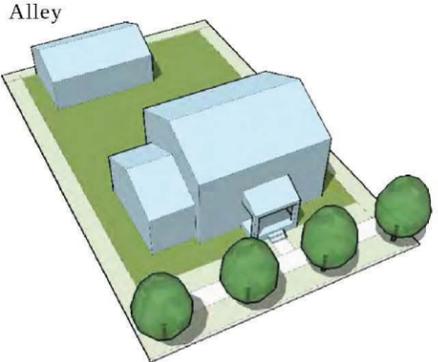
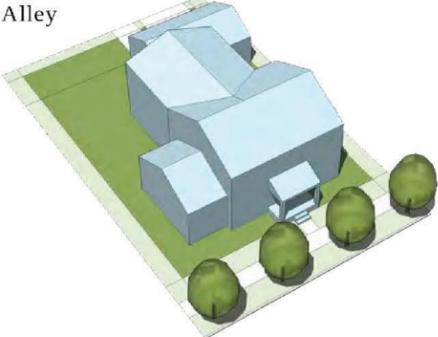
HOUSING TYPE ELEMENTS:

- Lot Area: 6,500 SF min.
- Lot Width: 65' min.
- Lot Depth: 123' min.
- Maximum Number of Stories: 2
- Garage Orientation: Alley; min. 2 spaces; 3 allowed
- Minimum Front Yard Setback: 20' back of curb
- Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 15' back of curb
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%

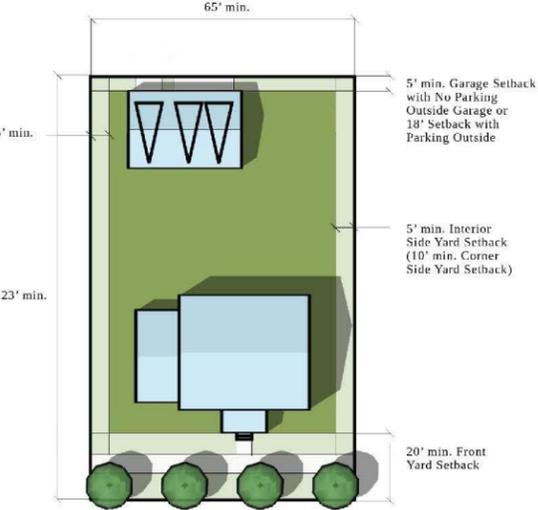
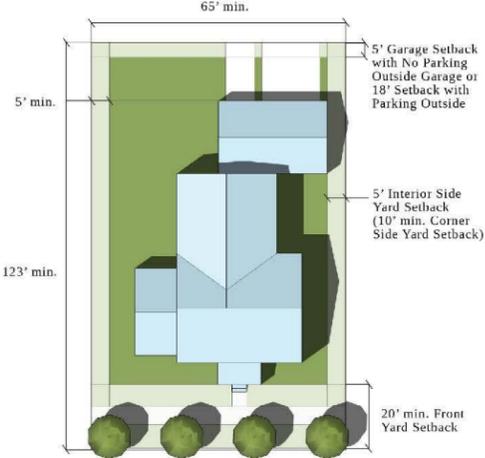
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges

**Subject to additional fire rating requirements of City of Arlington*



View and Plan: Alley Loaded Manor Home



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



MANOR 65' HOME SITES: FRONT ENTRY, SIDE ENTRY ATTACHED OR DETACHED GARAGE

HOUSING TYPE ELEMENTS:

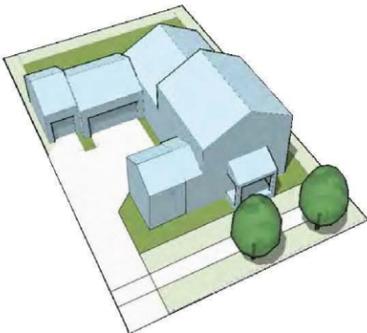
- Lot Area: 6,500 SF min.
- Lot Width: 65' min.
- Lot Depth: 123' min.
- Maximum Number of Stories: 3
- Garage Orientation: Side drive; min. 2 spaces; 3 allowed
- Minimum Front Yard Setback: 20' Back of curb
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 15'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%

ALLOWED ENCROACHMENTS INTO SETBACK:

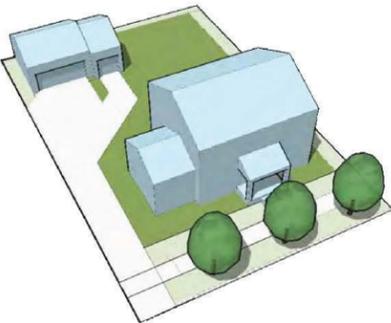
- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges

**Subject to additional fire rating requirements of City of Arlington*

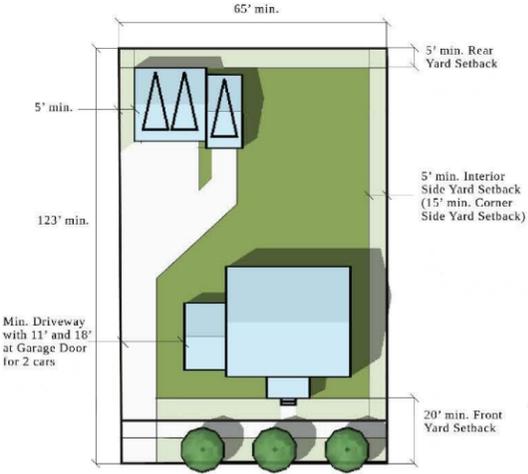
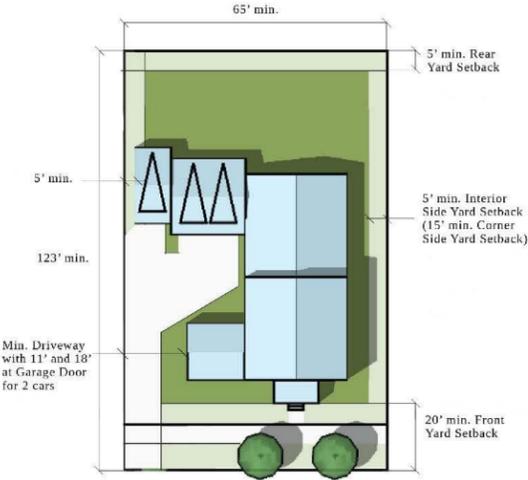
All side drives must be located a minimum of 1' off of property line



View and Plan: Side Drive Manor Homes with Attached Garage



View and Plan: Side Drive Manor Homes with Detached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

MANOR 65' HOME SITES: FRONT ENTRY, SIDE GARAGE



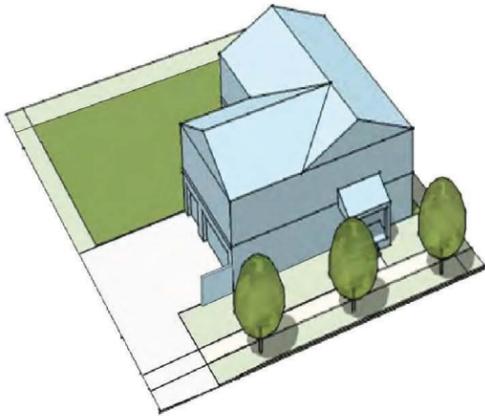
HOUSING TYPE ELEMENTS:

- Lot Area: 6,500 SF min.
- Lot Width: 65' min.
- Lot Depth: 123' min.
- Maximum Number of Stories: 3
- Garage Orientation: Side loaded; min. 2 spaces; 3 allowed
- Minimum Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 15' back of curb
- Minimum Front Garage Setback for Side-Entry Lots: 22'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%

ALLOWED ENCROACHMENTS INTO SETBACK:

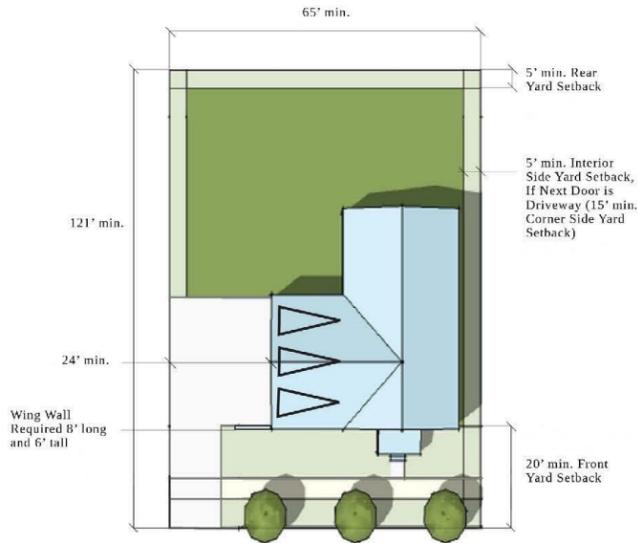
- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 24" into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges

**Subject to fire rating requirements of City of Arlington*



View and Plan: Side Loaded Manor Home

All side drives must be located a minimum of 1' off property line



Plan: Side Loaded Manor Home

Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



MANOR 65' HOME SITES: FRONT ENTRY, ATTACHED OR DETACHED GARAGE

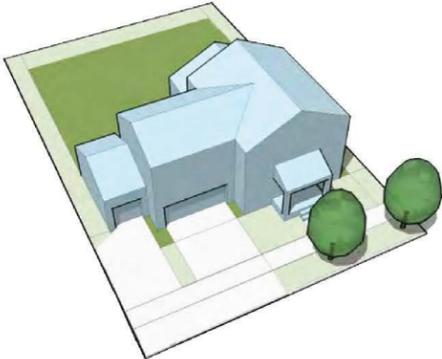
HOUSING TYPE ELEMENTS:

- Lot Area: 6,500 SF min.
- Lot Width: 65' min.
- Lot Depth: 123' min.
- Maximum Number of Stories: 3
- Garage Orientation: Front loaded; min. 2 spaces; 3 allowed
- Minimum Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 15' back of curb
- Minimum Front Garage Setback for Front Loaded Lots: 3' behind house with upgrades
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%

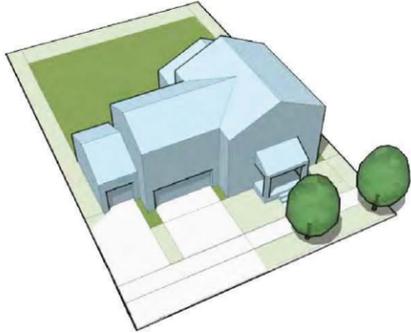
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 24" into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges

**Subject to fire rating requirements of City of Arlington*

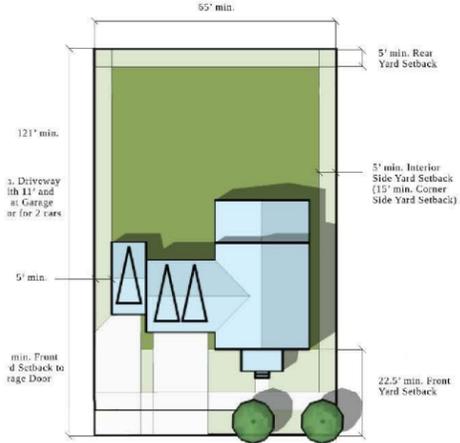
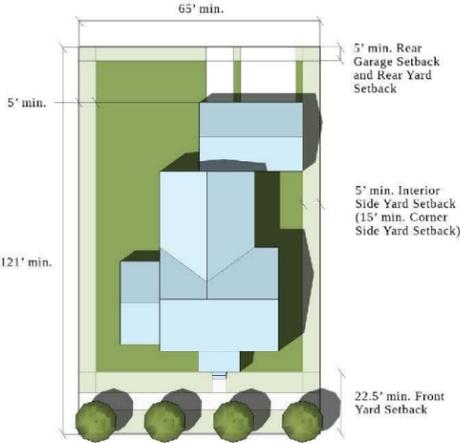


All side drives must be located a minimum of 1' off property line



View and Plan: Front Loaded Manor Home

Illustrations may not accurately reflect all lot variations. Please see text for specific requirements





CHATEAU 75' HOME SITES: ALLEY ENTRY, ATTACHED OR DETACHED GARAGE



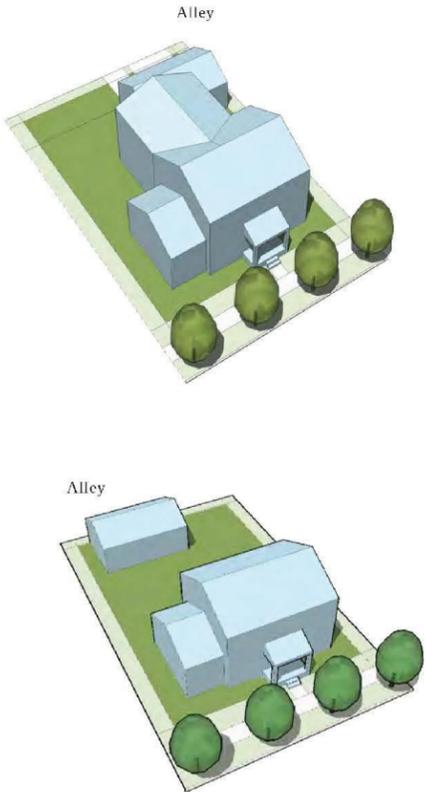
HOUSING TYPE ELEMENTS:

- Lot Area: 7,000 SF min.
- Lot Width: 75' min.
- Lot Depth: 123' min.
- Maximum Number of Stories: 3
- Garage Orientation: Side loaded; min. 2 spaces; 3 allowed
- Minimum Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 15' back of curb
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%

ALLOWED ENCROACHMENTS INTO SETBACK:

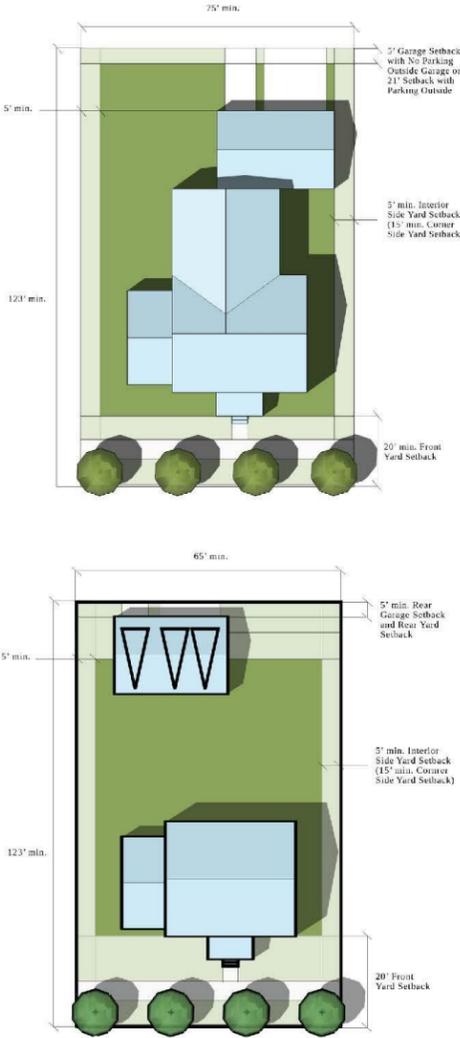
- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges

**Subject to additional fire rating requirements of City of Arlington*



View and Plan: Alley Loaded Chateau Home

Illustrations may not accurately reflect all lot variations. Please see text for specific requirements





CHATEAU 75' HOME SITES: SIDE ENTRY, ATTACHED OR DETACHED GARAGE

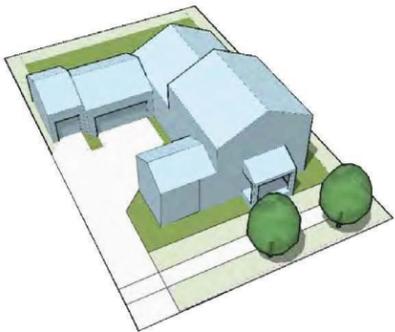
HOUSING TYPE ELEMENTS:

- Lot Area: 7,000 SF min.
- Lot Width: 75' min.
- Lot Depth: 123' min.
- Maximum Number of Stories: 3
- Garage Orientation: Side drive; min. 2 spaces; 3 allowed
- Minimum Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 15'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%

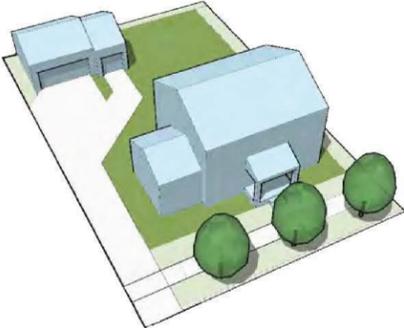
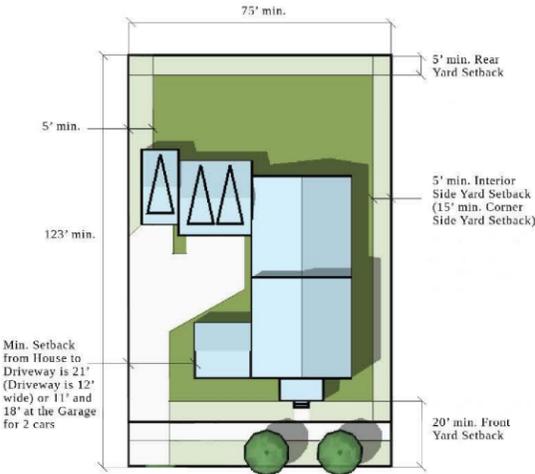
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges

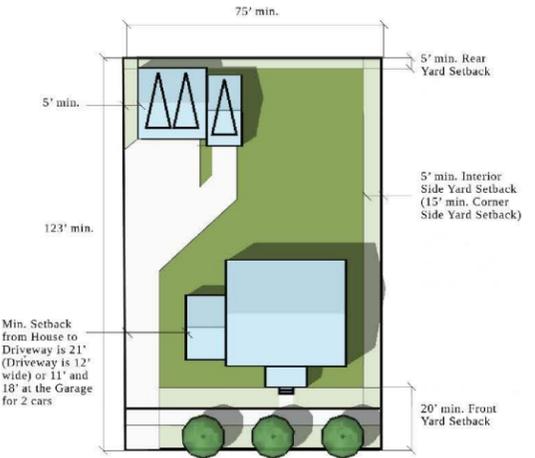
**Subject to additional fire rating requirements of City of Arlington*



View and Plan: Side Drive Chateau Home with Attached Garage



View and Plan: Side Drive Chateau Home with Detached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



CHATEAU 75' HOME SITES: SIDE ENTRY, ATTACHED GARAGE

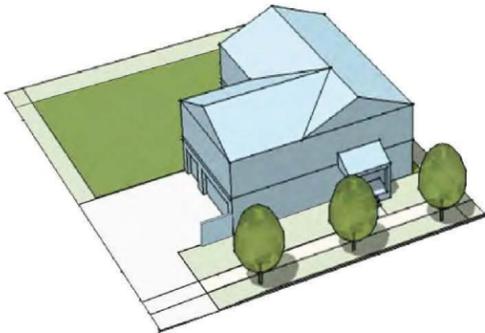
HOUSING TYPE ELEMENTS:

- Lot Area: 7,000 SF min.
- Lot Width: 75' min.
- Lot Depth: 123' min.
- Maximum Number of Stories: 3
- Garage Orientation: Side loaded; min. 2 spaces; 3 allowed
- Minimum Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 15' back of curb
- Minimum Front Garage Setback for Side-Entry Lots: 25'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%

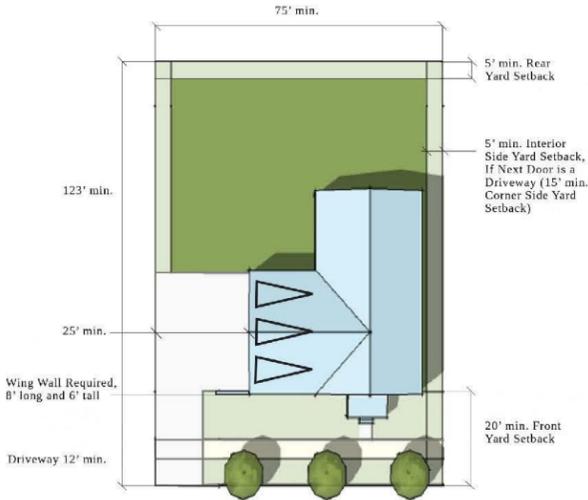
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges

**Subject to additional fire rating requirements of City of Arlington*



View and Plan: Side Loaded Chateau Home



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



CHATEAU 75' HOME SITES: FRONT ENTRY, ATTACHED GARAGE

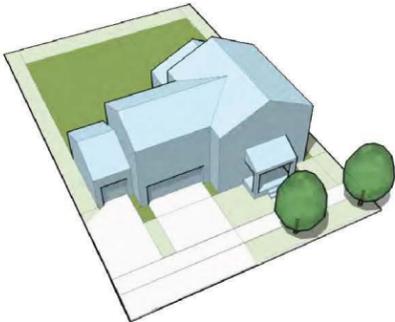
HOUSING TYPE ELEMENTS:

- Lot Area: 7,000 SF min.
- Lot Width: 75' min.
- Lot Depth: 123' min.
- Maximum Number of Stories: 3
- Garage Orientation: Front loaded; min. 2 spaces; 3 allowed
- Minimum Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 15' back of curb
- Minimum Front Garage Setback: 25'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%

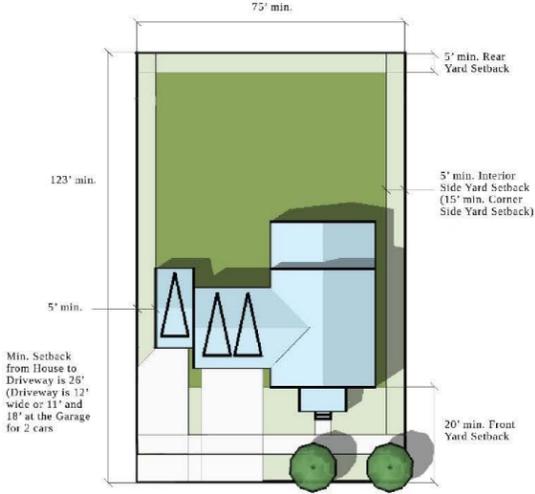
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges

**Subject to additional fire rating requirements of City of Arlington*



View and Plan: Front Loaded Chateau Home



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



ESTATE & CUSTOM 80' HOME SITES: ALLEY ENTRY, ATTACHED OR DETACHED GARAGE

HOUSING TYPE ELEMENTS:

- Lot Area: 8,000 SF
- Lot Width: 80' min.
- Lot Depth: 130' min.
- Maximum Number of Stories: 3
- Garage Orientation: Alley; min. 3 spaces
- Minimum Front Yard Setback: 25' back of curb
- Minimum Interior Side Yard Setback: 7.5'
- Minimum Corner Side Yard Setback: 15'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%

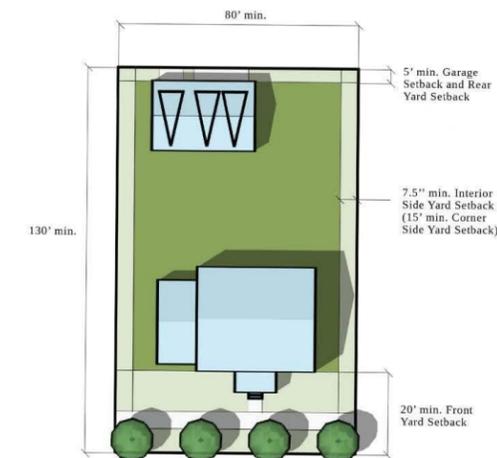
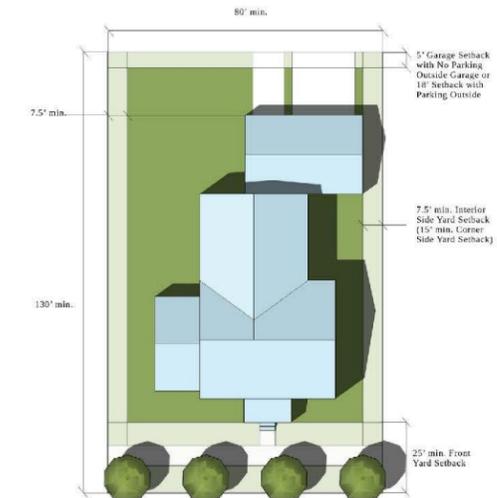
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 3' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 3' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 1.5' into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges.
- Variance to side yard setback may be permitted with town architect approval
- Driveways only may be located within 1' of the property line

**Subject to additional fire rating requirements of City of Arlington*



View and Plan: Alley Loaded Estate Home



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



ESTATE & CUSTOM 80' HOME SITES: FRONT ENTRY, ATTACHED OR DETACHED GARAGE

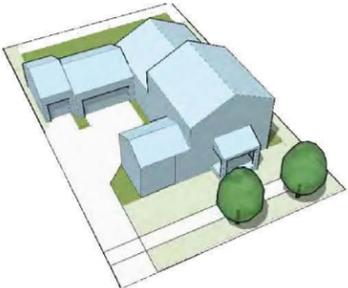
HOUSING TYPE ELEMENTS:

- Lot Area: 8,000 SF
- Lot Width: 80' min.
- Lot Depth: 130' min.
- Maximum Number of Stories: 3
- Garage Orientation: Side drive; min. 3 spaces
- Minimum Front Yard Setback: 25'
- Maximum Interior Side Yard Setback: 7.5'
- Minimum Corner Side Yard Setback: 15' back of curb
- Minimum Front Garage Setback for Side-drive Lots: 40'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%
- Minimum Dwelling Unit Size: 3,500 SF
- Maximum Dwelling Unit Size: none

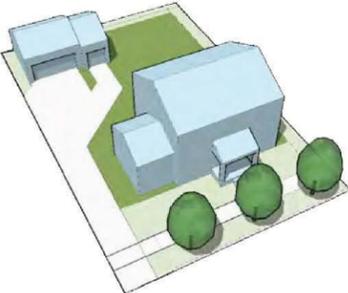
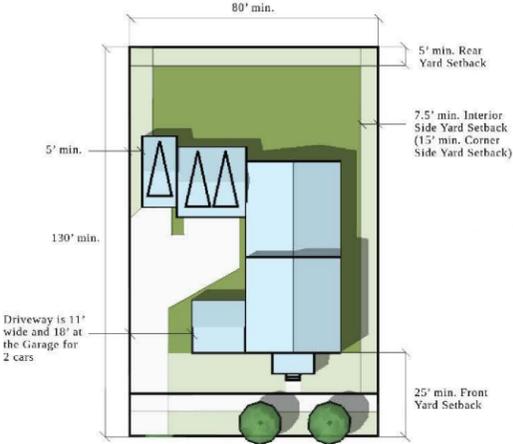
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 24" into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges.
- Variance to side yard setback may be permitted with town architect approval
- Driveways only may be located within 1' of the property line

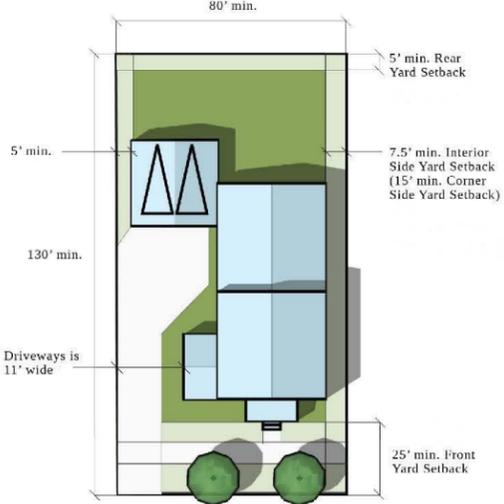
**Subject to fire rating requirements of City of Arlington*



View and Plan: Side Drive Estate Home with Attached Garage



View and Plan: Side Drive Estate Home with Detached Garage





ESTATE & CUSTOM 80' HOME SITES: SIDE ENTRY, ATTACHED GARAGE

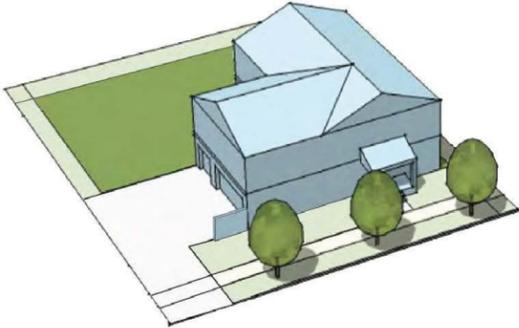
HOUSING TYPE ELEMENTS:

- Lot Area: 8,000 SF
- Lot Width: 80' min.
- Lot Depth: 130' min.
- Maximum Number of Stories: 3
- Garage Orientation: Side loaded; min. 3 spaces
- Minimum Front Yard Setback: 25'
- Maximum Front Yard Setback: 25'
- Minimum Interior Side Yard Setback: 7.5'
- Minimum Corner Side Yard Setback: 15' back of curb
- Minimum Front Garage Setback for Side-drive Lots: 23'; 40' for Porte Cochere Lots
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%
- Minimum Dwelling Unit Size: 3,500 SF
- Maximum Dwelling Unit Size: none

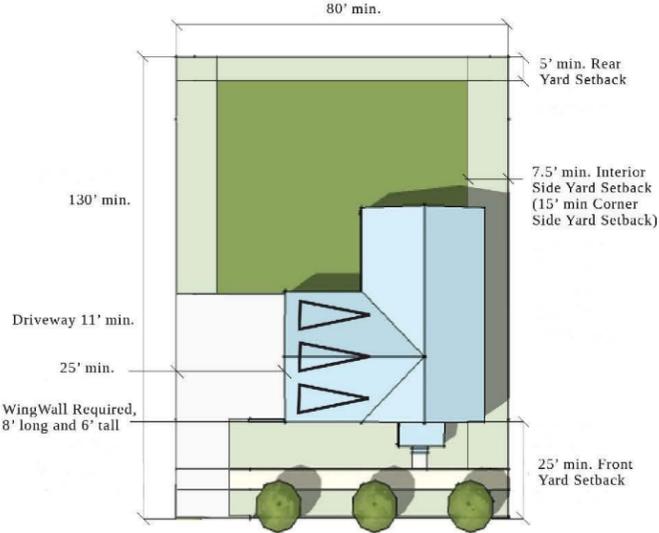
ALLOWED ENCROACHMENTS INTO SETBACK:

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplaces and box windows (up to 2' into all setbacks)
- Balconies, awnings, overhang eaves (up to 2' into all setbacks)
- Bay windows (up to 2' into front and rear setbacks)
- Stoops and stairs (up to 5' into front and rear setbacks)
- Suspended planters/flower boxes (up to 24" into all setbacks)
- Foundation encroachments of 4"- 6" are allowed for architectural details such as brick ledges
- Variance to side yard setback may be permitted with town architect approval
- Driveways only may be located within 1' of the property line

**Subject to fire rating requirements of City of Arlington*



View and Plan: Side Loaded Estate Home



All side drives must be located a minimum of 1' off property line

Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

EXHIBIT "G": ILLUSTRATION OF ANTI-MONOTONY RULE

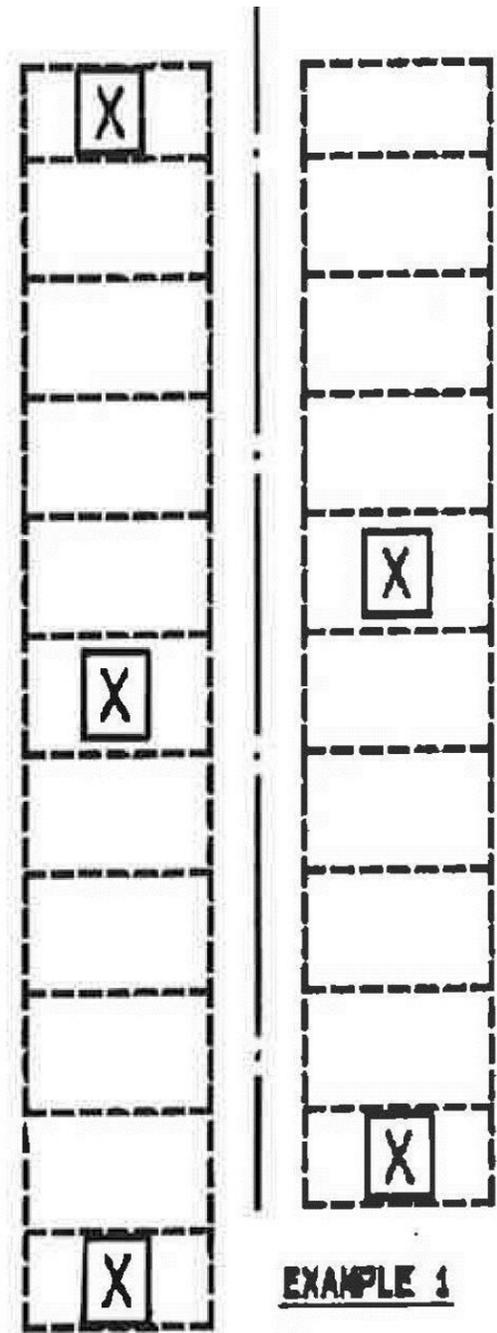


ILLUSTRATION OF
ANTI-MONOTONY RULE
VERIDIAN

EXHIBIT "H": BUILDING ARTICULATION



BUILDING
ARTICULATION
VIRIDIAN
JANUARY, 2008

EXHIBIT "I": LANDSCAPING

Residential Landscaping Requirements

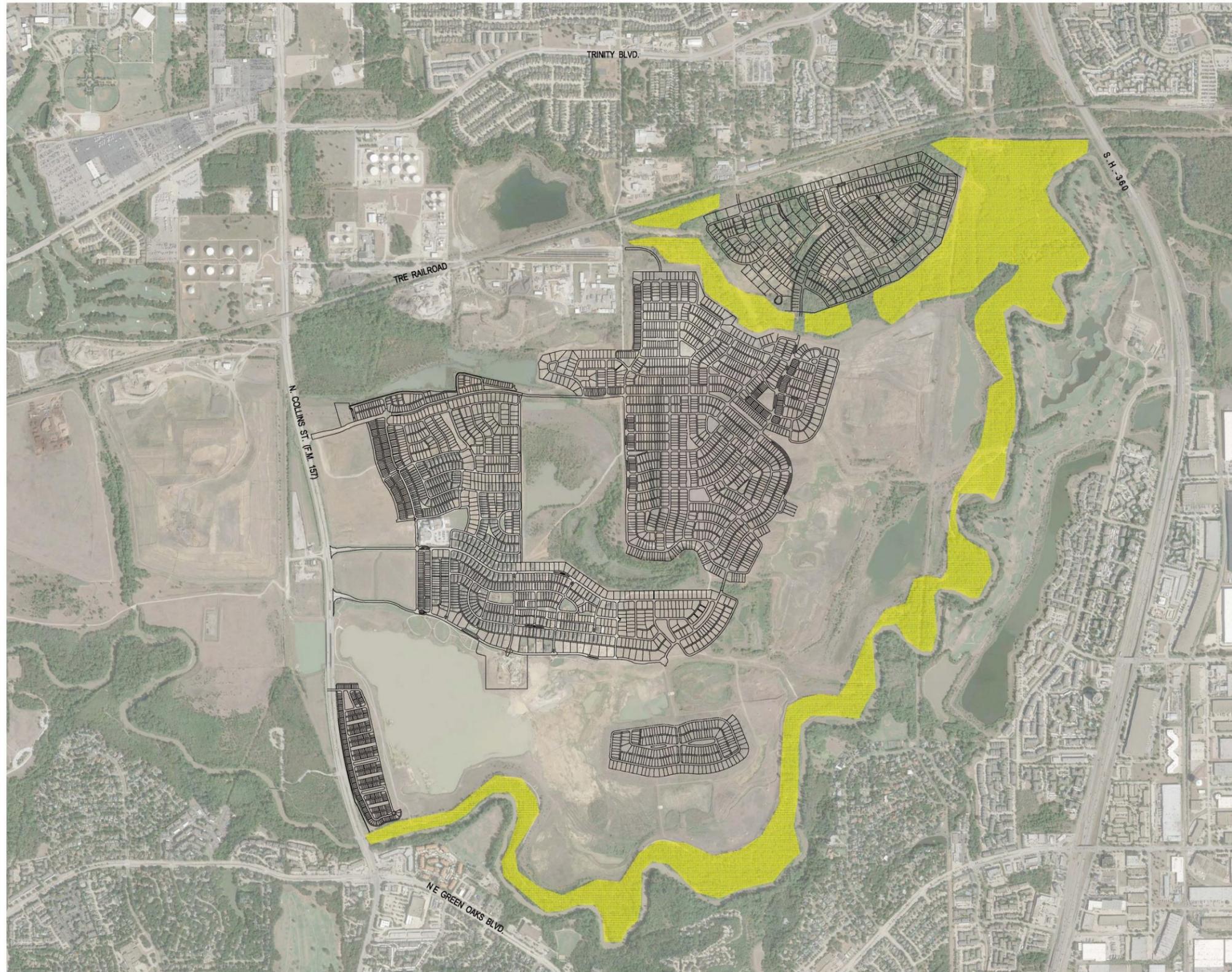
Residential Type	Estate Home Sites	Chateau Home Sites	Manor Home Sites	Executive and Chalet Home Sites	Paseo Home Sites	Garden Home Sites	Courtyard Home Sites	Brownstone and Villa Home Sites	Tuck Under Residential
Minimum Number and Size of Trees ⁷	One 3-inch caliper tree per 30 feet of street frontage or fraction thereof	One 3-inch caliper tree per 30 feet of street frontage or fraction thereof	One 3-inch caliper tree per lot	One 4-inch caliper tree per 30 feet of street frontage or fraction thereof	One 4-inch caliper tree per 30 feet of street frontage or fraction thereof				
15 Gallon Shrubs	5	5	3	2	1	1	1	1	1
7 Gallon Shrubs	8	5	5	3	3	3	3	3	3
5 Gallon Shrubs	20	15	12	10	10	10	10	10	10
1 Gallon Shrubs	30	20	15	10	10	10	10	10	10
Minimum Public Walkway Width ⁸	5 feet	5 feet	5 feet	5 feet	5 feet	5 feet	5 feet	8 feet	8 feet
Minimum Private Walkway Width ⁹	5 feet	5 feet	4 feet	4 feet	4 feet	4 feet	4 feet	4 feet	4 feet
Lawn	Fully sodded								
Irrigation	All landscaping other than trees shall be irrigated with automatic irrigation systems that include rain and freeze sensors								
Drip Irrigation	All trees must be irrigated using drip irrigation								

⁷ Trees shall be planted in the parkway, and may be spaced 20 to 50 feet apart.

⁸ Public walkways located on blockfaces that contain mixed use buildings shall be a minimum of ten feet in width.

⁹ Intended to connect the residential structure to the public walkway along the street.

EXHIBIT "J": TREE PRESERVATION AREA



LEGEND

 TREE PRESERVATION AREA

NOTE: TREE PRESERVATION AREAS SUBJECT TO TRAIL CONSTRUCTION PER MASTER TRAIL PLAN.

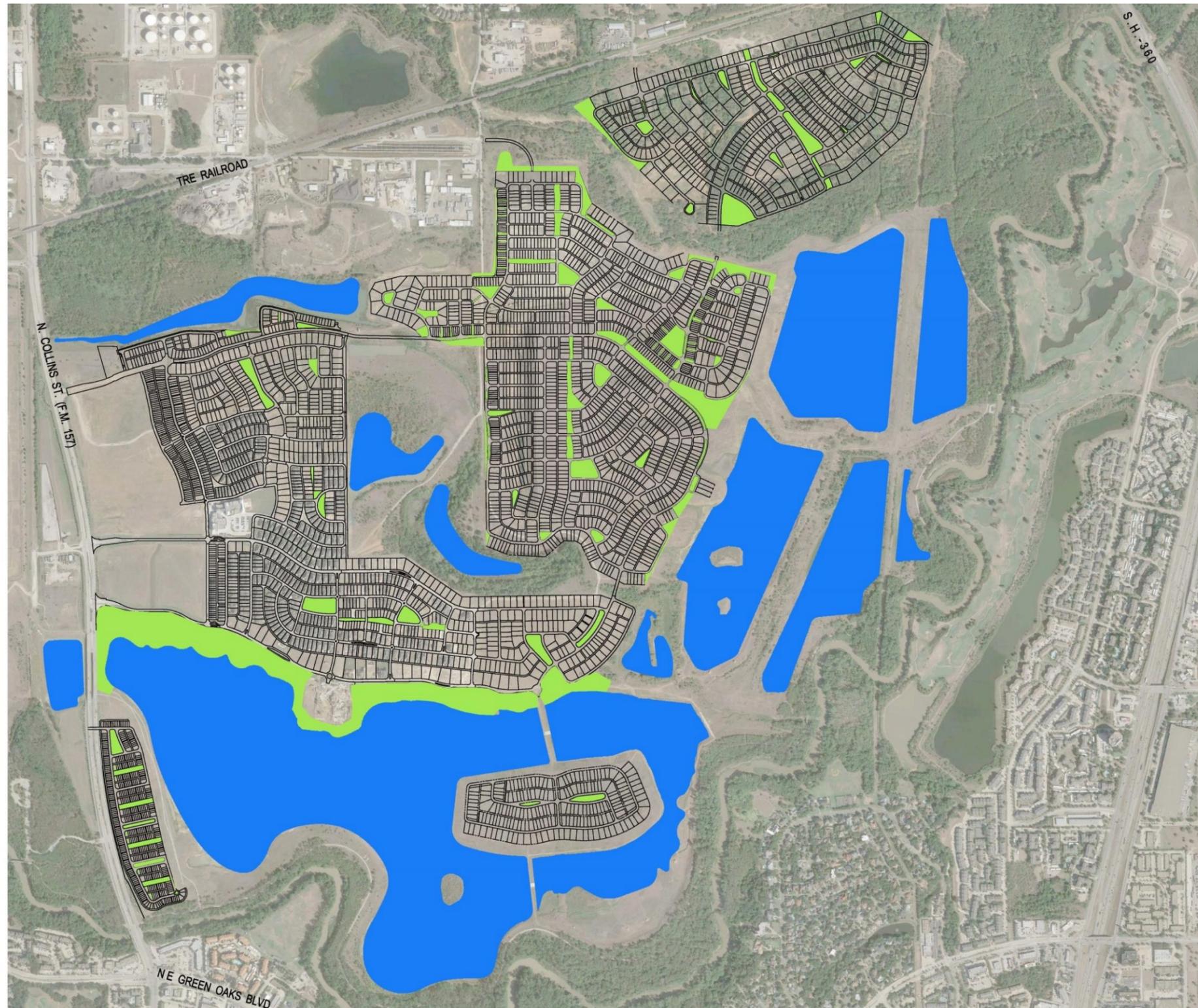
SCALE: 1" = 800'



 **Graham Associates, Inc.**
CONSULTING ENGINEERS & PLANNERS
800 SIX FLAGS DRIVE, SUITE 500
ARLINGTON, TEXAS 76011 (817) 545-8535
TYPE FIRM: F-1191/TSP/PLS FIRM: 101538-00



EXHIBIT "K": PRELIMINARY PARK AND OPEN SPACE MASTER PLAN



LEGEND

-  PARKS/OPEN SPACE
-  LAKES



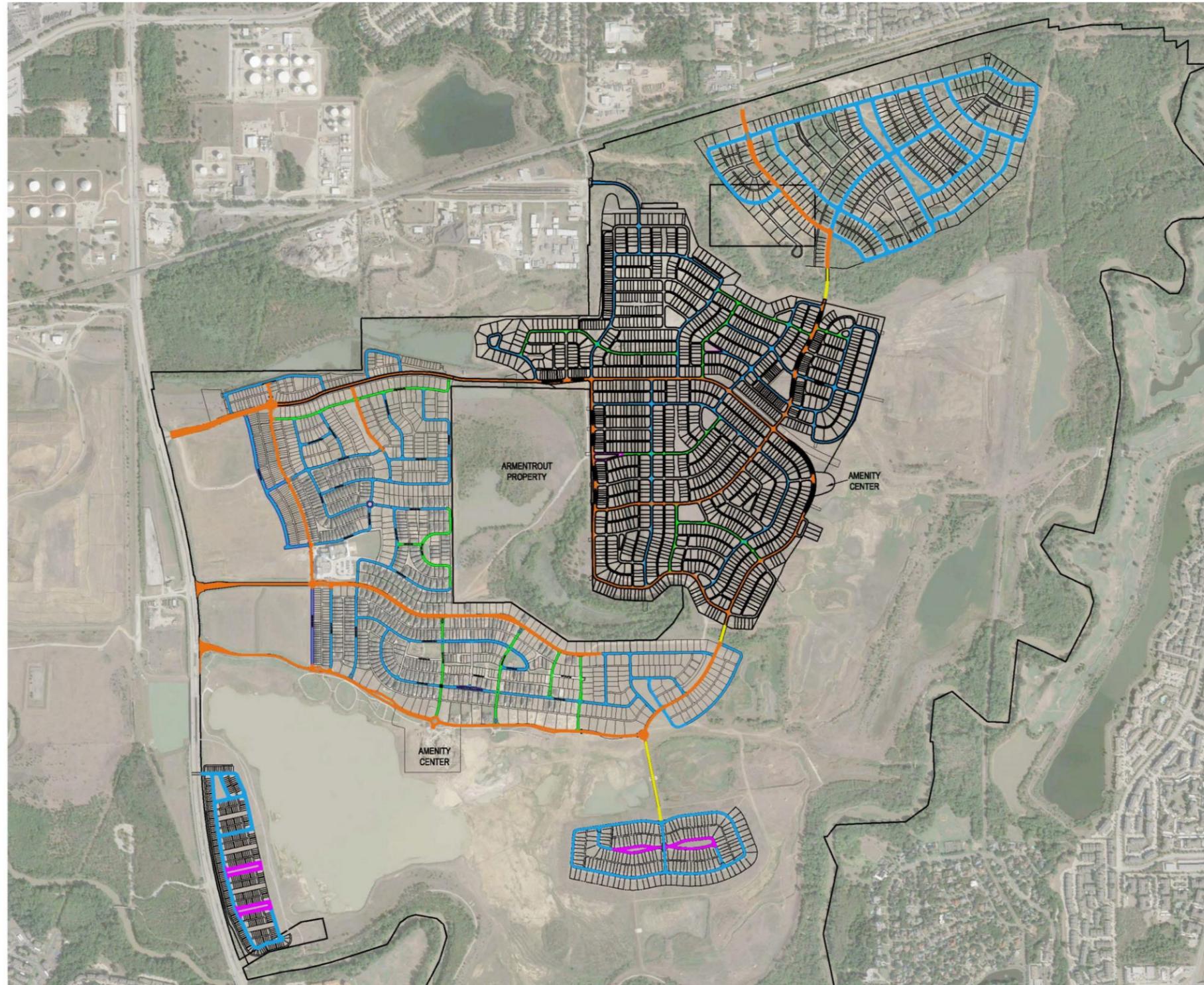
SCALE: 1" = 600'



Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
800 284 FLAJO DRIVE, SUITE 500
ARLINGTON, TEXAS 76011 (817) 440-6036
TYPE FIRM 7-119178PLS FIRM: 101538-00



EXHIBIT "L": THOROUGHFARE AND STREET SECTION DETAILS
THOROUGHFARE PLAN



LEGEND:

NEIGHBORHOOD ROADWAY (47' SECTION)	
LOCAL ROADWAY (50' TO 64' SECTION)	
PRIMARY ROADWAY (54' TO 70' SECTION)	
ONE WAY AT OPEN SPACE (SECTION VARIES)	
BRIDGE	

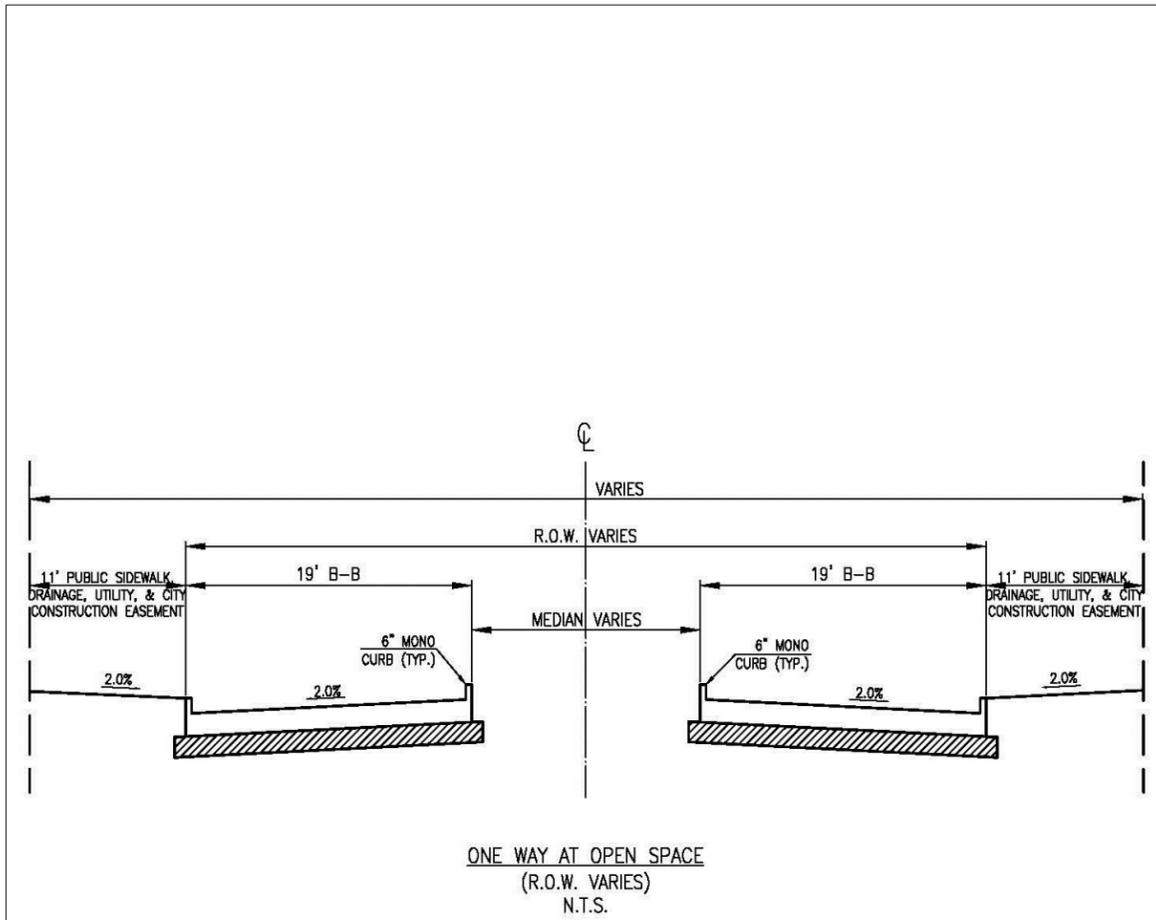
NOTE:
 1. PRIMARY ROADWAYS TO CONSIST OF 2 LANE DIVIDED SECTIONS FOR 20% OR MORE OF THEIR OVERALL LINEAR FOOTAGE WITHIN THEIR RESPECTIVE PLANNING AREA (1, 2, OR 3).



 **Graham Associates, Inc.**
 CONSULTING ENGINEERS & PLANNERS
 900 5th FLOOR DRIVE, SUITE 500
 ARLINGTON, TEXAS 76011 (817) 640-8525
 TBP# FPM: F-119/TBPL# FPM: 10152K-00



ONE WAY ROADWAY AT OPEN SPACE SECTION



Graham Associates, Inc.
 CONSULTING ENGINEERS & PLANNERS
 600 SIX FLAGS DRIVE, SUITE 500
 ARLINGTON, TEXAS 76011 (817) 840-8535
 TBPE FIRM: F-1191/TBPLS FIRM: 101538-00

ONE WAY AT OPEN SPACE
 (R.O.W. VARIES)

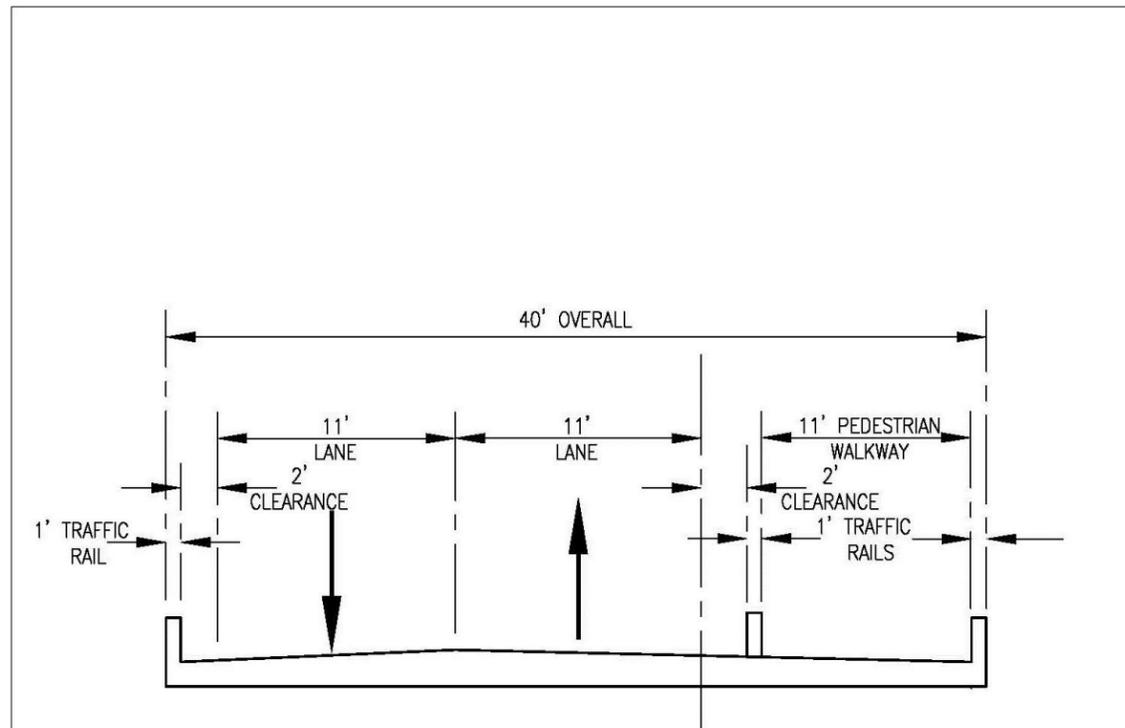
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DATE: 02/11/2016

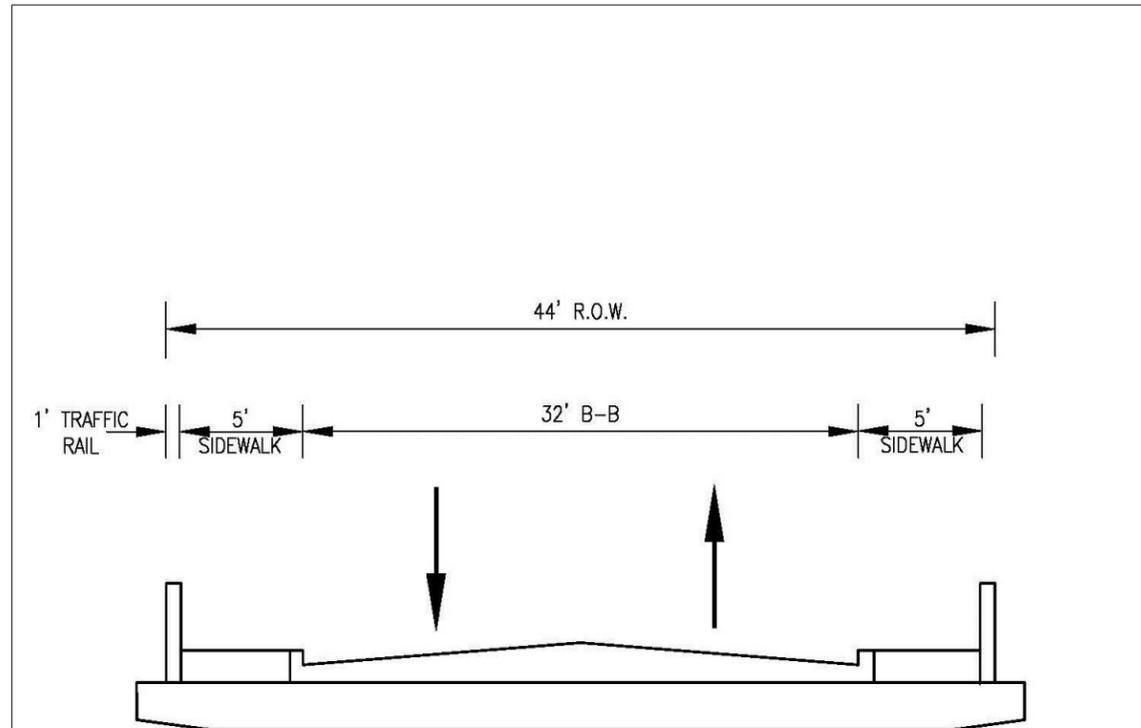
PROJECT NO.: 2345

SHEET 5 OF 10

BRIDGE SECTIONS



BRIDGE SECTION A
N.T.S.



BRIDGE SECTION B
N.T.S.



Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
600 SIX FLAGS DRIVE, SUITE 500
ARLINGTON, TEXAS 76011 (817) 840-8535
TBPE FIRM: F-1191/TBPLS FIRM: 101538-00

BRIDGE SECTION A

DRAWN BY: GAI

DATE: 04/21/2016

PROJECT NO.: 2345

SHEET 6 OF 10



Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
600 SIX FLAGS DRIVE, SUITE 500
ARLINGTON, TEXAS 76011 (817) 840-8535
TBPE FIRM: F-1191/TBPLS FIRM: 101538-00

BRIDGE SECTION B

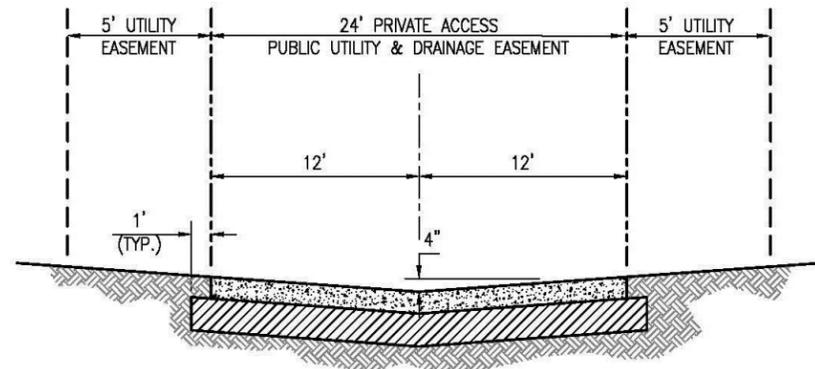
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DATE: 04/21/2016

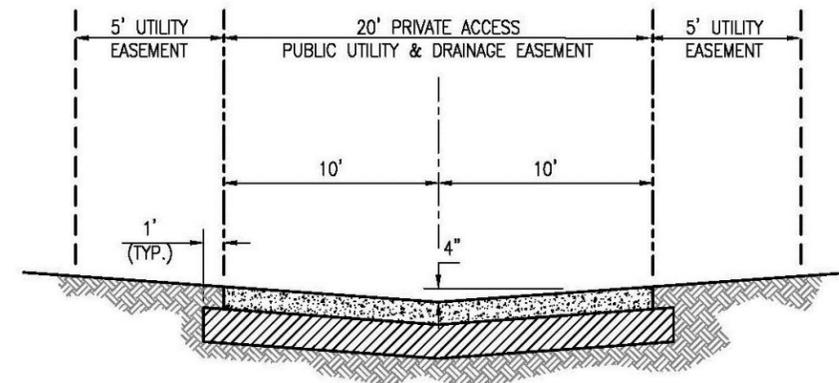
PROJECT NO.: 2345

SHEET 7 OF 10

ALLEY SECTIONS



24' ALLEY
(FIRE LANE)
N.T.S.



20' ALLEY
(ALTERNATE APPROVED FIRE LANE)
N.T.S.

NOTE: EDGE OF ALLEY TO BE STRIPED
FIRE LANE PER CITY STANDARD



Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
600 SIX FLAGS DRIVE, SUITE 500
ARLINGTON, TEXAS 76011 (817) 840-8535
TBPE FIRM: F-1191/TBPLS FIRM: 101538-00

24' ALLEY

DRAWN BY: GAI

DATE: 04/21/2016

PROJECT NO.: 2345

SHEET 8 OF 10



Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
600 SIX FLAGS DRIVE, SUITE 500
ARLINGTON, TEXAS 76011 (817) 840-8535
TBPE FIRM: F-1191/TBPLS FIRM: 101538-00

20' ALLEY

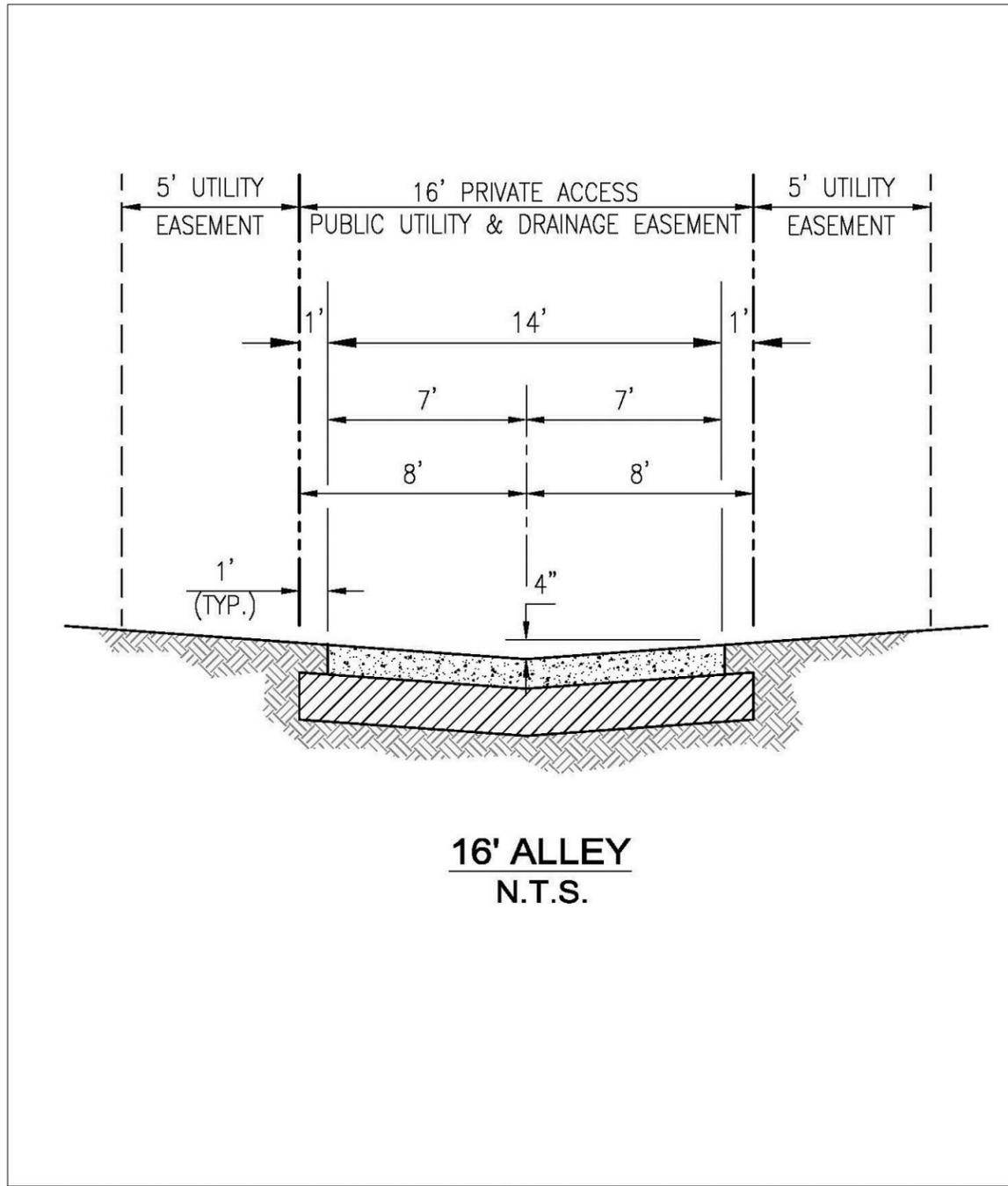
DRAWN BY: GAI

DATE: 04/21/2016

PROJECT NO.: 2345

SHEET 9 OF 10

16' ALLEY SECTION



16' ALLEY
N.T.S.



Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
600 SIX FLAGS DRIVE, SUITE 500
ARLINGTON, TEXAS 76011 (817) 640-8535
TBPE FIRM: F-1191/TBPLS FIRM: 101538-00

16' ALLEY

DRAWN BY: GAI

DATE: 04/21/2016

PROJECT NO.: 2345

SHEET 10 OF 10

EXHIBIT "M": PEDESTRIAN AND STREET LIGHTING STANDARDS

	INDIVIDUAL STREET LIGHT	INDIVIDUAL PEDESTRIAN LIGHT	COMBINATION POLE FOR STREET & PEDESTRIAN LIGHT	PEDESTRIAN LIGHTING IN PARKS
Applicability	For boulevards, street lighting shall be provided within the medians	For boulevards, pedestrian lighting shall be provided along sidewalks	For non-boulevards, combination pedestrian and street light poles shall be provided along sidewalks	For public parks, pedestrian lighting shall be provided along trails and on bridges
Maximum Illumination Level (Footcandle)	Per IESNA	Per IESNA	Per IESNA	Per IESNA
Average Pole Height (Measured Along a Street within the Property)⁷	40 feet	12 feet	20 feet for street lights and 12 feet for pedestrian lights	12 feet
Average Spacing⁸	180 feet	90 feet	90 feet	90 feet
Location Criteria	Centered in the median. Refer the Standard Specification for Street lighting, Department of Public Works & Transportation	At least four feet from back of curb. Centered between street trees. Average one light every 15 feet on center.	At least four feet from back of curb. Centered between street trees. Average one light every 15 feet on center.	A maximum of one foot off the edge of a trail.
Pole/Post Specification	None	Capacity to accommodate vertical banner signs (twin banner arm)		Pole/Post specification
Light Source	Type (HPS) and wattage to be determined by Photometric Mapping/study. Luminaire shall meet cutoff classification and prevent unwanted light from spilling onto neighboring property. Lighting design shall meet IESNA's recommendations for uniformity and glare control.			

⁷ A lower average pole height may be approved by the Zoning Administrator upon a finding that the lower height will provide adequate lighting.

⁸ Different spacing may be approved by the Zoning Administrator upon a finding that the alternative spacing will provide adequate lighting.

EXHIBIT "P": ARCHITECTURAL STYLES
ARCHITECTURAL STYLES - 01/08



ARCHITECTURE | ARCHITECTURE

DESIGN | DESIGN

YIRIDIAN
TOWN CENTER

| MAIN STREET PERSPECTIVE | 06



ARCHITECTURAL STYLES - 02/08 | VIRIDIAN | PLAZA GREEN PERSPECTIVE | 05

ARCHITECTURAL STYLES - 03/08



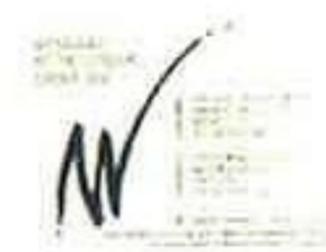
EXECUTIVE HOME SITES

HUFFINES COMMUNITIES



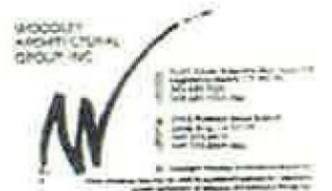


VILLA HOMESITES
HUFFINES COMMUNITIES





PASEO COURTS
HUFFINES COMMUNITIES



ARCHITECTURAL STYLES - 06/08



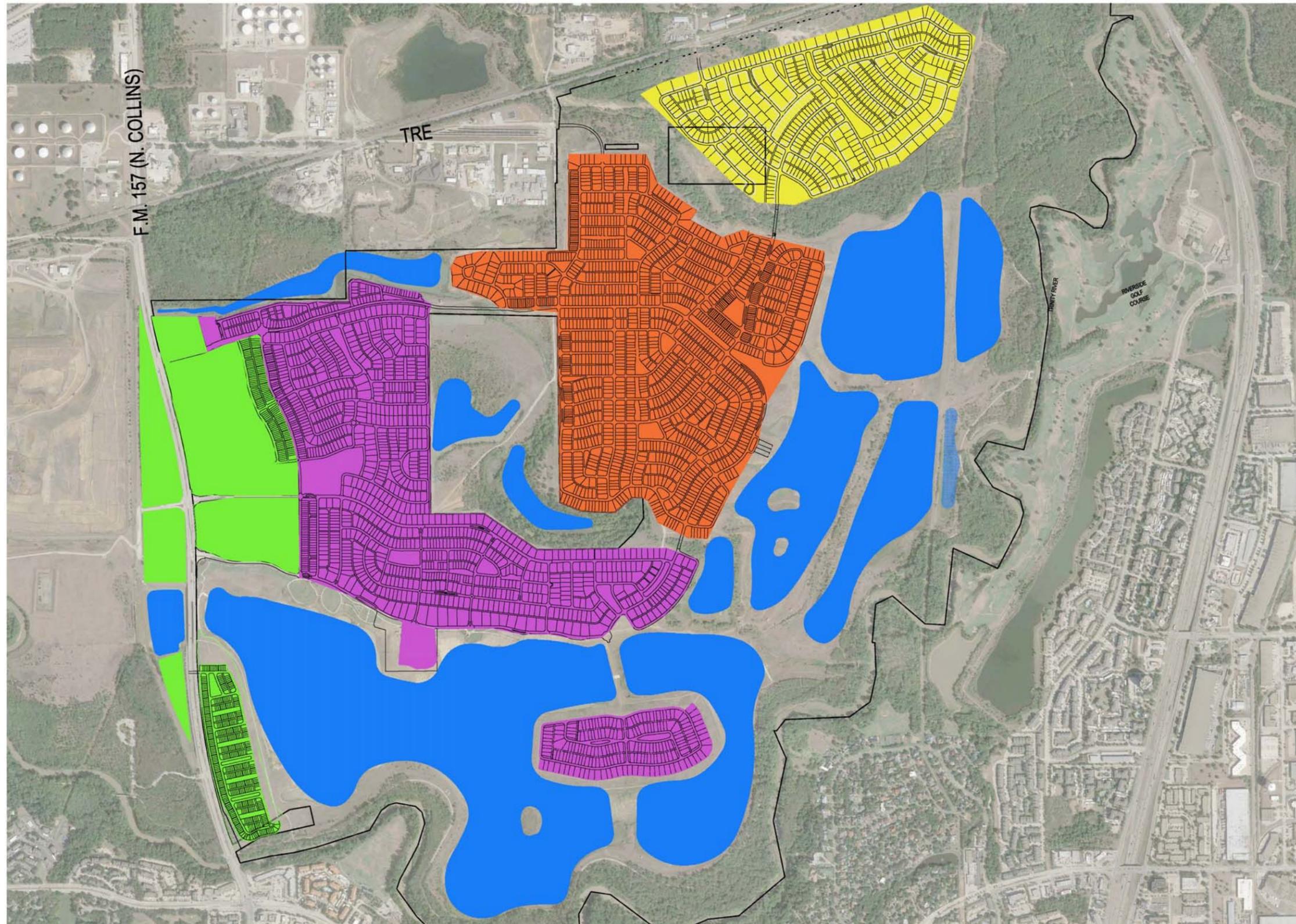
ARCHITECTURAL STYLES - 07/08



ARCHITECTURAL STYLES - 08/08



EXHIBIT "Q": RESIDENTIAL PLANNING AREAS last



LEGEND

- TOWN CENTER (MIXED USE)
- PLANNING AREA 1
- PLANNING AREA 2
- PLANNING AREA 3

SCALE: 1" = 600'



Graham Associates Inc.
CONSULTING ENGINEERS & PLANNERS
4018 PLAZA DR., SUITE 800
AUSTIN, TEXAS 78741-1774
TYPE FORM 3-1/8" (10/15) & FROM 1/10/08-05

