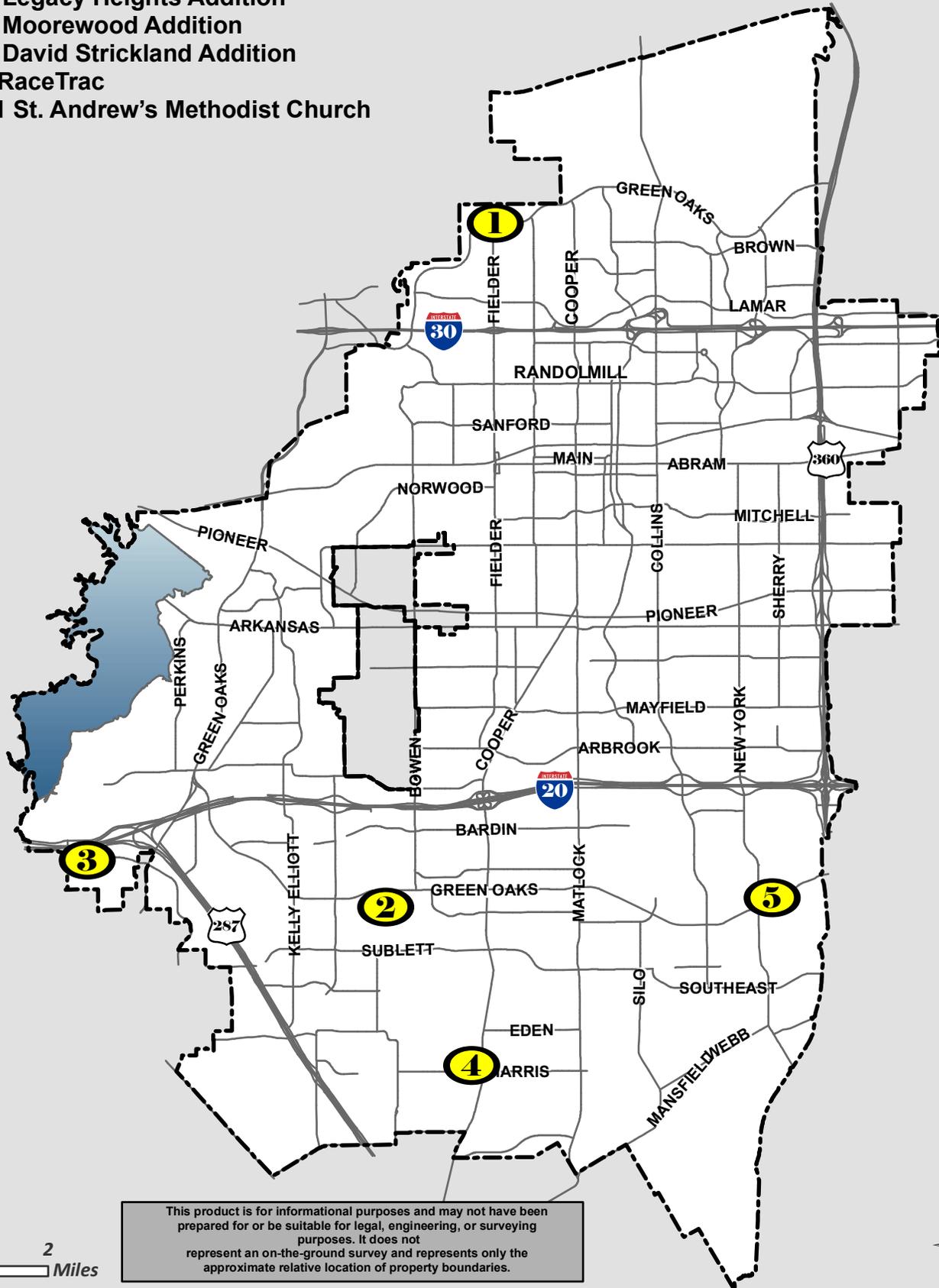


PLANNING & ZONING

August 3, 2016



1. Replat- Legacy Heights Addition
2. Replat- Moorewood Addition
3. Replat- David Strickland Addition
4. PD16-3 RaceTrac
5. SUP16-1 St. Andrew's Methodist Church



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





AGENDA

**Planning and Zoning Commission
Work Session**

**Council Briefing Room, 3rd floor
101 West Abram Street**

**August 3, 2016
4:30 P.M.**

I. CALL TO ORDER

II. DISCUSSION OF REGULAR SESSION AGENDA ITEMS

III. DISCUSSION OF FUTURE MEETING DATES AND TIMES

- (a) Planning and Zoning Commission Meeting on August 17, 2016
- (b) Planning and Zoning Commission Two-Hour Bus Tour – August 26, 2016

IV. ADJOURN

NOTE: City Hall is wheelchair accessible. For other accommodations or sign interpretive services, please call the Business Services Division at 817-459-6652 not later than 24 hours in advance.



AGENDA

Planning and Zoning Commission Council Briefing Room, 3rd floor
Regular Session 101 West Abram Street

August 3, 2016
5:30 P.M.

Meeting order is subject to change per the Commission's Discretion

I. CALL TO ORDER

II. PLEDGE

III. APPROVAL OF MINUTES

- A. Minutes of July 13, 2016 P&Z Meeting

IV. PLAT CONSENT AGENDA AND PUBLIC HEARING FOR PLATS

- A. Replat – Legacy Heights Addition – Lots 2R-1, 2R-2, 2R-3, and 2R-4, Zoned Planned Development (PD) for all Residential Single-Family 7.2 (RS-7.2) uses, with a Development Plan; generally located west of North Fielder Road and south of Northwest Green Oaks Boulevard with the approximate address being 2418 North Fielder Road.
- B. Replat – Moorewood Addition – Lots 3R, 5-BR, and 5-CR, Zoned Residential Single-Family 7.2 (RS-7.2); generally located north of Collard Road and west of Rush Creek Drive with the approximate addresses being 2931, 2951, and 2971 Collard Road and 5504 Rush Creek Drive.
- C. Replat – David Strickland Addition – Lot 36BR1, Zoned Residential Estate (RE); generally located south of Interstate 20 Highway West and east of Bowman Springs Road with the approximate address being 6804 Interstate 20 Highway West.

NOTE: City Hall is wheelchair accessible. For other accommodations or sign interpretive services, please call the Business Services Division at 817-459-6652 not later than 24 hours in advance.

V. PUBLIC HEARING FOR ZONING CASES

- A. **CONTINUED (from 07-13-16)** Zoning Case PD16-3
(RaceTrac – 1211 West Harris Road)

Application to change the zoning on approximately 4.166 acres from Residential Estate (RE) and Light Industrial (LI) to Planned Development (PD) for limited Community Commercial (CC) uses plus a packaged liquor store, with a Development Plan; generally located north of West Harris Road and east of South Cooper Street.

- B. Specific Use Permit SUP16-1
(St. Andrew’s Methodist Church – 2045 Southeast Green Oaks Boulevard)

Application for approval of a Specific Use Permit for a day care center on approximately 6.053 acres zoned Residential Single-Family 7.2 (RS-7.2) and Residential Single-Family 5 (RS-5); generally located north of Southeast Green Oaks Boulevard and east of New York Avenue.

VI. MISCELLANEOUS

- A. Reports from Boards/Commissions Liaisons
- B. Reports from Staff and Announcements
- C. Discussion of Future Meeting Dates and Times

VII. ADJOURN

Staff Report



Replat (Legacy Heights Addition)	
Planning and Zoning Meeting Date: 8-3-16	Document Being Considered: Plat

RECOMMENDATION

Consider a Replat on the consent agenda.

PRIOR BOARD OR COUNCIL ACTION

On April 6, 2016, the Planning and Zoning Commission recommended approval of PD16-1 for a Planned Development (PD) for Residential Single-Family 7.2 (RS-7.2) uses, with a Development Plan by a vote of 9-0-0 with the following stipulations:

1. Each dwelling unit must be a minimum of 2,200 square feet in size.
2. All garages must have decorative wooden doors.
3. A board-on-board cedar fence with a wooden top is to be installed on the north property line adjacent to the commercially zoned property. This fence is to include masonry columns at 30-foot intervals.

On April 26, 2016, City Council approved the first reading of PD16-1 by a vote of 8-1-0.

On May 10, 2016, City Council approved PD16-1 for a Planned Development (PD) for Residential Single-Family 7.2 (RS-7.2) uses, with a Development Plan at this location, by a vote of 8-1-0.

ANALYSIS

The applicant, Paradigm Consulting, proposes a replat for 1.003 acres of the Legacy Heights Addition. Through this Replat Lot 2 will be subdivided into four separate lots 2R-1, 2R-2, 2R-3, and 2R-4 of the Legacy Heights Addition. This site was zoned commercial prior to the approved zoning change in May. The property is currently undeveloped and is being platted to develop four single-family residences.

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the subdivision regulations.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

<u>Property Location:</u>	Generally located west of North Fielder Road and south of Northwest Green Oaks Boulevard with the approximate address of 2418 North Fielder Road
<u>Sector:</u>	North
<u>Council District:</u>	1
<u>Current Zoning:</u>	Planned Development (PD) for all Residential Single-Family 7.2 (RS-7.2) uses, with a Development Plan

ATTACHED

- i. Location Map
- ii. 11 x 17 Plat

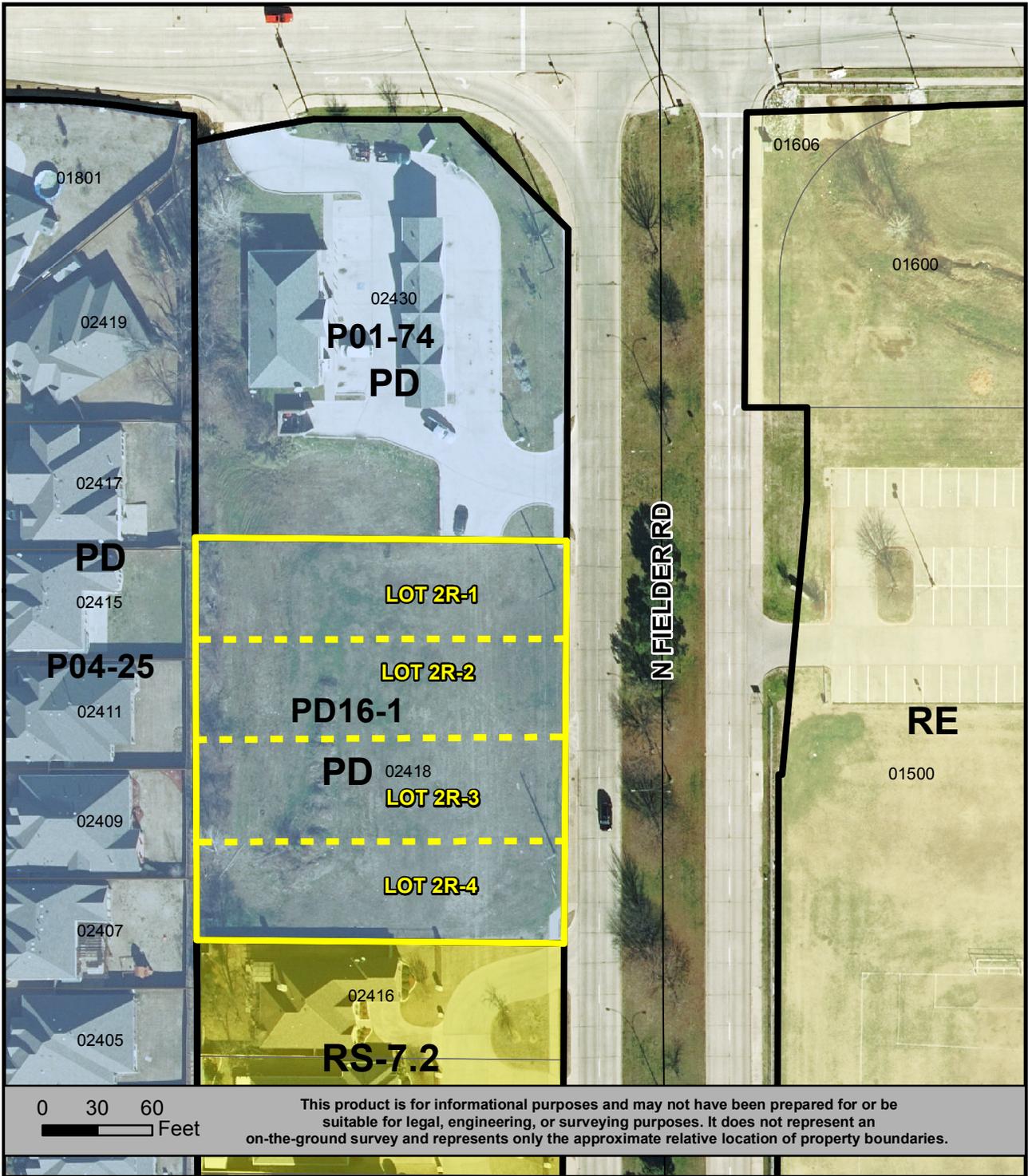
STAFF CONTACT(S)

Jennifer Pruitt, AICP, LEED AP
Planning Manager, Land Development
Community Development and Planning
817-459-6138

Jennifer.Pruitt@arlingtontx.gov

Shon Brooks, AICP
Principal Planner, Land Development
Community Development and Planning
817-459-6514

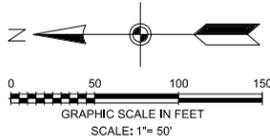
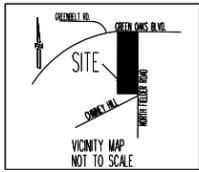
Shon.Brooks@arlingtontx.gov



LOCATION MAP

**LEGACY HEIGHTS ADDITION
REPLAT**





BEARINGS ARE RELATIVE TO TRUE NORTH OBTAINED FROM GLOBAL POSITIONING SATELLITE SYSTEM (GPS) OBSERVATIONS, NORTH AMERICAN DATUM 1983 (NAD 83), TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE.

PLAT NOTES:

"This property may be subject to charges related to impact fees and the applicant should contact the City regarding any applicable fees due."

"Fencing shall be constructed in accordance with Section 8.06 of the Subdivision Rules and Regulations (Ord. No. 99-152)."

"Pursuant to Section 12.002 of the Texas Property Code, as amended, I have obtained original tax certificates from each taxing unit with jurisdiction over each parcel of real property in said subdivision indicating that no delinquent ad valorem taxes are owed on the real property which is the subject of the plat or replat I have submitted to the City of Arlington, Tarrant County, Texas, for filing and recording with the Tarrant County Clerk's office."

"Visibility triangles shall be provided at all public or private street intersections in accordance with current City ordinance."

"All landscaping (nothing over 2 feet in height as measured from the top of the curb) within the visibility triangles shall comply with the Visibility Ordinance."

The City of Arlington will not be responsible for, or maintenance of any non drainage related improvements within the drainage easement, including but not limited to paving and fences.

The 100-year flood plain is as shown on the FLOOD INSURANCE RATE MAP For Tarrant County and Incorporated Areas, Community Map No. 48439C0220 K, Effective Date: September 25, 2009.

This plat does not alter or remove deed restrictions or covenants, if any on this property.

PRIVATE ACCESS MAINTENANCE AGREEMENT

THE CITY OF ARLINGTON IS NOT RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, OR USE OF THE PRIVATE ACCESS EASEMENTS AND ASSOCIATED IMPROVEMENTS. HEREIN REFERRED TO AS "IMPROVEMENTS", DEVELOPED AND CONSTRUCTED BY DEVELOPER OR HIS PREDECESSORS, OR TO BE DEVELOPED AND CONSTRUCTED BY DEVELOPER OR HIS SUCCESSORS. DEVELOPER WILL INDEMNIFY, DEFEND AND HOLD HARMLESS THE CITY OF ARLINGTON, ITS OFFICERS, EMPLOYEES, AND AGENTS FROM ANY DIRECT OR INDIRECT LOSS, DAMAGE, LIABILITY OR EXPENSE AND ATTORNEYS' FEES FOR ANY NEGLIGENCE ARISING OUT OF THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, CONDITION OR USE OF THE IMPROVEMENTS, INCLUDING ANY NON-PERFORMANCE OF THE FOREGOING. DEVELOPER WILL REQUIRE ANY SUCCESSOR IN INTEREST OF ALL OR PART OF THE PROPERTY, INCLUDING ANY PROPERTY OWNERS ASSOCIATION TO ACCEPT FULL RESPONSIBILITY AND LIABILITY FOR THE IMPROVEMENTS. ALL OF THE ABOVE SHALL BE COVENANTS RUNNING WITH THE LAND. DEVELOPER SHALL IMPOSE THESE COVENANTS UPON LOT 2R-1, 2R-2, 2R-3, 2R-4 ABUTTING, ADJACENT OR SERVED BY THE IMPROVEMENTS. THE COVENANTS SHALL INCLUDE THE FULL OBLIGATION AND RESPONSIBILITY OF MAINTAINING AND OPERATING SAID IMPROVEMENTS. ACCESS TO THE IMPROVEMENTS IS GRANTED TO THE CITY FOR ANY PURPOSE RELATED TO THE EXERCISE OF GOVERNMENTAL SERVICES OR FUNCTIONS, INCLUDING BUT NOT LIMITED TO, FIRE AND POLICE PROTECTION, INSPECTION AND CODE ENFORCEMENT.

Developer's / Owner's signature _____

Owner's Certification and Dedication

STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, MS&E Enterprises, Inc. acting by and through the undersigned, its duly authorized agent, is the sole owner of a tract of land located in the S. R. Tomlin Survey, Abstract Number 1918, City of Arlington, Tarrant County, Texas, according to the deed recorded in Instrument D202180122, of the Deed Records of Tarrant County, Texas, to be known as:

Legacy Heights
Block 1, Lots 2R-1, 2R-2, 2R-3, and 2R-4

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, MS&E Enterprises, Inc. acting by and through the undersigned, its duly authorized agent, does hereby adopt this plat designating the hereinabove described real property as Lots 2R-1, 2R-2, 2R-3, and 2R-4; Block 1, Legacy Heights, an addition to the City of Arlington, Tarrant County, Texas and does hereby dedicate to the public's use the streets, easements, and parks shown thereon except the private easements shown thereon.

Executed this the _____ Day of _____, 2016.

Owner's Agent Title _____

Signature _____

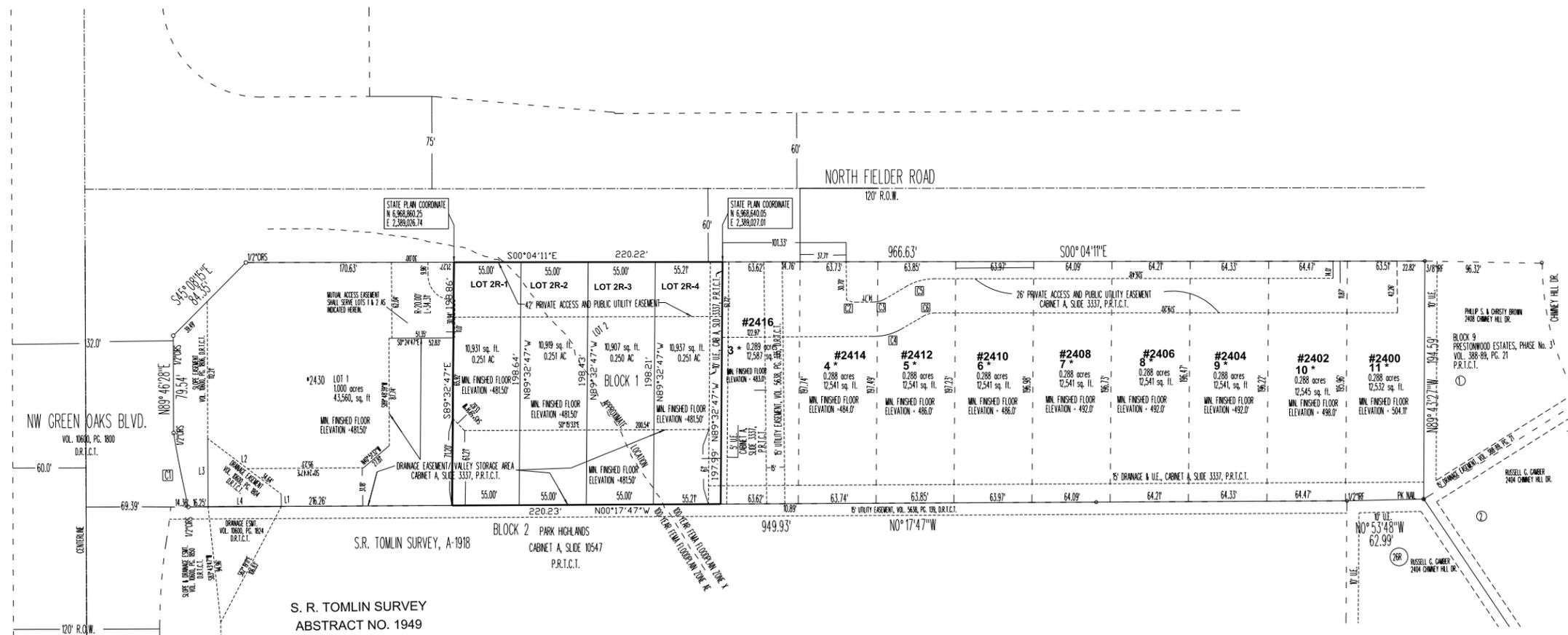
STATE OF TEXAS §
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared _____

known to me to be the person whose name subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed, in the capacity therein stated, and as the act and deed of said MS&E Enterprises, Inc.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the _____ day of _____, 2016.

Notary Public in and for the state of Texas My Commission Expires: _____



SURVEYOR CERTIFICATE
THIS IS TO CERTIFY THAT I, EDWARD KHALIL, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, HAVE PLATTED THE ABOVE SUBDIVISION FROM AN ACTUAL SURVEY ON THE GROUND, AND THAT THIS PLAT CORRECTLY REPRESENTS THAT SURVEY MADE BY ME OR UNDER MY DIRECTION AND SUPERVISION.

NAME _____
TEXAS REGISTRATION NO. _____

NOTARY CERTIFICATE
STATE OF TEXAS §
COUNTY OF TARRANT §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED EDWARD KHALIL, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, IN THE CAPACITY THEREIN STATED AND AS THE ACT AND DEED THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2016.



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS MY COMMISSION EXPIRES: _____

APPROVED BY THE CITY OF ARLINGTON PLANNING AND ZONING COMMISSION ON _____ (DATE)

CHAIRMAN - PLANNING AND ZONING COMMISSION _____

SECRETARY - PLANNING AND ZONING COMMISSION _____

SURVEYOR
A.N.A. CONSULTANTS, L.L.C.
5000 THOMPSON TERRACE
COLLEYVILLE, TEXAS 76034
TEL: (817) 335-9900
FAX: (817) 335-9955

OWNER
MS&E ENTERPRISES, INC.
1112 JOHN MCCAIN RD
COLLEYVILLE, TEXAS 76034
(817) 329-3609

**REPLAT FOR
LEGACY HEIGHTS ADDITION**

ESTABLISHING
LOTS 2R-1, 2R-2, 2R-3 & 2R-4, BLOCK 1
BEING A REPLAT OF
LOT 2, BLOCK 1
LEGACY HEIGHTS ADDITION
AN ADDITION TO
THE CITY OF FORT WORTH, TEXAS
AS RECORDED IN CABINET A, SLIDE 7774
OF THE PLAT RECORDS OF TARRANT COUNTY,
TEXAS
BEING 1.003 ACRES OF LAND
SITUATED IN THE
S. R. TOMLIN, SURVEY
ABSTRACT NO. 1918
PREPARED APRIL 2016

THIS PLAT WAS FILED IN DOCUMENT NO. _____ ON DATE: _____

REPLAT
LOTS 2R-1 - 2R-4, BLOCK 1
LEGACY HEIGHTS ADDITION

5000 Thompson Terrace
Colleyville, TX 76034
(817) 335-9900
FAX: (817) 335-9955



SHEET 1 OF 1

Staff Report



Replat (Moorewood Addition)

Planning and Zoning Meeting Date: 8-3-16

Document Being Considered: Plat

RECOMMENDATION

Consider a Replat on the consent agenda.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

The applicant, Sempco Surveying, Inc, proposes a replat for 6.102 acres of the Moorewood Addition. The plat proposes to reconfigure four lots, absorbing Lot 5-A1, creating Lots 3R, 5-BR, and 5-CR of the Moorewood Addition. These sites are currently residentially developed. The purpose of this plat is to add additional land area to the remaining lots.

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the subdivision regulations.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Property Location: Generally located north of Collard Road and west of Rush Creek Drive with the approximate addresses being 2931, 2951, and 2971 Collard Road and 5504 Rush Creek Drive

Sector: Southwest

Council District: 1

Current Zoning: Residential Single-Family 7.2 (RS-7.2)

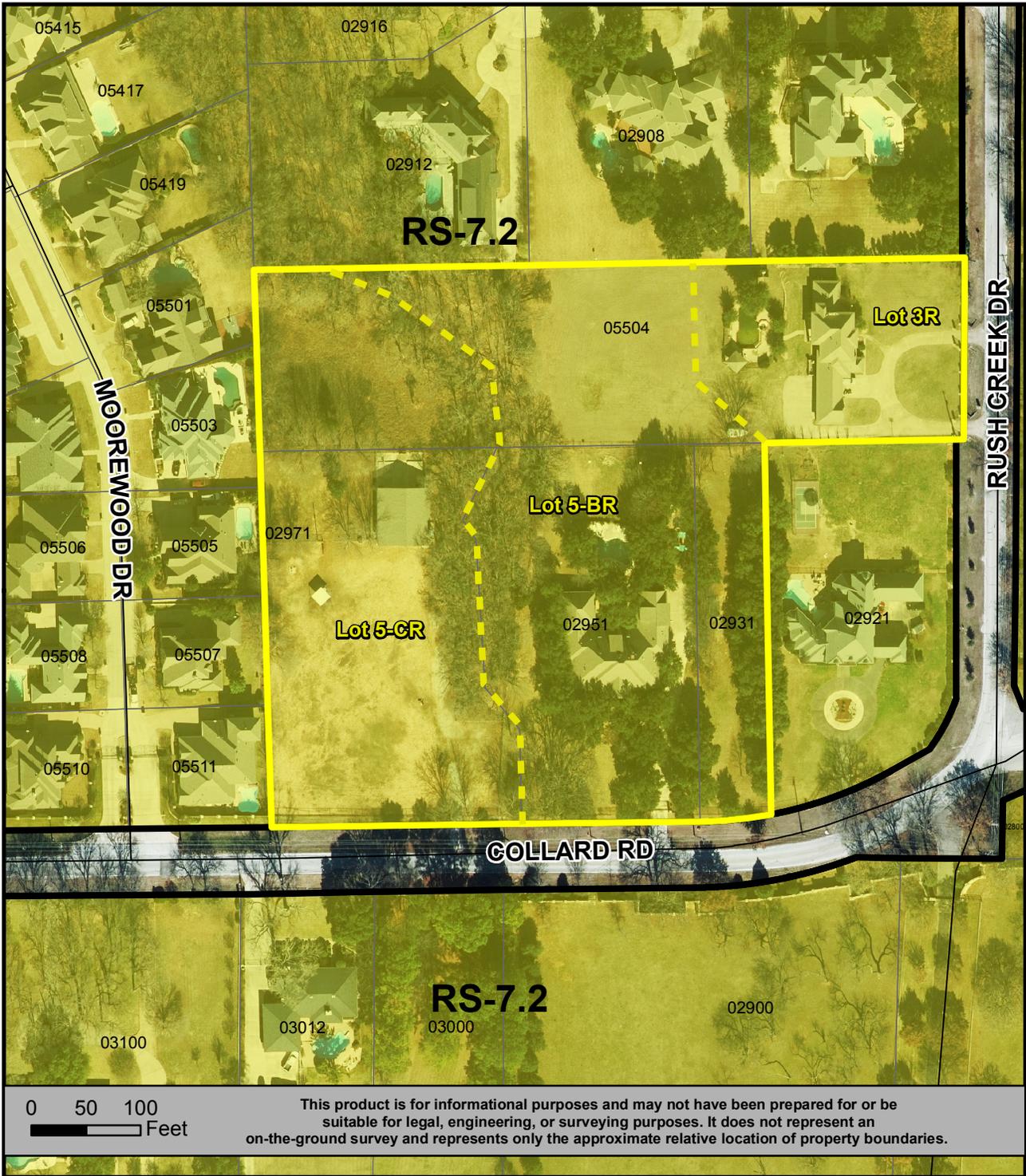
ATTACHED

- i. Location Map
- ii. 11 x 17 Plat

STAFF CONTACT(S)

Jennifer Pruitt, AICP, LEED AP
Planning Manager, Land Development
Community Development and Planning
817-459-6138
Jennifer.Pruitt@arlingtontx.gov

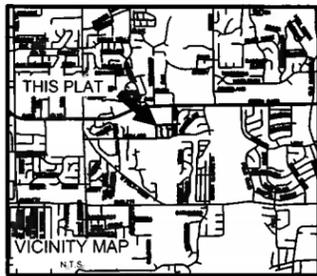
Shon Brooks
Principal Planner, Land Development
Community Development and Planning
817-459-6514
Shon.Brooks@arlingtontx.gov



LOCATION MAP

**MOOREWOOD ADDITION
REPLAT**





Original Scale: 1" = 40'
Graphic Scale in Feet

Bearings, Distances and Areas are based on NAD 83 Grid, North Central Zone, Texas State Plane Coordinate System.

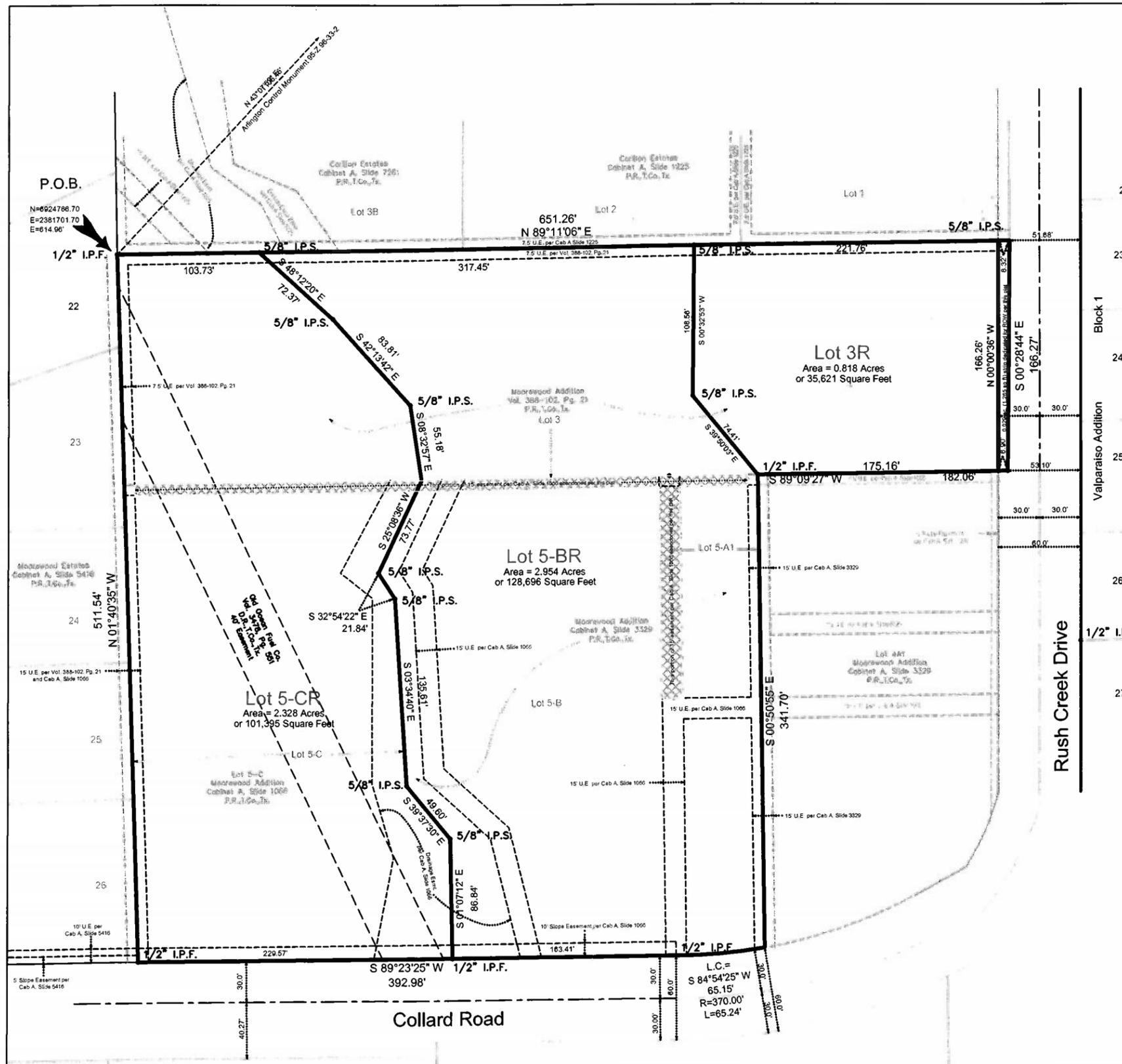
- LEGEND -

SYMBOL	DESCRIPTION	U.P.F.	IRON PIN FOUND
P.L., T.O.O., TX	PLAT RECORDS OF TARRANT COUNTY, TEXAS	U.P.S.	IRON PIN SET
D.R., T.O.O., TX	DEED RECORDS OF TARRANT COUNTY, TEXAS	U.E.	UTILITY EASEMENT
VOL.	VOLUME		
PG.	PAGE		
()	RECORD CALLS		
---	SUBJECT PROPERTY		
---	ADJACENT PROPERTY		
---	EASEMENT		
---	BUILDING LINE		
---	CENTERLINE R.O.W.		

SWMSP MAINTENANCE NOTE:
THE CITY OF ARLINGTON IS NOT RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, OR USE OF ANY STORM WATER TREATMENT FACILITY (IDENTIFIED AS A BEST MANAGEMENT PRACTICE(S) (BMP)) FOR STORM WATER QUALITY IN THE ACCEPTED STORM WATER MANAGEMENT SITE PLAN FOR THIS DEVELOPMENT. HEREINAFTER REFERRED TO AS 'IMPROVEMENTS,' TO BE DEVELOPED AND CONSTRUCTED BY DEVELOPER OR SUCCESSORS. DEVELOPER WILL REQUIRE ANY SUCCESSOR IN INTEREST OF ALL OR PART OF THE PROPERTY, INCLUDING ANY PROPERTY OWNERS ASSOCIATION TO ACCEPT FULL RESPONSIBILITY AND LIABILITY FOR THE IMPROVEMENTS. ALL OF THE ABOVE SHALL BE COVENANTS RUNNING WITH THE LAND. DEVELOPER SHALL IMPOSE THESE COVENANTS UPON LOTS 5-CR, 5-BR AND 3R ABUTTING, ADJACENT OR SERVED BY THE 'IMPROVEMENTS.' THE COVENANTS SHALL INCLUDE THE FULL OBLIGATION AND RESPONSIBILITY OF MAINTAINING AND OPERATING SAID IMPROVEMENTS. ACCESS TO THE IMPROVEMENTS IS GRANTED TO THE CITY FOR ANY PURPOSE RELATED TO THE EXERCISE OF GOVERNMENTAL SERVICES OR FUNCTIONS, INCLUDING BUT NOT LIMITED TO, FIRE AND POLICE PROTECTION, INSPECTION AND CODE ENFORCEMENT.

GPS MONUMENT NOTE:
THE 3/8 INCH IRON PIN FOUND USED FOR THE POINT OF BEGINNING HAS A COORDINATE OF NORTHING: 6,924,795.97, EASTING: 2,382,352.80, ELEVATION 832 FEET BEARS NORTH 43 DEGREES 07 MINUTES 52 SECONDS EAST 1106.46 FEET TO A CITY OF ARLINGTON MONUMENT LABELED '95-Z 96-33-2 WITH A COORDINATE OF NORTHING: 6,925,603.90, EASTING: 2,382,458, ELEVATION 604.50 FEET.

- NOTES:**
- VISIBILITY TRIANGLES SHALL BE PROVIDED AT ALL PUBLIC OR PRIVATE STREET INTERSECTIONS IN ACCORDANCE WITH CURRENT CITY ORDINANCES. ALL LANDSCAPING (NOTHING OVER 2 FEET IN HEIGHT AS MEASURED FROM THE TOP OF THE CURB) WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE ORDINANCE.
 - THIS PROPERTY MAY BE SUBJECT TO CHARGES RELATED TO IMPACT FEES AND THE APPLICANT SHOULD CONTACT THE CITY REGARDING ANY APPLICABLE FEES DUE.
 - THIS PLAT DOES NOT ATTEMPT TO ALTER OR REMOVE EXISTING DEED RESTRICTIONS OR COVENANTS, IF ANY, ON THIS PROPERTY.
 - THE PURPOSE OF THIS PLAT IS TO REPLAT 4 LOTS INTO 3 LOTS.
 - THE CITY OF ARLINGTON RESERVES THE RIGHT TO REQUIRE MINIMUM FINISH FLOOR ELEVATIONS ON ANY LOT CONTAINED WITHIN THIS ADDITION. ADDITIONAL LOTS, OTHER THAN THOSE SHOWN, MAY ALSO BE SUBJECT TO MINIMUM FINISH FLOOR CRITERIA.
 - ZONING FOR THIS AND ADJOINING PROPERTY IS SF 7.2.



OWNER'S ACKNOWLEDGEMENT AND DEDICATION
STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, MICHAEL SCHAUWECKER and JANICE SCHAUWECKER, are the sole owners Lot 3, Moorewood Addition as recorded in Volume 388-102, Page 21 Plat Records, Tarrant County, Texas (P.R., T.Co., Tx.) and conveyed in Document #D215252246, Deed Records, Tarrant County, Texas (D.R.T.Co., Tx.), Lot 5-A-1, Moorewood Addition as recorded in Cabinet A, Slide 3329 P.R., T.Co., Tx. and conveyed as Lot 5A in Volume 12161, Page 738, D.R.T.Co., Tx. and Lot 5-B and Lot 5-C Moorewood Addition as recorded in Cabinet A, Slide 1068, P.R., T.Co., Tx. and conveyed in Volume 10888, Page 2333 and Volume 11874, Page 636, D.R.T.Co., Tx. and situated in the I. Earls Survey, Abstract 468, City of Arlington, Tarrant County, Texas.

STATE OF TEXAS §
COUNTY OF TARRANT §

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS: THAT Michael Schauwecker and Janice Schauwecker, being the sole owners of the herein above described lot, tract or parcel of land, do hereby dedicate to the public's use forever the rights-of-way and easements shown hereon and adopt this plat designating the herein above described properties as LOTS 3R, 5-BR and 5-CR, Moorewood Addition, an Addition to the City of Arlington, Tarrant County, Texas, AND DO HEREBY CERTIFY THAT Michael Schauwecker and Janice Schauwecker, are the current owners, AND HAVE NO OBJECTION TO THIS REPLAT.

MICHAEL SCHAUWECKER, OWNER

Before me, the undersigned Notary Public, on this day personally appeared MICHAEL SCHAUWECKER, known to me or proved to me to be the person in the capacity herein stated whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations expressed hereon.

WITNESS MY HAND AND SEAL OF OFFICE on this ___ day of _____, 2016.

Notary Public, State of Texas Notary name (printed) My commission expires: _____

JANICE SCHAUWECKER, OWNER

Before me, the undersigned Notary Public, on this day personally appeared JANICE SCHAUWECKER known to me or proved to me to be the person in the capacity herein stated whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations expressed hereon.

WITNESS MY HAND AND SEAL OF OFFICE on this ___ day of _____, 2016.

Notary Public, State of Texas Notary name (printed) My commission expires: _____

"NATURAL CHANNEL MAINTENANCE STATEMENT"

THE CITY OF ARLINGTON IS NOT RESPONSIBLE FOR THE NATURE OR CONDITION, INCLUDING EROSION OF THE NATURAL CHANNEL AND ASSOCIATED DRAINAGE EASEMENTS, HEREIN REFERRED TO AS "DRAINAGE FEATURES". DEVELOPER WILL INDEMNIFY, DEFEND AND HOLD HARMLESS THE CITY OF ARLINGTON, ITS OFFICERS, EMPLOYEES, AND AGENTS FROM ANY DIRECT OR INDIRECT LOSS, DAMAGE, LIABILITY OR EXPENSE AND ATTORNEY'S FEES FOR ANY NEGLIGENCE ARISING OUT OF THE NATURE, CONDITION OR USE OF THE DRAINAGE FEATURES, INCLUDING ANY NON-PERFORMANCE OF THE FOREGOING. DEVELOPER WILL REQUIRE ANY SUCCESSOR IN INTEREST OF ALL OR PART OF THE PROPERTY, INCLUDING ANY PROPERTY OWNERS ASSOCIATION TO ACCEPT FULL RESPONSIBILITY AND LIABILITY FOR THE DRAINAGE FEATURES. ALL OF THE ABOVE SHALL BE COVENANTS RUNNING WITH THE LAND. DEVELOPER SHALL IMPOSE THESE COVENANTS UPON LOTS 3R, 5-BR AND 5-CR ABUTTING, ADJACENT OR SERVED BY THE DRAINAGE FEATURES. THE COVENANTS SHALL INCLUDE THE FULL OBLIGATION AND RESPONSIBILITY OF MAINTAINING AND OPERATING SAID DRAINAGE FEATURES, INCLUDING PERIODIC REMOVAL OF DEBRIS FROM THE DRAINAGE FEATURES AND DRAINAGE AREA. ACCESS TO THE DRAINAGE FEATURES IS GRANTED TO THE CITY FOR ANY PURPOSE RELATED TO THE EXERCISE OF GOVERNMENTAL SERVICES OR FUNCTIONS, INCLUDING BUT NOT LIMITED TO, FIRE AND POLICE PROTECTION, INSPECTION AND CODE ENFORCEMENT.

MICHAEL SCHAUWECKER, OWNER

Before me, the undersigned Notary Public, on this day personally appeared MICHAEL SCHAUWECKER, known to me or proved to me to be the person in the capacity herein stated whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations expressed hereon.

WITNESS MY HAND AND SEAL OF OFFICE on this ___ day of _____, 2016.

Notary Public, State of Texas Notary name (printed) My commission expires: _____

JANICE SCHAUWECKER, OWNER

Before me, the undersigned Notary Public, on this day personally appeared JANICE SCHAUWECKER known to me or proved to me to be the person in the capacity herein stated whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations expressed hereon.

WITNESS MY HAND AND SEAL OF OFFICE on this ___ day of _____, 2016.

Notary Public, State of Texas Notary name (printed) My commission expires: _____

Project No. 10474-Base

Sempco Surveying Inc.
3208 S. MAIN ST. FORT WORTH, TX 76110-4278
TEL: (817) 628-7878 FAX: (817) 628-7878
GPS SURVEYING & PLANNING CONSULTANTS
Website: SempcoSurveying.com Firm Registration Number: 12294500 Copyright 2016

SURVEYOR
Sempco Surveying
3208 S. Main Street
Fort Worth, TX 76110
Tel: 817-628-7878
Fax: 817-628-7878

OWNER/DEVELOPER
Michael & Janice Schauwecker
2951 Collard Road
Arlington TX 76017
Tel: 817-371-0196

CERTIFICATION:
This is to certify that L. George R. Hill, Registered Professional Land Surveyor of the State of Texas, have platted the described property from an actual survey on the ground by Sempco Surveying, Inc.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHOULD NOT VIEWED OR RELIED UPON AS A FINAL SURVEY

George R. Hill, R.P.L.S.
Texas Registration No. 6022



Approved by the City of Arlington Planning and Zoning Commission on _____ Date _____

Chairman - Planning and Zoning Commission

Secretary - Planning and Zoning Commission

**REPLAT OF
MOOREWOOD ADDITION
LOTS 3R, 5-BR & 5-CR**

BEING a replat of Lots 3, 5-A-1, 5-B and 5-C, MOOREWOOD ADDITION an addition to the City of Arlington, Tarrant County, Texas according to the Plats recorded in Volume 388-102, Page 21, Cabinet A, Slide 3329 and Cabinet A, Slide 1068 Plat Records, Tarrant County, Texas.

Staff Report



Replat (David Strickland Addition)

Planning and Zoning Meeting Date: 8-3-16

Document Being Considered: Plat

RECOMMENDATION

Consider a Replat on the consent agenda.

PRIOR BOARD OR COUNCIL ACTION

None

ANALYSIS

The subject property is zoned Residential Estate (RE) and is currently developed with an institutional use.

The applicant, Miller Surveying, Inc., proposes a replat for 2.596 acres of the David Strickland Survey, creating Lot 36BR1, Block 1 of the David Strickland Addition. This replat is being processed in order to dedicate public right-of-way (ROW) for a turnaround located on Treepoint Drive, a 70-foot undivided ROW.

Other than discretionary matters for the Commission, the application is administratively complete and meets the requirements of the subdivision regulations.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Property Location: Generally located south of Interstate 20 Highway West and East of Bowman Springs Road with the approximate address of 6804 Interstate 20 Highway West

Sector: Southwest

Council District: 2

Current Zoning: Residential Estate (RE)

ATTACHED

- i. Location Map
- ii. 11 x 17 Plat

STAFF CONTACT(S)

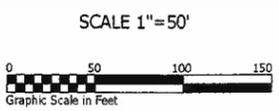
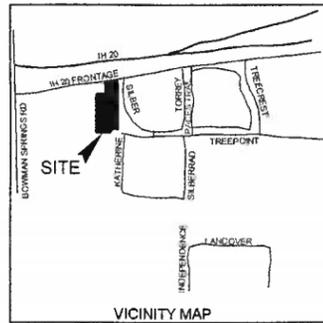
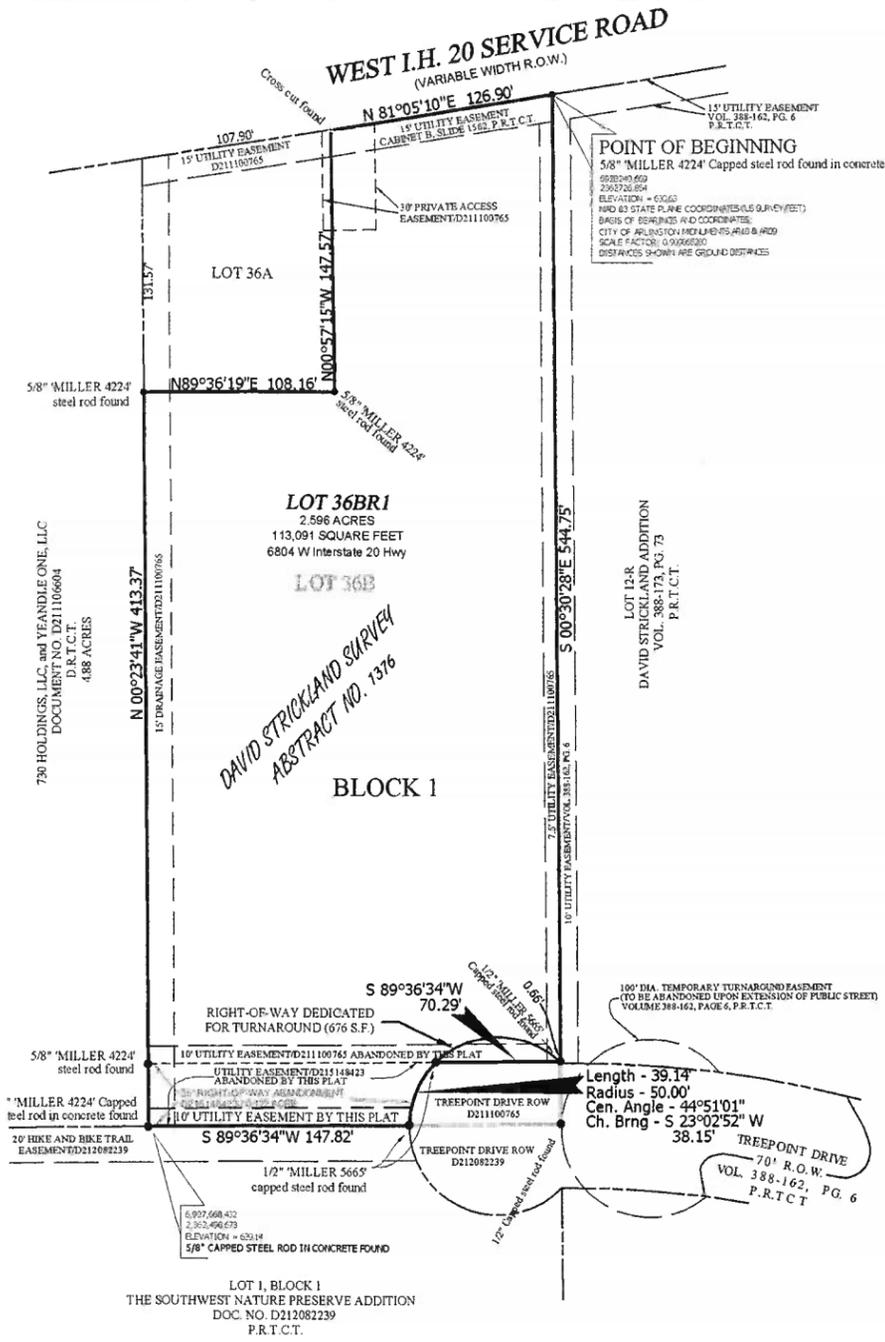
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Kevin Charles
Senior Planner, Land Development
Community Development and Planning
817-459-6515
Kevin.Charles@arlingtontx.gov



LOCATION MAP
DAVID STRICKLAND ADDITION
REPLAT





NOTES:

- 1) Visibility triangles shall be provided at all public or private street intersections in accordance with current City ordinance.
- 2) All landscaping (nothing over 2 feet in height as measured from the top of the curb) within the visibility triangles shall comply with the Visibility Ordinance.
- 3) This property may be subject to charges related to impact fees and the applicant should contact the City of Arlington regarding any applicable fees due.
- 4) Gravity sewer is not available for lot 36BR1.
- 5) Existing sewer service from lift station to clean out at the property line is located within the 10' utility easement on David Strickland Addition, Lot 12-R. Any new sewer demand from the lots will require sewer extension and additional offsite easement from existing main to be constructed at the owner's expense.
- 6) No buildings, fences, or other structures/improvements are allowed to be placed within an Erosion Clear Zone.
- 7) The City of Arlington reserves the right to require minimum finish floor elevations on any lot contained within this addition. The minimum elevations shown are based on the most current information available at the time the plat is filed and may be subject to change. Additional lots, other than those shown, may also be subject to minimum finish floor criteria.
- 8) This plat does not alter or remove deed restrictions or covenants, if any on this property.

THE CITY OF ARLINGTON IS NOT RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, OR USE OF THE PRIVATE ACCESS EASEMENTS AND ASSOCIATED IMPROVEMENTS, HEREIN REFERRED TO AS "IMPROVEMENTS," DEVELOPED AND CONSTRUCTED BY DEVELOPER OR HIS PREDECESSORS, OR TO BE DEVELOPED AND CONSTRUCTED BY DEVELOPER OR HIS SUCCESSORS, DEVELOPER WILL INDEMNIFY, DEFEND AND HOLD HARMLESS THE CITY OF ARLINGTON, ITS OFFICERS, EMPLOYEES, AND AGENTS FROM ANY DIRECT OR INDIRECT LOSS, DAMAGE, LIABILITY OR EXPENSE AND ATTORNEY'S FEES FOR ANY NEGLIGENCE ARISING OUT OF THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, CONDITION OR USE OF THE IMPROVEMENTS, INCLUDING ANY NON-PERFORMANCE OF THE FOREGOING. DEVELOPER WILL REQUIRE ANY SUCCESSOR IN INTEREST OF ALL OR PART OF THE PROPERTY, INCLUDING ANY PROPERTY OWNERS ASSOCIATION TO ACCEPT FULL RESPONSIBILITY AND LIABILITY FOR THE IMPROVEMENTS. ALL OF THE ABOVE SHALL BE COVENANTS RUNNING WITH THE LAND. DEVELOPER SHALL IMPOSE THESE COVENANTS UPON LOTS 36A & 36B ABUTTING, ADJACENT OR SERVED BY THE IMPROVEMENTS. THE COVENANTS SHALL INCLUDE THE FULL OBLIGATION AND RESPONSIBILITY OF MAINTAINING AND OPERATING SAID IMPROVEMENTS. ACCESS TO THE IMPROVEMENTS IS GRANTED TO THE CITY FOR ANY PURPOSE RELATED TO THE EXERCISE OF GOVERNMENTAL SERVICES OR FUNCTIONS, INCLUDING BUT NOT LIMITED TO, FIRE AND POLICE PROTECTION, INSPECTION AND CODE ENFORCEMENT.

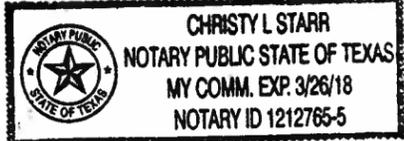
Charles Pickrell
 CHARLES PICKRELL, PRESIDENT

THE CITY OF ARLINGTON IS NOT RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, OR USE OF THE VEGETATED SWALES IN THE DRAINAGE EASEMENTS, HEREIN REFERRED TO AS "IMPROVEMENTS," TO BE DEVELOPED AND CONSTRUCTED BY DEVELOPER OR HIS SUCCESSORS. DEVELOPER WILL INDEMNIFY, DEFEND AND HOLD HARMLESS THE CITY OF ARLINGTON, ITS OFFICERS, EMPLOYEES, AND AGENTS FROM ANY DIRECT OR INDIRECT LOSS, DAMAGE, LIABILITY OR EXPENSE AND ATTORNEY'S FEES FOR ANY NEGLIGENCE ARISING OUT OF THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, CONDITION OR USE OF THE IMPROVEMENTS, INCLUDING ANY NON-PERFORMANCE OF THE FOREGOING. DEVELOPER WILL REQUIRE ANY SUCCESSOR IN INTEREST OF ALL OR PART OF THE PROPERTY, INCLUDING ANY PROPERTY OWNERS ASSOCIATION TO ACCEPT FULL RESPONSIBILITY AND LIABILITY FOR THE IMPROVEMENTS. ALL OF THE ABOVE SHALL BE COVENANTS RUNNING WITH THE LAND. DEVELOPER SHALL IMPOSE THESE COVENANTS UPON LOTS 36A & 36B ABUTTING, ADJACENT OR SERVED BY THE IMPROVEMENTS. THE COVENANTS SHALL INCLUDE THE FULL OBLIGATION AND RESPONSIBILITY OF MAINTAINING AND OPERATING SAID IMPROVEMENTS. ACCESS TO THE IMPROVEMENTS IS GRANTED TO THE CITY FOR ANY PURPOSE RELATED TO THE EXERCISE OF GOVERNMENTAL SERVICES OR FUNCTIONS, INCLUDING BUT NOT LIMITED TO, FIRE AND POLICE PROTECTION, INSPECTION AND CODE ENFORCEMENT.

THE CITY OF ARLINGTON WILL NOT BE RESPONSIBLE FOR, OR MAINTAIN ANY NON-DRAINAGE RELATED IMPROVEMENTS WITHIN THE DRAINAGE EASEMENT, INCLUDING BUT NOT LIMITED TO PAVING AND FENCES. DEVELOPER, OR HIS SUCCESSOR, WILL JOINTLY AND SEVERALLY OPERATE AND MAINTAIN THE IMPROVEMENTS. THIS RESPONSIBILITY WILL INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:

- a. FREQUENT MOWING IN ACCORDANCE WITH THE FIRE PREVENTION AND NUISANCE CHAPTERS OF THE CITY CODE, AS AMENDED, AND ROUTINE MAINTENANCE OF THE IMPROVEMENTS AND DRAINAGE EASEMENTS.
- b. PERIODIC REMOVAL OF DEBRIS FROM THE IMPROVEMENTS AND DRAINAGE AREAS.
- c. THE IMPROVEMENTS AND DRAINAGE AREA CROSS SECTIONS WILL BE MAINTAINED TO THE APPROVED DESIGNED SLOPE, GRADE, CONTOUR, AND VOLUME, INCLUDING ANY CONCRETE STRUCTURES.
- d. AREAS OF EROSION WILL BE REPAIRED. SOIL MATERIALS USED IN REPAIRS WILL BE OF CONSISTENT AND COMPATIBLE CHARACTERISTICS WITH THE SURROUNDING MATERIALS AND SHALL BE COMPACTED TO A DENSITY EQUALING THAT OF THE UNDISTURBED SURROUNDING MATERIAL.
- e. NO ADDITIONAL IMPROVEMENTS WILL BE ALLOWED WITHIN DRAINAGE EASEMENTS WITHOUT THE ADVANCE WRITTEN PERMISSION OF THE DIRECTOR OF PUBLIC WORKS OF THE CITY OF ARLINGTON.
- f. UPON REQUEST FROM THE CITY, PROVIDING ANNUALLY, ON OR BEFORE JANUARY 31 OF EACH YEAR TO THE DIRECTOR OF PUBLIC WORKS OF THE CITY OF ARLINGTON, A WRITTEN REPORT SPECIFICALLY DESCRIBING THE OPERATION AND MAINTENANCE OF THE IMPROVEMENTS FOR THE PRECEDING YEAR INCLUDING PROCEDURES USED, THE NAMES OF PERSONS RESPONSIBLE FOR EACH PROCEDURE AND THE DATE OF EACH PROCEDURE, RESPECTIVELY.
- g. DEVELOPER, OR HIS SUCCESSOR, WILL CORRECT THE CONDITION OF THE IMPROVEMENTS OR ANY MAINTENANCE DEFICIENCIES REGARDING THE IMPROVEMENTS THAT THE CITY REASONABLY BELIEVES NECESSARY FOR THE PROTECTION OF THE PUBLIC HEALTH AND SAFETY WITHIN THIRTY (30) DAYS FROM DATE OF WRITTEN NOTICE FROM THE CITY.

Charles Pickrell
 CHARLES PICKRELL, PRESIDENT



STATE OF TEXAS
 COUNTY OF TARRANT

Whereas, Kennedale, Arlington TX (USA) Congregation of Jehovah's Witnesses, Inc., acting by and through the undersigned, its duly authorized agent, is sole owner of a 2.596 acre tract of land situated in the David Strickland Survey, Abstract No. 1376, City of Arlington, Tarrant County, Texas, being a portion of the property described in Document No. D2152130551 and being all of Lot 36B of the David Strickland Survey, an addition to the City of Arlington, Tarrant County, Texas, as shown on the plat recorded in Document No. D211100765, Plat Records, Tarrant County, Texas, and being all of a 0.122 acre tract of land described by abandonment of street right-of-way as recorded in Document No. D215148423, Deed Records, Tarrant County, Texas, and being more particularly described as follows:

Beginning at a 5/8" steel rod with 'MILLER 4224' cap found in concrete for the northeast corner of said Lot 36B and being in the southerly right-of-way line of Interstate Highway 20;

Thence South 00 degrees 30 minutes 28 seconds East with the westerly boundary line of said Lot 36B a distance of 544.75 feet to a 1/2" steel rod with 'MILLER 5665' cap found at the southeast corner of said Lot 36B and being in the northerly right-of-way line of Trepoint Drive;

Thence South 89 degrees 36 minutes 34 seconds West with the southerly boundary line of said Lot 36B and said northerly right-of-way line a distance of 70.29 feet to a 1/2" steel rod with 'MILLER 5665' cap found for the northeast corner of said 0.122 acre tract and being at the beginning of a non-tangent curve to the left having a radius of 50.00 feet and a chord which bears South 23 degrees 02 minutes 52 seconds West at 38.15;

Thence with the arc of said curve to the left, the easterly boundary line of said 0.122 acre tract and said right-of-way line through a central angle of 44 degrees 51 minutes 01 seconds a distance of 39.14 feet to a 1/2" steel rod with a 'MILLER 5665' cap found for the southeast corner of said 0.122 acre tract;

Thence South 89 degrees 36 minutes 34 seconds West with the southerly boundary line of 0.122 acre tract a distance of 147.82 feet to a 5/8" steel rod with 'MILLER 4224' cap found in concrete at the southwest corner of said 0.122 acre tract;

Thence North 00 degrees 23 minutes 41 seconds West with the westerly boundary line of said 0.122 acre tract, at 35.00 feet passing a 5/8" steel rod with 'MILLER 4224' cap found for the northwest corner of said 0.122 acre tract and being the southwest corner of said Lot 36B, continuing with the westerly boundary line of said Lot 36B for a total distance of 413.37 feet to a 5/8" steel rod with 'MILLER 4224' cap found at the most westerly northwest corner of said Lot 36B;

Thence North 89 degrees 36 minutes 19 seconds East with the westerly boundary line of said Lot 36B a distance of 108.16 feet to a 5/8" steel rod with 'MILLER 4224' cap found for an interior corner of said Lot 36B;

Thence North 00 degrees 57 minutes 15 seconds West with the westerly boundary line of said Lot 36B a distance of 147.57 feet to a cross cut found for the most northerly northwest corner of said Lot 36B and being in said southerly right-of-way line of Interstate Highway 20;

Thence North 81 degrees 05 minutes 10 seconds East with the northerly boundary line of said Lot 36B and said southerly right-of-way line of Interstate Highway 20 a distance of 126.90 feet to the point of beginning and containing 2.596 acres or 113091 square feet of land.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That Kennedale, Arlington TX (USA) Congregation of Jehovah's Witnesses, Inc., acting by and through the undersigned, its duly authorized agent, does hereby adopt this plat designating the hereinabove described real property as LOT 36BR1 of the DAVID STRICKLAND SURVEY, an addition to the City of Arlington, Tarrant County, Texas, and does hereby dedicate to the public's use the streets and easements shown thereon, except the private easements shown thereon.

I hereby certify that no deed restrictions exist upon the property included within this plat that is in a platted subdivision at the present time wherein a lot thereof is limited by deed restrictions authorizing residential use but restricting same to not more than two residential units per lot. I further certify that this property does not alter or remove existing deed restrictions or covenants, if any, on this property.

Witness my hand this 15 day of June, 2016.

Kennedale Arlington TX Congregation of Jehovah's Witnesses Inc:
Charles Pickrell
 Charles Pickrell, President

STATE OF TEXAS
 COUNTY OF TARRANT

Before me, the undersigned authority, on this day personally appeared Charles Pickrell of the Kennedale, Arlington TX (USA) Congregation of Jehovah's Witnesses, Inc., known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated, and as the act and deed of said partnership.

Given under my hand and seal of office on the 15 day of June, 2016.

Christy L Starr
 Notary Public in and for the State of Texas
 My commission expires: March 26, 2018

REPLAT
LOT 36BR1, BLOCK 1
DAVID STRICKLAND SURVEY
 AN ADDITION TO THE CITY OF ARLINGTON, TARRANT COUNTY, TEXAS
 A REVISION OF LOT 36B OF THE DAVID STRICKLAND SURVEY,
 AN ADDITION TO THE CITY OF ARLINGTON, TARRANT COUNTY, TEXAS
 PREVIOUSLY RECORDED IN DOCUMENT NO. D211100765
 PLAT RECORDS, TARRANT COUNTY, TEXAS
 BEING 2.596 ACRES OF LAND SITUATED IN THE DAVID STRICKLAND SURVEY,
 ABSTRACT No. 1376, TARRANT COUNTY, TEXAS
 1 LOT
 MARCH 2016

OWNER/DEVELOPER:
 KENNEDEALE, ARLINGTON TX (USA) CONGREGATION OF JEHOVAH'S WITNESSES, INC.
 6163 DICK PRICE RD
 FORT WORTH, TX 76140-7847
 DOC. NO. D2152130551
 CONTACT: TEX CHATWELL
 CELL: 817-229-3504
 FAX: 817-563-4851

Pursuant to Section 12.002 of the Texas Property Code, as amended, I have obtained original tax certificates from each taxing unit with jurisdiction over each parcel of real property in said subdivision indicating that no delinquent ad valorem taxes are owed on the real property which is the subject of the replat I have submitted to the City of Arlington, Tarrant County, Texas for filing and recording with the Tarrant County Clerk's office.

Charles Pickrell
 Charles Pickrell, President

Approved:
 City of Arlington Planning and Zoning Commission
 _____ (date) 2016.

 Chair, Planning and Zoning Commission

 Secretary, Planning and Zoning Commission

This is to certify that I, Jason Rawlings, a Registered Professional Land Surveyor of the State of Texas, have platted the above subdivision from an actual survey on the ground, on October 11, 2011 and that this plat correctly represents that survey made by me or under my direction and supervision.

Jason B. Rawlings
 Jason B. Rawlings, R.P.L.S. No. 5665 Date 6-3-16



Staff Report



Zoning Case PD16-3 (RaceTrac)

Planning and Zoning Meeting Date: 8-3-16

Document Being Considered: Ordinance

RECOMMENDATION

Following the public hearing, consider Zoning Case PD16-3.

PRIOR BOARD OR COUNCIL ACTION

On September 16, 2015, the Planning and Zoning Commission recommended approval of Zoning Case ZA15-4 by a vote of 8-0-0.

On October 13, 2015, the City Council voted to deny Zoning Case ZA15-4 due to some prospective uses that would be allowed in Community Commercial zoning at the southern gateway to Arlington by a vote of 4-3-0.

On July 13, 2016, the Planning and Zoning Commission continued Zoning Case PD16-3 until August 3, 2016.

ANALYSIS

Request

The applicant requests to change the zoning on approximately 4.166 acres addressed at 1211 West Harris Road, and generally located north of West Harris Road and east of South Cooper Street. The change in zoning would reduce the amount of industrial zoning in the area. Given the location along a six-lane divided major arterial, it is unlikely that a single family residential use would be developed.

Current zoning: Residential Estate (RE) and Light Industrial (LI)

Requested zoning: Planned Development (PD) for limited Community Commercial (CC) uses plus a Package Liquor Store

The subject site is undeveloped, unplatted, and has split zoning with RE on the western section and LI on the eastern portion. The applicant is requesting a zoning change for the construction of a convenience store with a fuel station on the western section of the lot and future commercial development on the eastern section.

Adjacent Land Uses

The adjacent properties to the north and east are all undeveloped and zoned RE. The properties to the north and east are zoned RE. The property to the west, across South Cooper Street, is also undeveloped and zoned General Commercial (GC). The properties to the south, across West Harris Road, are zoned GC and LI and are developed with a Goodwill Industries donation and resource center, and an auto repair business.

Development Plan

The applicant is proposing to divide the subject site into two lots, a 1.841-acre eastern lot and a 2.325-acre western lot. The western lot is proposed to be developed with a RaceTrac convenience store with gasoline sales. The eastern lot will remain undeveloped. The architectural standards established for the western lot will be applicable to the future development(s) on the eastern lot.

The proposed RaceTrac development will consist of an approximate 5,500-square-foot building and 16-pump gasoline service area. The building's exterior materials will be comprised of brick with a stone base, stone columns at the entrance as well as metal and wood accent features on the columns and roof. The color composition of the materials will be earthtones primarily featuring browns and sand colors. Each entry into the building will

have a metal awning or canopy. The street-facing elevations will have at least 27% glazing in addition to the brick and stone creating an open atmosphere to the structure. The windows facing South Cooper Street will also feature awnings providing a contrast to the earthtone elements.

The proposed convenience store will also have an outdoor patio area on the West Harris Road side with seating for several patrons. The patio will be completely covered. There will also be a walkway that surrounds the store which will be at least five feet wide but expand to ten feet in some areas. Bollards will be strategically placed where parking is adjacent to the building for the protection of the patrons. Accent light poles will be incorporated around the stores walkway to enhance the aesthetic quality and provide appropriate visibility in the evening hours.

The applicant is proposing to have the required street trees along South Cooper Street and West Harris Road as well as supply additional trees along the boundary of the eastern lot. The applicant also proposes to provide the required plantings along the street to screen the parking, the parking lot landscaped islands, the screening of the dumpster enclosure, and along the northern boundary in the buffer area adjacent to the residentially-zoned property. The dumpster enclosure will also be turned at an angle so that the dumpster doors are not directly facing the street. The applicant will be providing recycling bins within the store and in the dumpster enclosure. In addition to the required plantings, the applicant also proposes to plant milkweed plants on the site as a nature preserve area for butterfly breeding.

For traffic purposes, the applicant proposes to construct a right turn lane from South Cooper Street onto the site so that northbound traffic is not adversely impacted by patrons turning into the site. There are ground signs with digital pricing displays proposed for the site on South Cooper Street and West Harris Road. There will be a four-foot wide sidewalk along West Harris Road and a portion of the existing four-foot wide sidewalk along South Cooper Street which will continue to remain. Because a deceleration lane will be built on the South Cooper Street side, the existing sidewalk will be removed from and replaced in the right-of-way just east of the deceleration lane.

The proposed eastern lot of the PD is being re-zoned from LI. Currently, in LI zoning district, uses such as pawn shop, alternative financial institution, and second-hand goods uses are allowed; however, through this PD request all of these uses will be excluded, except for a Package Liquor Store use, which will be retained. This ensures that the future development of this key node entering Arlington from the south will be developed with retail uses that will serve the nearby residential uses appropriately. The applicant has stated that the existing RaceTrac store on South Cooper will be demolished once this store has been constructed and redeveloped with a restaurant.

Sector Plan Conformity

The 2015 Comprehensive Plan, *99 Square Miles*, contains goals for residential neighborhoods to have commercial development which provides convenient neighborhood services to those who live there. A PD for limited CC uses is a lower intensity zoning that allows these types of neighborhood convenience uses without the potential for more intense future uses.

The proposed zoning change is consistent with the strategies and goals in the Comprehensive Plan and is in general conformance with it and other relevant plans.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:

- i. Case Information
- ii. Itemized Allowable Uses
- iii. Location Map
- iv. Photos
- v. Development Plan (4 pages)

Under separate cover:

None

Available in the City Secretary's office:

None

CITY COUNCIL DATE

August 23, 2016

STAFF CONTACTS

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Nathaniel Barnett, AICP
Senior Planner
Community Development and Planning
817-459-6670

Nathaniel.Barnett@arlingtontx.gov

Case Information



Applicant: Winstead, P.C. represented by Tommy Mann and Laura Hoffmann

Property Owner: Carroll Family Investments, Ltd.

Sector Plan: Southeast

Council District: 2

Allowable Uses: All uses as itemized in attachment ii.

Development History: The subject site is currently unplatted and commonly known as Tract 5E of the Temple O Harris Survey, A-645.

Previous zoning cases in the general vicinity in the past five years include:

Case No.	Location	Request	Disposition
ZA15-4	1211 W Harris Rd.	Residential Estate (RE) and Light Industrial (LI) to Community Commercial (CC)	Denied
PD13-13	7108 S Cooper	PD for LI uses	Approved

Transportation: The proposed development has two points of access. One point of access from South Cooper Street and one point from West Harris Road.

Thoroughfare	Existing	Proposed
S Cooper Street	115-foot, 6-lane divided major arterial	115-foot, 6-lane divided major arterial
W Harris Road	60 – 95-foot, 2-lane, rural road with auxiliary lanes	70 – 80-foot, 4-lane undivided, major collector

Traffic Impact: The proposed PD zoning will generate an increase of 2,489 vehicles per day, an increase of 160 vehicles in the AM Peak Hour and an increase of 205 vehicles in the PM Peak Hour. Improvements to handle the increased traffic to the adjacent street system will be reviewed with development.

Water & Sewer: Water is available from a 12-inch water line in South Cooper Street and a 12-inch water line in West Harris Road. Sanitary

Case Information



Sewer is available from an 8-inch sanitary sewer line in South Cooper Street.

Drainage:

The site is located within the Rush Creek drainage basin. No portion of the site is located in a floodplain. No significant drainage impacts are expected to result from development of this site as long as the site complies with relevant city ordinances.

Fire:

Fire Station Number 15, located at 906 Eden Road, provides protection to this site. The estimated fire response time is less than five minutes, which is in keeping with recommended standards.

School District:

Mansfield Independent School District.

The proposed zoning request is located in the Mansfield Independent School District and has no impact on the schools serving this site.

Notices Sent:

Neighborhood
Associations:

ACTION North
Arlington Alliance for Responsible Government
Arlington Chamber of Commerce
East Arlington Review
Fannin Farm Home Owners Association
Fannin Farms West Association, Incorporated
Far South Arlington Neighborhood Association
Forest Hills Home Owners Association
Northern Arlington Ambience
West Citizen Action Network (WeCan)
Mansfield Independent School District

Property Owners:

8

Letters of Support:

0

Letter of Opposition:

0

Itemized Allowable Uses



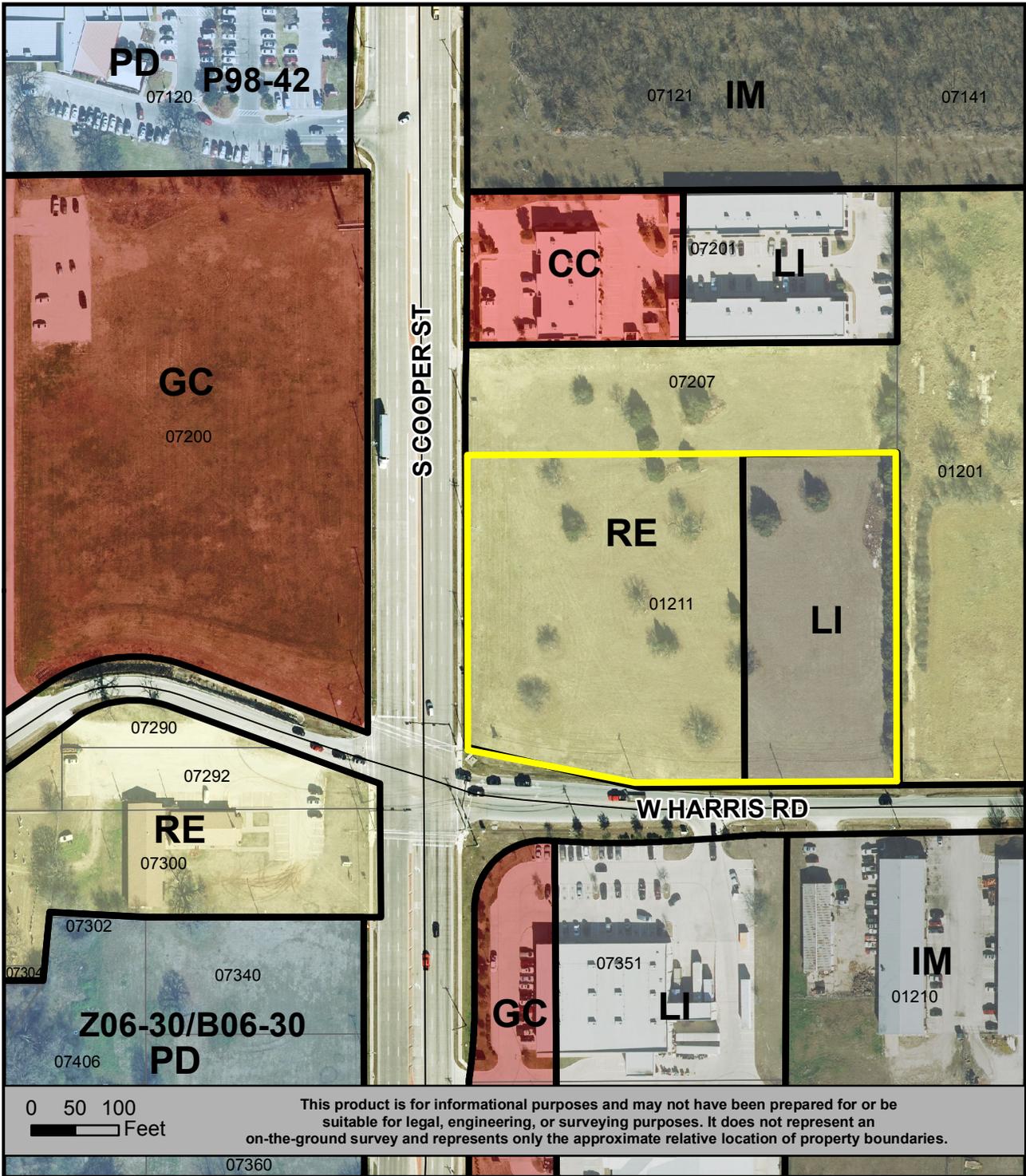
Allowable Uses: PLANNED DEVELOPMENT (PD) FOR LIMITED COMMUNITY COMMERCIAL (CC) USES PLUS A PACKAGE LIQUOR STORE

Permitted – Nursing home, Art gallery or museum, Government administration and civic buildings, Domestic violence shelter, Mortuary/crematory/funeral chapel, Philanthropic institution (other than listed), Religious assembly, Business school, Public or private school, University/college/seminary, Hospital, Medical or dental office or clinic, Cemetery, Community garden, Public park or playground, Crop production, Gasoline sales, Catering service, Restaurant, Restaurant/take-out and delivery only, Office/business or professional, Telemarketing call center, Day care center, Private club/lodge/fraternal, General personal services (other than listed), Massage therapy clinic, Recreation/ indoor (other than listed), Wedding chapel, Major tourist attraction, General retail store (other than listed), Firearm sales, Swimming pool/spa and accessory sales and service, Medical or scientific research laboratory, Electric utility substation, Radio or TV station or studio, Package liquor store, Self-storage facility

Specific Use Permit (SUP) – Halfway House, Hospital/psychiatric, Hotel/limited service, Residence hotel, Bail bond service, Billiard parlor, Bowling alley, Bingo parlor, Recreation general outdoor (other than listed), Transit passenger terminal

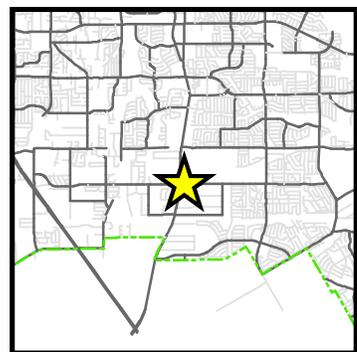
Conditions (C) – Kennel/commercial, Veterinary clinic, Motor vehicle rental, Bank or Financial institution, Restaurant with drive-through, Sidewalk café, Hotel/full service, Skating rink, Teen club, Theatre indoor, Building and landscaping materials and lumber sales, Nursery/garden shop or plant sales, Food processing, Custom and craft work, Telecommunication Facilities Building-mounted antennae and towers, Telecommunication Facilities Towers ≤75 ft., Stealth towers ≤100 ft., Wholesale supply business

Excluded Uses: Alternative Financial Institution, Banquet hall, Country club, Gas well, Golf course, Indoor gun range, Marina, Nightclub, Pawn shop, Second-hand goods store, Specialty paraphernalia sales, Tattoo parlor or piercing studio, Telecommunication facility towers >75 feet and stealth towers > 100 feet, Transit passenger terminal, Utility installation other listed, Utility lines, towers or metering station, Wrecker service



LOCATION MAP
PD16-3

LI AND RE TO PD FOR LIMITED CC PLUS A PACKAGE LIQUOR STORE WITH A DEVELOPMENT PLAN 4.166 ACRES



PD16-3

RE/LI to PD for limited CC plus Package Liquor Store
North of West Harris Road and east of South Cooper Street



View of subject site. View looking north.



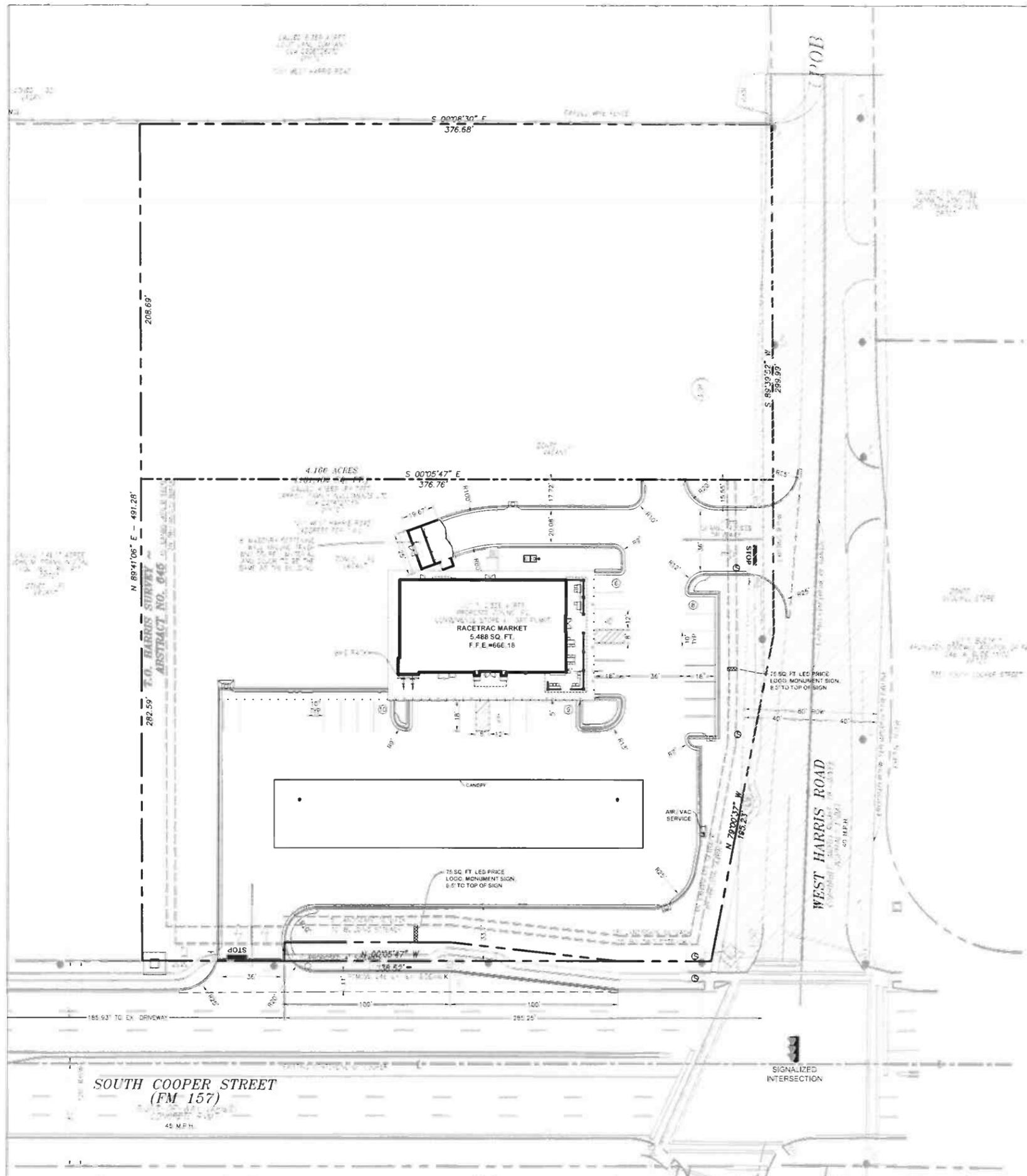
View of adjacent commercial use located south of the subject site.



View of adjacent property north of the subject site.



View of from the subject site looking west



SITE LEGEND (PROPOSED):

- PROPERTY LINE
- PROPOSED PARKING STALLS
- BUILDING CORNER
- NEW FIRE LANE (PER LOCAL CODES)
- FIRE TRUCK PATH
- ELECTRIC TRANSFORMER PAD (PER LOCAL CODES)
- SIGNAGE
- PAINTED SOLID TRAFFIC FLOW ARROWS
- NEW CURB AND GUTTER
- STOP BAR
- CONCRETE BASKING ON CURB - SEE PARKING PLAN
- FUTURE R.O.W. LINES PER CITY REQUIREMENTS

VICINITY MAP

SITE NOTES AND DETAILS:

NOTE NUMBER	DESCRIPTION	COORDINATING DETAIL NUMBER (SEE DETAIL SHEETS)
1	1" NEW CURB TO MATCH EXISTING CURB	1-1
2	TRANSITION TRUCK PARKING TO 10' WIDE 1" CONCRETE NEW CONCRETE CURB AND GUTTER - SEE PARKING PLAN FOR DETAILS	1-2
3	NEW CURB TO MATCH EXISTING CURB	1-3
4	NEW CURB TO MATCH EXISTING CURB	1-4
5	NEW CURB TO MATCH EXISTING CURB	1-5
6	NEW CURB TO MATCH EXISTING CURB	1-6
7	NEW CURB TO MATCH EXISTING CURB	1-7
8	NEW CURB TO MATCH EXISTING CURB	1-8
9	NEW CURB TO MATCH EXISTING CURB	1-9
10	NEW CURB TO MATCH EXISTING CURB	1-10
11	NEW CURB TO MATCH EXISTING CURB	1-11
12	NEW CURB TO MATCH EXISTING CURB	1-12
13	NEW CURB TO MATCH EXISTING CURB	1-13
14	NEW CURB TO MATCH EXISTING CURB	1-14
15	NEW CURB TO MATCH EXISTING CURB	1-15
16	NEW CURB TO MATCH EXISTING CURB	1-16
17	NEW CURB TO MATCH EXISTING CURB	1-17
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36	NEW CURB TO MATCH EXISTING CURB	1-36
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50	NEW CURB TO MATCH EXISTING CURB	1-50

SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS. ANY DIFFERENCES SHALL BE REPORTED TO CIVIL ENGINEER PRIOR TO BUILDING LAYOUT.

SITE DATA TABLE - LOT 1

LOT AREA	4.100 ACRES
REAR LOT DIMENSION	4.20'
REAR LOT AREA	44,000 SQ. FT.
FRONT LOT AREA	46,000 SQ. FT.
TOTAL LOT AREA	90,000 SQ. FT.
PAVING REQUIRED	1,000 SQ. YD. CONTRACTOR TO PROVIDE
PAVING PROVIDED	14 STALLS

SITE GENERAL NOTES:

- CONTRACTOR SHALL USE THE PART OF CURB LATEST CONTRACT DOCUMENTS.
- SEE LOCAL CODES FOR ALL CITY REQUIREMENTS.
- CONTRACTOR SHALL VERIFY ALL CITY REQUIREMENTS AND REPORT TO CIVIL ENGINEER PRIOR TO BUILDING LAYOUT.
- CONTRACTOR SHALL VERIFY ALL CITY REQUIREMENTS AND REPORT TO CIVIL ENGINEER PRIOR TO BUILDING LAYOUT.
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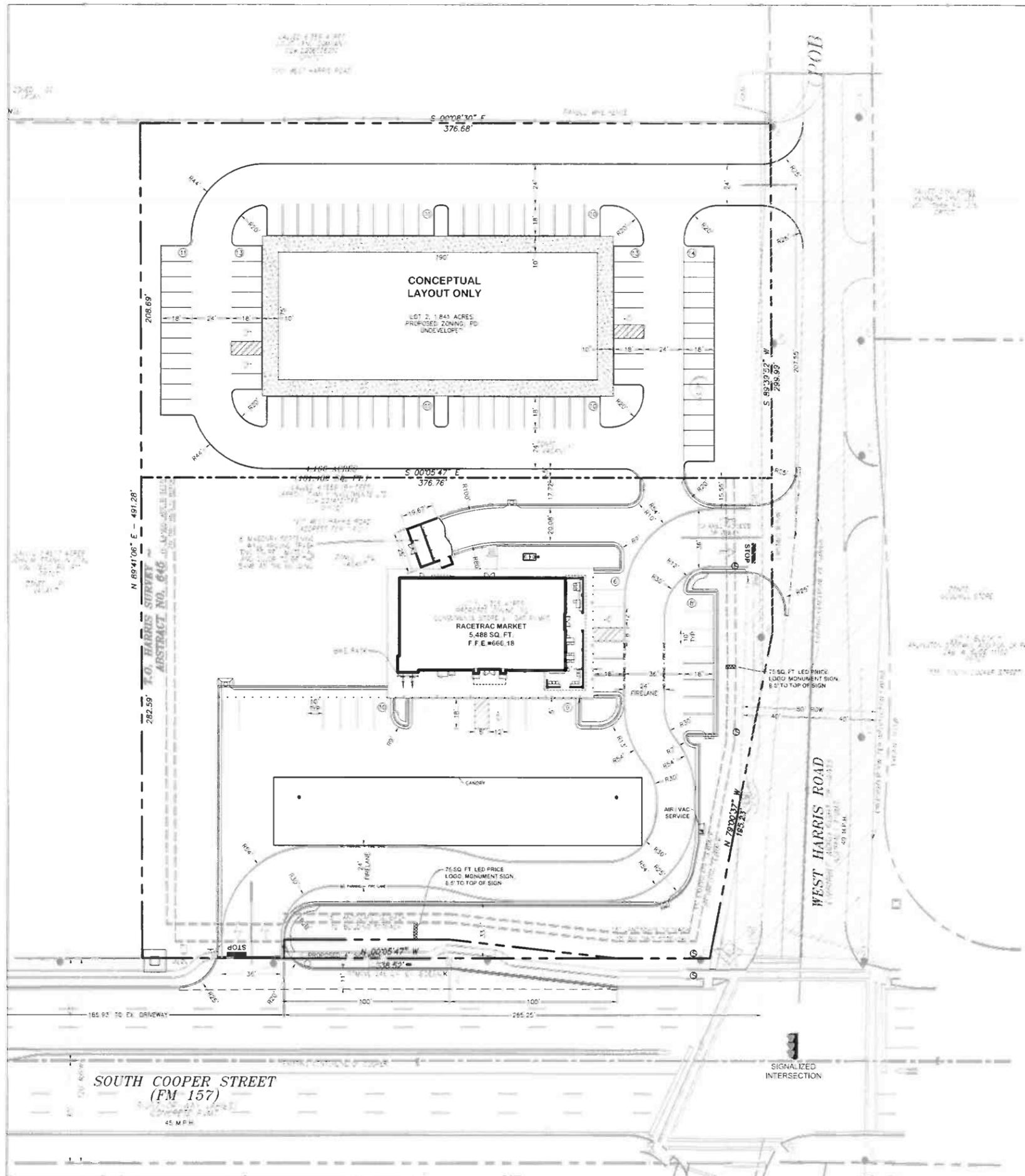
RaceTrac
RACETRAC PETROLEUM, INC.
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SUITE 100 ATLANTA, GA 30339
(770) 431-7600

CITY SITE PLAN
RACETRAC MARKET
Cooper St. and W. Harris Rd.
Arlington, Texas

DATE Dec 10, 2015
SCALE 1"=30'
DRAWN BY MCL
DRAWING NAME

C-1.1
SHEET NO. VERSION

NO. DATE



SITE LEGEND (PROPOSED):

- 16 PROPERTY LINE
- PROPOSED PARKING STALLS
- BUILDING CORNER
- NEW FIRE LANE (PER LOCAL CODES)
- FIRE TRUCK PATH
- ELECTRIC TRANSFORMER PAD (PER LOCAL CODES)
- SIGNAGE
- PAINTED SOLID TRAFFIC FLOW ARROWS
- NEW CURB AND GUTTER
- STOP BAR
- CONCRETE BACKING ON CURB - SEE PARKING PLAN
- FUTURE R.O.W. LINES PER CITY REQUIREMENTS

SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS. ANY DIFFERENCES SHALL BE REPORTED TO CIVIL ENGINEER PRIOR TO BUILDING LAYOUT.

SITE NOTES AND DETAILS:

NOTE NUMBER	DESCRIPTION	COORDINATING DETAIL NUMBER (SEE DETAIL SHEETS)
1	SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS...	N/A
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100	SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS...	N/A

SITE DATA TABLE - LOT 1

NET AREA	21,074 SQ. FT.
NET AREA - CONCRETE	4,420 SQ. FT.
NET AREA - ASPHALT	42,950 SQ. FT.
NET AREA - DRIVEWAY	1,500 SQ. FT.
NET AREA - TOTAL	48,890 SQ. FT.
PARKING SPACES	100 SPACES

- SITE GENERAL NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ARLINGTON AND THE TEXAS DEPARTMENT OF TRANSPORTATION.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ARLINGTON AND THE TEXAS DEPARTMENT OF TRANSPORTATION.
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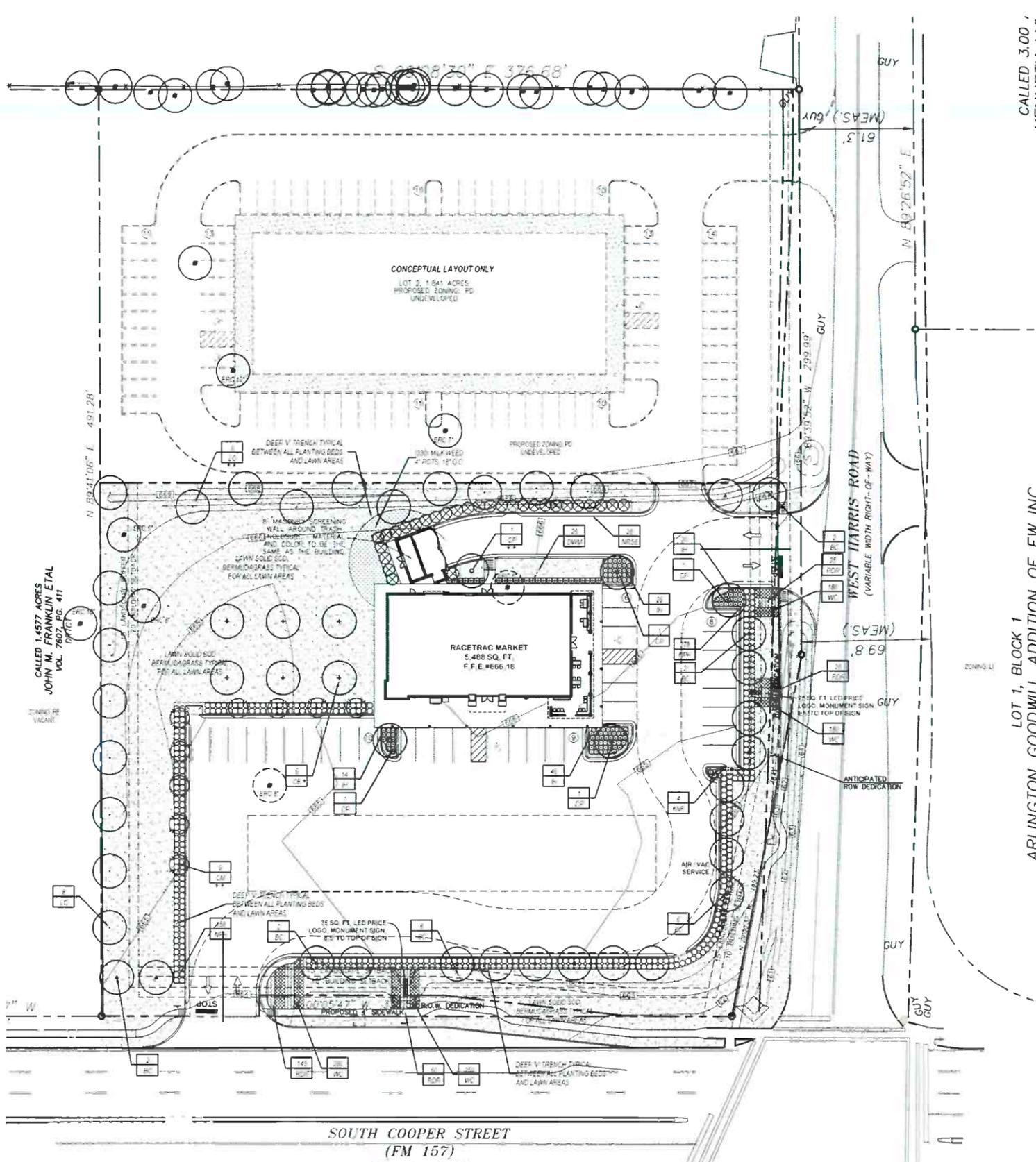
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SITE PLAN W/ FUTURE RACETRAC MARKET
Cooper St. and W. Harris Rd.
Arlington, Texas

DATE: Dec 10, 2015
SCALE: 1"=30'
DRAWN BY: MCL
DRAWING NAME:
C-1.2
SHEET NO. VERSION

NO. DATE



GENERAL LAWN NOTES

1. Fine grade areas to achieve final contours indicated on site plans.
2. As-built contours to achieve positive drainage away from buildings. Provide uniform founding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
3. All lawn areas to receive 2000 psi shall be left in a minimum of 1" loose fill over grade. Contractor to coordinate operations with on-site Construction Manager.
4. Imported topsoil shall be natural, friable soil from the region known as bottom and soil free from lumps, clay, hard substances, rocks, debris, vegetation, stones, containing no salt and toxic to downy mildew.
5. All lawn areas to be fine graded, imported topsoil compacted, and final grade approved by the Owner's Construction Manager or Architect prior to installation.
6. All rock 3/4" diameter and larger on color, stock, 100% clean and shall be removed prior to placing topsoil and any other installation.
7. Contractor shall provide 11" thick curb of imported topsoil at all areas to be developed.

LANDSCAPE NOTES

1. Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was submitted by other.
2. Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
3. Contractor is responsible for obtaining all required landscape and irrigation permits.
4. Contractor to provide a minimum 2% slope away from all structures.
5. All existing beds and lawn areas to be separated by 1" TRENCH. No steel to be installed adjacent to pavement or curbs.
6. All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
7. All lawn areas to be Soil Sols Bismuthogel, unless otherwise noted on the drawings.

MAINTENANCE NOTES

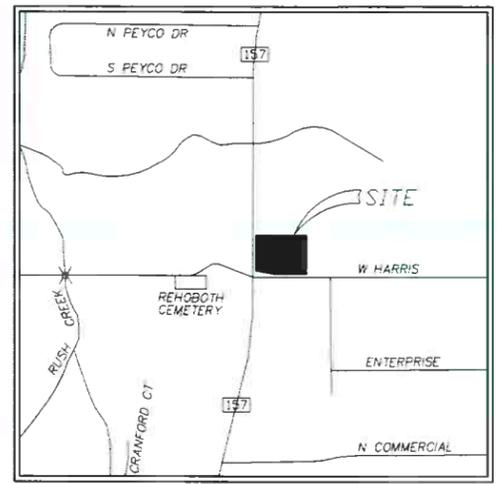
1. The Owner, tenant and their agents if any shall be jointly and severally responsible for the maintenance of all landscape.
2. All landscape shall be maintained in annual and ordinary manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
3. All landscape areas shall be kept free of leaf litter, weeds and other such materials or debris not part of the plan.
4. All plant materials shall be maintained in a healthy and growing condition at all appropriate for the season of the year.
5. All plant materials which are plants to be replaced with plant material of equal or better value.
6. Contractor shall provide separate bid schedule for one year's maintenance to begin after final acceptance.

SOLID SOD NOTES

1. Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 1" below final surface grade in planting areas and 1" above final grade in turf areas.
2. As-built contours to achieve positive drainage away from buildings. Provide uniform founding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
3. All lawn areas to receive 2000 psi shall be left in a minimum of 1" loose fill over grade. Contractor to coordinate operations with on-site Construction Manager.
4. Contractor to coordinate with on-site Construction Manager for availability of existing jobsite.
5. Planting to be done in accordance with landscape plan. Install edge of topsoil and topsoil. Topsoil shall be 1" above final grade to 1" depth.
6. Roll grass areas to achieve a smooth, even surface, free from undulations, undulations.
7. Water soil thoroughly as top operation progresses.
8. Contractor shall maintain lawn areas until final acceptance. This shall include but not limited to: mowing, watering, weeding, cultivating, seeding and re-seeding until to have areas to meet parts of it against, healthy condition.
9. Contractor shall guarantee establishment of an acceptable lawn area and shall provide replacement lawn sods if necessary.
10. If installation occurs between September 1 and March 1, all sods shall be over-watered with Water Prograss, at a rate of 1-1/2 pounds per one thousand (1000) square feet.

CALLLED 3.00' KENNETH L.Y.

LOT 1, BLOCK 1 ARLINGTON GOODWILL ADDITION OF FW INC.



PLANT LIST

TREES	QTY	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
20	BC	Red Cypress	Taxodium distichum	4' cal.	container grown 14" h, 4-5' spread min, matching	
5	CE	Cedar Elm	Ulmus crassifolia	4' cal.	container grown 14" h, 4-5' spread min, matching	
5	CP	Chinese Pistache	Quercus chinensis	4' cal.	container grown 14" h, 4-5' spread min, matching	
17	LC	Lawn Care	Quercus virginiana	4' cal.	container grown 14" h, 4-5' spread min, matching	
9	CM	Crepe Myrtle 'Diplo Red'	Lagerströmia speciosa 'Diplo Red'	2' cal.	container grown 8" h, 10" cal, 5-6' spread, no cross-culturing	

SHRUBS	QTY	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
200	ROR	Red Dwarf Rose	Rosa sp. 'Red Dwarf'	1' gals	container 18" diam, 18" h	
438	NPH	Neelapour Holly	Ilex cornuta 'Neelapour'	5' gals	container 18" diam, 24" h, min 30" cal.	
28	NRSR	Nellee H. Silver Holly	Ilex sp. 'Nellee H. Silver'	6" h	container 18" diam	
139	HR	Holly-Hawthorn 'Laird'	Raphanostyle indica 'Laird'	5' gals	container 18" diam, 20" spread, 24" cal.	
4	KHR	Double Knockout Rose	Rosa sp. 'Double Knockout'	3' gals	container 18" diam, 20" cal.	
20	DWM	Dwarf Weigela 'Diplo Red'	Maackia speciosa 'Diplo Red'	5' gals	container 18" diam, 30" cal.	

GROUNDCOVERS	QTY	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
896	WC	Wintercreeper Common Diarrhena	Euzoia bicolor (var. colorata)	4' pots	container 10-12" diam, 12" cal.	

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities of plant. All heights and spread are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have prepack plants and be matching variety varieties.

LANDSCAPE TABULATIONS

STREET FRONTAGE	REQUIREMENTS	PROVIDED
West Harris Road (162.0' x 162.0')	11 trees 2" cal. (11 trees 2" cal.)	11 trees 2" cal.
150 trees 2" cal. (170 trees)	11 trees 2" cal. (11 trees 2" cal.)	11 trees 2" cal.
50 trees 2" cal. (50 trees)	11 trees 2" cal. (11 trees 2" cal.)	11 trees 2" cal.
10 trees 2" cal. (10 trees)	11 trees 2" cal. (11 trees 2" cal.)	11 trees 2" cal.
5 trees 2" cal. (5 trees)	11 trees 2" cal. (11 trees 2" cal.)	11 trees 2" cal.
2 trees 2" cal. (2 trees)	11 trees 2" cal. (11 trees 2" cal.)	11 trees 2" cal.
1 tree 2" cal. (1 tree)	11 trees 2" cal. (11 trees 2" cal.)	11 trees 2" cal.
NO OUTDOOR STORAGE	INDICATES EXCESS PARKING LOT TREES	INDICATES EXCESS TREES PROVIDED ABOVE ANY REQUIRED TREES

SITE DATA TABLE	
LAND AREA	1.4577 ACRES
NET AREA	1.4577 ACRES
IMPERVIOUS AREA	41,800 SF = 0.95 AC
PERMEABLE AREA	10,000 SF = 0.23 AC
LANDSCAPE AREA	10,000 SF
PAVING AREA	10,000 SF
PAVING PROVIDED	10,000 SF

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 Ste. 200
 Dallas, TX 75201
 940.366.0068
 940.366.0068
 Texas Firm No. F-8942

THE BOUSQUET GROUP, INC.
 LANDSCAPE ARCHITECT
 STATE OF TEXAS

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RACETRAC PETROLEUM, INC.
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 SUITE 100 ATLANTA, GA 30339
 (770) 431-7600

LANDSCAPE PLAN
RACETRAC MARKET
 Cooper St. and W. Harris Rd.
 Arlington, Texas

DATE: July 11, 2016
 SCALE: 1" = 30'-0"
 DRAWN-BY: BDA
 DRAWING NAME: Landscape Plan
L-1.1
 SHEET NO. VERSION



ISSUE PLAN RECORD

DATE	DESCRIPTION
4/06/16	SUBMITTED

RaceTrac

RACETRAC PETROLEUM, INC.
3225 CUMBERLAND BOULEVARD
SUITE 106
ATLANTA, GEORGIA 30329
(770) 431-7600

PROJECT NAME
ANYTOWN, CITY

STATE 0000
ADDRESS

RACETRAC STORE NUMBER
#000

PROTOTYPE SERIES 5.5K
2016 BR-RH-M0(-) 0401

PLAN MODIFICATION NOTICE

SPB NO. XXX DATE 04/06/16

STANDARD PLAN BULLETINS (SPB) INDICATE THE PROTOTYPE SERIES SET NOTED ABOVE. THE LISTED SPB REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE ISSUE REVISION BECOMES EXPLICIT ABOVE. LISTS ANY REVISIONS OF SPB INCORPORATED IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY DISCREPANCY BULLETINS NOT INCORPORATED HEREIN.

PROFESSIONAL SEAL

PROJECT NUMBER
XXXXXXXXXX

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A300B

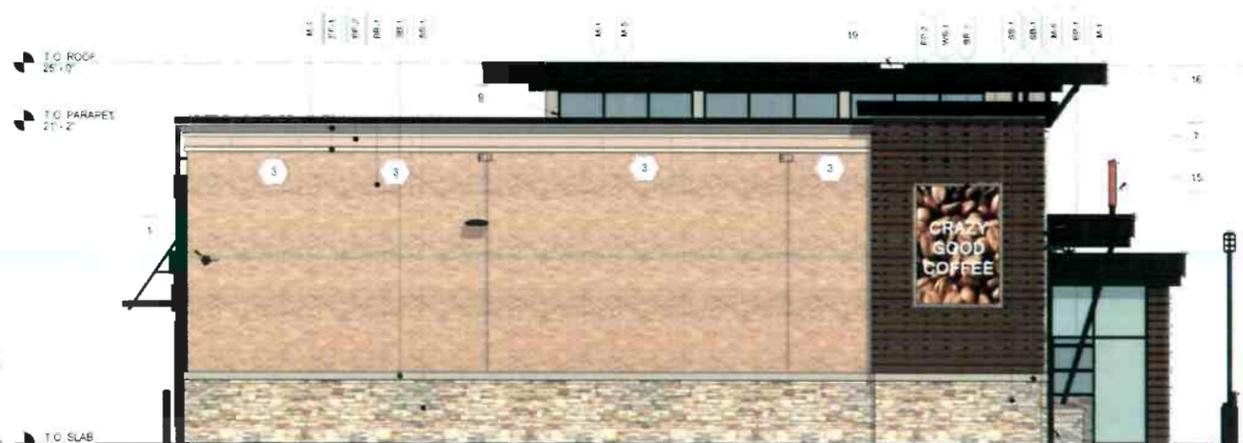
NOT FOR CONSTRUCTION



4 SOUTH ELEVATION - FACING HARRIS ROAD
3/16" = 1'-0"

RIGHT ELEVATION
1,326 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	140	11%
BRICK	366	28%
EFS	104	8%
GLAZING	388	29%
METAL	204	16%
WOOD	110	8%



3 NORTH ELEVATION
3/16" = 1'-0"

LEFT ELEVATION
1,239 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	266	21%
BRICK	711	57%
EFS	80	7%
GLAZING	0	0%
METAL	32	3%
WOOD	144	12%

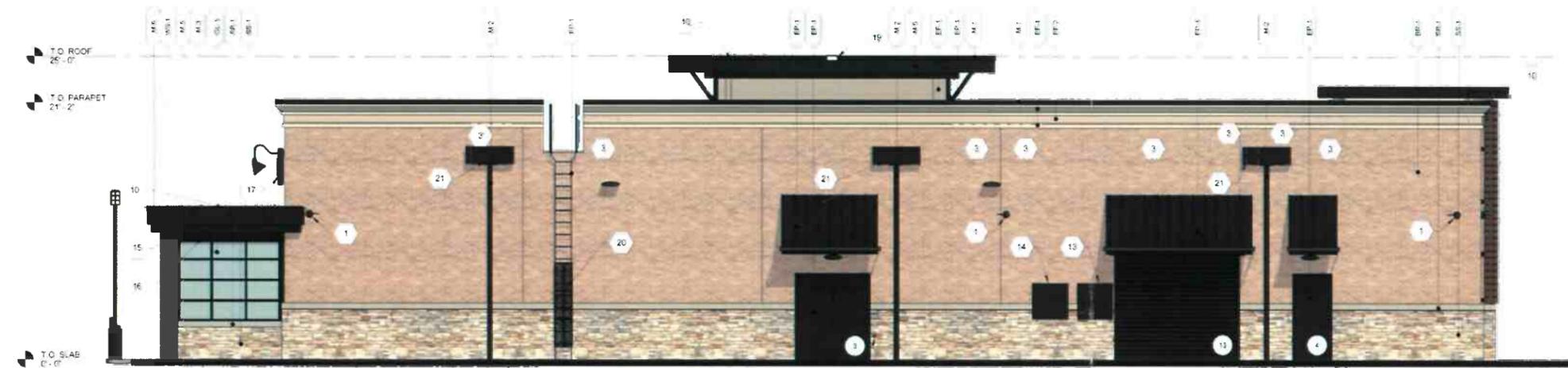
ELEVATION	SIGNAGE	DIMENSIONS	AREA
FRONT	RT PARALLELLOGRAM	17'-6" X 3'-0"	40 SF
	BANNER	7'-8" X 5'-8"	42 SF
LEFT	BANNER	7'-8" X 5'-8"	42 SF
RIGHT	RT PARALLELLOGRAM	17'-6" X 3'-0"	40 SF

ELEVATION KEY NOTES

1. WALL MOUNTED SECURITY CAMERA
2. 3" SQUARE DOWNSPOUT - REFER TO CIVIL DRAWINGS FOR CONNECTIONS
3. MECHANICAL EQUIPMENT BEYOND
4. REFER TO DETAILS FOR CAST STONE SHAPES
5. HOSE BIBB - REFER TO PLUMBING DRAWINGS
6. PATIO CEILING FANS BY CEILING BEYOND - REFER TO REFLECTED CEILING PLAN AND SPECIFICATIONS
7. ILLUMINATED SIGN PANEL BY OWNER MOUNTED ON MINIMUM 4" STEEL TUBES OR HSS TUBES. PAINT EP-1
8. BRONZE BREAK METAL WRAP AT WINDOW JAMB. TYPICAL
9. DURALAST ROOFING TO BE RUN UP CLERESTORY TO UNDERSIDE OF WINDOW - REFER TO WALL SECTIONS & DETAIL 2/4-11
10. ACM PANEL REVEAL LINE - REFER TO REFLECTED CEILING PLAN FOR DIMENSIONS
11. 3" SQUARE METAL DOWNSPOUT ATTACHED TO WALL WITH BRACKETS - REFER TO CIVIL FOR CONNECTIONS
12. EMERGENCY FUEL SHUT OFF SWITCH - MOUNT TOP OF SIGN AT 50" A.F.F.
13. LOCATION OF ELECTRICAL SERVICE C/T AND METER
14. GENERATOR TAP BOX - SEE ELECTRICAL FOR LOCATION
15. SECURITY CAMERA MOUNTED ON SOFFIT OF PATIO SEATED AREA
16. OVERFLOW SPILL SCUPPER
17. ILLUMINATED SIGN PANEL BY OWNER MOUNTED TO WALL. PAINT ATTACHMENTS EP-1
18. PACKAGE PASSER - REFER TO EQUIPMENT PLAN
19. SPILL SCUPPER - REFER TO DETAIL
20. PROVIDE METAL GUARD GATE AT LADDER TO 8" AFF WITH LOCKING HASP
21. 4'-0" WIDE X 1'-7" HIGH SCUPPER - REFER TO DETAILS ON SHEET A201
22. OPERABLE GARAGE DOOR SYSTEM
23. OPACQUE WINDOW GLINGS BY RACETRAC
24. WELCOME SIGN

EXTERIOR MATERIAL SCHEDULE

AWNING	ALUMINUM AWNING	SELECTED BY RACETRAC
AW-1		
BRICK	LAREDO BRICK	MORTAR COLOR "LIGHT BUFF"
BR-1		
CAST STONE		
CS-1	MATCH BORAL TUSCAN LITTEL CHAMPAGNE	COLOR 1102 NATURAL STONE, MORTAR COLOR "LIGHT BUFF"
CS-2		
CS-3		
CS-4		
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CS-100		



2 EAST ELEVATION
3/16" = 1'-0"

REAR ELEVATION
2,258 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	402	18%
BRICK	1156	51%
EFS	152	7%
GLAZING	57	3%
METAL	255	11%
WOOD	16	1%



1 WEST ELEVATION - FACING COOPER STREET
3/16" = 1'-0"

FRONT ELEVATION
2,411 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	539	22%
BRICK	965	40%
EFS	147	6%
GLAZING	648	27%
METAL	222	9%
WOOD	220	9%

Staff Report



Specific Use Permit SUP16-1 (St. Andrew's Methodist Child Care Facility)	
Planning and Zoning Meeting Date: 8-3-16	Document Being Considered: Ordinance

RECOMMENDATION

Following the public hearing, consider Specific Use Permit SUP16-1.

PRIOR BOARD OR COUNCIL ACTION

On February 19, 1992, Planning and Zoning Commission approved a Substitute Landscape Plan, SLP92-03 by a vote of 5-0-0, for the reduction of the width of the landscape buffer on the north eastern property line.

ANALYSIS

Request

The applicant requests approval of a Specific Use Permit (SUP) for a Day Care Center on 6.053 acres out of an approximately 15.046 acre tract zoned Residential Single-Family 7.2 (RS-7.2) and Residential Single-Family 5 (RS-5); addressed at 2045 Southeast Green Oaks Boulevard, and generally located north of Southeast Green Oaks Boulevard and east of New York Avenue.

Site History

The site began development in 1992 with the original church building. Also in 1992, the church sought to reduce the landscape buffer on the northeast portion of the site through a Substitute Landscape Plan. This portion was adjacent to a flood plain, and was already a heavily wooded area. Since that time, the church has increased the lot size through replatting, added additional parking lot space, an educational/office addition, a vestibule, a playground, an open air pavilion, and a sports field. With these additions, the Substitute Landscape Plan was also revised Administratively a total of three times.

Existing Site Conditions

The existing site encompasses three separate zoning categories. The proposed SUP is located in portions zoned RS-7.2 and RS-5. The remaining portion zoned Community Commercial (CC) would not require an SUP for this use, and contains the existing sports field. The portion of the site that does pertain to the SUP is currently developed with the existing Saint Andrew's Methodist Church buildings and parking lots. Currently there are three existing shipping containers at the rear of the property. The proposed SUP would allow for the accessory use of a daycare center within the existing educational/office building, which requires an SUP in both the RS-7.2 and RS-5 zoning categories according to the Unified Development Code.

Adjacent Land Uses

The properties to the north and east are zoned Residential Single-Family 5 (RS-5) and are developed as single family homes. A large portion of this development does however remain undeveloped, as it is located within the flood plain. The property to the south is zoned Residential Single-Family 7.2 (RS-7.2) and is currently a part of Fish Creek Linear Park. The properties to the west of the subject site are zoned Community Commercial (CC) and are developed with commercial establishments. These developments are home to a number of commercial uses including general retail stores, general personal services uses, and restaurants.

Landscape

The most current Substitute Landscape Plan (SLP92-03-R3) was approved administratively on November 7, 2003. With the proposed Specific Use Permit, the applicant, along with the church, will bring the existing landscaping back into compliance with this plan. The following table indicates the current deficiencies with SLP92-03-R3 and the applicant’s proposal:

	Required per SLP92-03 and Revisions	Existing	Proposed
Landscape Setback			
Trees in Setback	9, 3” caliper Cedar Elms and Live Oaks	6 trees remaining	Replace missing 3, 3” caliper trees
Landscape Buffer			
Trees in Buffer	9, 3” caliper Cedar Elms	3 trees remaining	Replace missing 6, 3” caliper trees
Parking Lot Screening			
Shrubs	Approximately 53 Dwarf Burford Holly	Approximately 13 shrubs remaining	Replace missing shrubs to complete parking lot screening

The applicant and church are proposing to replace the missing trees and shrubs with the species indicated on the existing plan. The church is proposing that the replacement landscaping would be installed no later than May 2017.

Specific Use Permit

The proposed day care center would begin operation with a small number of students and projects to grow to no more than an 80 student maximum. If the number of children exceeds this maximum, a new Specific Use Permit would need to be acquired. There is a playground onsite located within the boundaries of the Specific Use Permit.

Comprehensive Plan Analysis

The 2015 Comprehensive Plan, *99 Square Miles*, indicates that the subject site is in the Established Residential future development area, which contains a variety of housing types as well as retail services. People living in these areas would enjoy the benefits of neighborhood parks, schools and community recreation centers. Appropriate land uses for these areas include residential uses, neighborhood convenience uses, small-scale office uses, parks, recreation centers, and trails.

The proposed daycare center will provide a neighborhood and community service that is compatible with the Established Residential development area goals. The requested SUP is in conformance with the Comprehensive Plan.

FINANCIAL IMPACT

None

ADDITIONAL INFORMATION

Attached:

- i. Case Information

Under separate cover:
Available in the City Secretary's office:

- ii. Itemized Allowable Uses
- iii. Location Map
- iv. Photos
- v. SUP Site Plan (1 page)
- None
- None

CITY COUNCIL DATE

August 23, 2016

STAFF CONTACTS

Jennifer Pruitt, AICP, LEED AP
Development Planning Manager
Community Development and Planning
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Jennifer.Pruitt@arlingtontx.gov

Bryan Isham
Planner
Community Development and Planning
817-459-6654
Bryan.Isham@arlingtontx.gov

Case Information



Applicant: Cole Design Group represented by Ronald Salamie

Property Owner: Saint Andrews Methodist Church represented by Edd Slaughter

Sector Plan: Southeast

Council District: 3

Allowable Uses: All uses as itemized in attachment ii.

Development History: The subject site is currently platted as Lot 16A of the J. Balch Addition.

No previous zoning cases have occurred in the general vicinity within the past five years

Transportation: The proposed development has two points of access. Both points of access are from Southeast Green Oaks Boulevard.

Thoroughfare	Existing	Proposed
Southeast Green Oaks Boulevard	100-foot, 4 lane divided major arterial	120-foot, 6 lane divided major arterial
New York Avenue	66-foot, 4 lane divided minor arterial	90-foot, 4 lane divided minor arterial

Traffic Impact: The proposed change from church to day care with 20-25 children will not significantly impact the adjacent roadway systems.

Water & Sewer: Water and sewer are available along Southeast Green Oaks Boulevard.

Drainage: The site is located within the South Fish Creek drainage basin and is approximately 5% within the FEMA floodplain.

No significant drainage impacts are expected to result from development of this site as long as all relevant city ordinances are complied with.

Fire: Fire Station Number 12, located at 5050 South Collins Street, provides protection to this site. The estimated fire response time is less than five minutes, which is in keeping with recommended standards.

School District: Arlington Independent School District.

Case Information



The proposed specific use permit request is located in the Arlington Independent School District and has no impact on the schools serving this site.

Notices Sent:

Neighborhood

Associations:

ACTION North Arlington
Arlington Independent School District
Arlington Alliance for Responsible Government
Arlington Neighborhoods
East Arlington Review
Far South Arlington Neighborhood Assn
Forest Hills Home Owner's Association
Northern Arlington Ambience
WeCan (West Citizen Action Network)
Briarhill Neighborhood Assn
Fish Creek Neighborhood Assn. Inc.
Fish Creek Neighborhood Assn. Inc.
Fitzgerald Concerned Citizens
Manhasset Community Watch Group
Webb Britton Estates

Property Owners: 44
Letters of Support: 0
Letter of Opposition: 0

Itemized Allowable Uses



Allowable Uses: Residential Single-Family 7.2 (RS-7.2)

Permitted - Dwelling, single-family detached on minimum 7,200 Square Feet, Non-Residential on minimum 15,000 square foot lots, Assisted living facility (≤ 6 residents), Community home for disabled persons, Foster family home, Foster group homes, Government administration and civic buildings, Religious assembly, Public or private school, Community garden, Public park or playground, Golf course, Utility lines, towers or metering station, garage (private), and accessory swimming pool (private).

Specific Use Permit (SUP) - Assisted living facility (≥ 7 residents), Philanthropic institution (other than listed), Bed and breakfast inn, Day care center, Country club, Marina, Airport or landing field, Gas well, Telecommunication Facilities Towers ≤ 75 ft., Stealth towers ≤ 100 ft., Telecommunication Facilities Towers > 75 ft., Stealth towers > 100 ft., Community center (private), and Secondary living unit.

Conditions (C) - Telecommunication Facilities Building-mounted antennae and towers, Accessory building, Alternative energy system, Carport, and Home-based business.

Residential Single-Family 5 (RS-5)

Permitted - Dwelling, single-family detached on minimum 5,000 Square Feet, Non-Residential on minimum 15,000 square foot lots, Assisted living facility (≤ 6 residents), Community home for disabled persons, Foster family home, Foster group homes, Government administration and civic buildings helter, Religious assembly, Public or private school, Cemetery, Community garden, Public park or playground, Golf course, Utility lines, towers or metering station, garage-private, and accessory swimming pool-private.

Specific Use Permit (SUP) - Assisted living facility (≥ 7 residents), Philanthropic institution (other than listed), Bed and breakfast inn, Country club, Marina, Airport or landing field, Gas well, Telecommunication Facilities Towers ≤ 75 ft., Stealth towers ≤ 100 ft., Telecommunication Facilities Towers > 75 ft., Stealth towers > 100 ft.

Conditions (C) - Telecommunication Facilities Building-mounted antennae and towers, Nursery garden shop or plant sales, Telecommunication Facilities Building-mounted antennae and towers.

Community Commercial (CC)

Permitted - Nursing home, Art gallery or museum, Government administration and civic buildings, Domestic violence shelter,

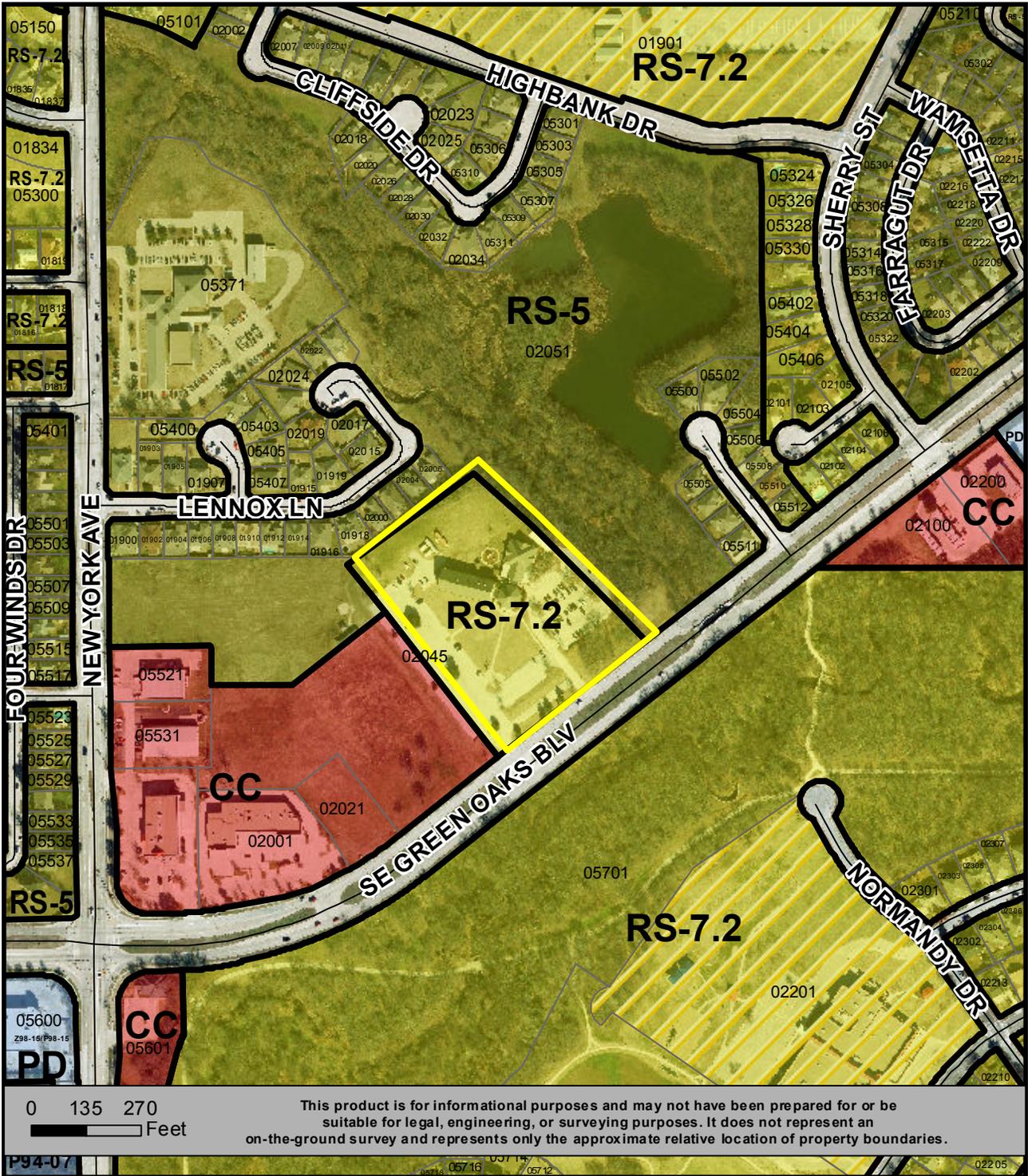
Itemized Allowable Uses



Mortuary/crematory/funeral chapel, Philanthropic institution (other than listed), Religious assembly, Business school, Public or private school, University/college/seminary, Hospital, Medical or dental office or clinic, Cemetery, Community garden, Public park or playground, Crop production, Gasoline sales, Catering service, Restaurant, Restaurant/take-out and delivery only, Office/business or professional, Telemarketing call center, Day care center, Private club/lodge/fraternal, General personal services (other than listed), Massage therapy clinic, Recreation/ indoor (other than listed), Wedding chapel, Country club, Golf course, Major tourist attraction, General retail store (other than listed), Firearm sales, Pawn shop, Second-hand goods store, Swimming pool/spa and accessory sales and service, Medical or scientific research laboratory, Electric utility substation, Radio or TV station or studio, Utility lines, towers or metering station.

Specific Use Permit (SUP) – Halfway House, Hospital/psychiatric, Alternative Financial Institution, Hotel/limited service, Residence hotel, Bail bond service, Banquet hall, Billiard parlor, Tattoo parlor, Bowling alley, Bingo hall, Gun range, Night club, Recreation general outdoor (other than listed), Marina, Specialty paraphernalia sales, Wrecker service, Gas well, Transit passenger terminal, Utility installation other than listed, Telecommunication Facilities Towers >75 ft., Stealth towers >100 ft., Self-storage facility.

Conditions – Kennel/commercial, Veterinary clinic, Motor vehicle rental, Financial services, Restaurant with drive-through, Sidewalk café, Hotel/full service, Skating rink, Teen club, Theatre indoor, Building and landscaping materials and lumber sales, Nursery/garden shop or plant sales, Food processing, Custom and craft work, Telecommunication Facilities Building-mounted antennae and towers, Telecommunication Facilities Towers ≤75 ft., Stealth towers ≤100 ft., Wholesale Supply Business



LOCATION MAP SUP16-1

SUP FOR DAY CARE CENTER
FOR 6.053 ACRES



SUP16-1

North of Southeast Green Oaks Boulevard and east of New York Avenue



View of north towards Single Family Residences.



View of subject site. View east.



View of south towards Fish Creek Linear Park.



View of west towards adjacent commercial development.

WHEREAS St. Andrew's United Methodist Church of Arlington acting by and through the undersigned, its duly authorized agent, is the sole owner of Lot 16, John Balch Addition, an addition to the City of Arlington, Tarrant County, Texas according to the deed recorded in Volume 16222, Page 181, Deed Records, Tarrant County, Texas (the plat of said addition being recorded in Cabinet A, Slide 4942, Plat Records of Tarrant County, Texas) and WHEREAS St. Andrew's United Methodist Church of Arlington is the sole owner of Lot 10R, John Balch Addition, an addition to said city according to the deed recorded in Volume 10557, Page 965 and Volume 13096, Page 470, Deed Records, Tarrant County, Texas (the plat of said addition being recorded in Cabinet A, Slide 4190, Plat Records of Tarrant County, Texas), said Lot 16 and Lot 10R being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8 inch iron rod found in concrete at the northwest corner of said Lot 16 and having State Plane Coordinate of N = 6,925,226.62 and E = 2,406,444.88; said iron rod also being in the east Right Of Way (ROW) line of New York Avenue;

THENCE N 89° 23' 43" E, 612.70 feet along the north line of said Lot 16 and the southerly line of a tract of land conveyed to Arlington Creekside Village L.P. (hereinafter referred to as "Village") by deed recorded in Volume 15483, Page 81, D.R.T.C.T. to a 1/2 inch iron rod found at the northeast corner of said Lot 16 and the northeast corner of said Lot 10R;

THENCE N 51° 50' 47" E, 386.33 feet along the north line of said Lot 10R and continuing along said south line of said "Village" tract to a 1/2 inch iron rod found at the northeast corner of said Lot 10R;

THENCE S 48° 03' 43" E, 200.57 feet along the easterly line of said Lot 10R and continuing along said south line of said "Village" tract to a 1/2 inch iron rod found;

THENCE S 45° 10' 12" E, 415.51 feet continuing along the east line of said Lot 10R and continuing along said south line of said "Village" tract to a 1/2 inch iron rod found at the southeast corner of said Lot 10R in the northerly ROW line of Southeast Green Oaks Blvd;

THENCE along the southeasterly line of Lot 10R and Lot 16 and along said northerly ROW line the following courses and distances:

SOUTH 51° 49' 12" W, at 471.61 feet passing the south common corner of Lot 10R and Lot 16 and continuing to all 829.95 feet to a 1/2 inch iron rod found with cap stamped "Landes & Assoc.", at the beginning of a curve to the right whose radius is 940.00 feet and whose long chord bears S 59° 46' 44" W, 260.04 feet;

ALONG said curve to the right in a southwesterly direction through a central angle of 15° 54' 03" an arc length of 260.87 feet to a 1/2 inch iron rod found at the end of said curve marked as before;

SOUTH 72° 41' 44" W, 51.07 feet to an "x" cut in the concrete apron of a sanitary sewer manhole;

SOUTH 80° 00' 26" W, 149.24 feet to a 1/2 inch iron rod found marked as before at the beginning of a curve to the right whose radius is 925.00 feet and whose long chord bears S 81° 57' 08" W, 62.79 feet;

ALONG said curve to the right in a southwesterly direction through a central angle of 03° 53' 24" an arc length of 61.80 feet to a 1/2 inch iron rod found marked as before at the southeast corner of said Lot 16 and the southeast corner of Lot 15, John Balch Addition;

THENCE N 00° 36' 17" W, 356.55 feet along a west line of Lot 16 and the east line of Lot 15 to a 1/2 inch iron rod found marked as before at the northeast corner of Lot 15;

THENCE S 89° 23' 43" W, 216.00 feet along the north line of Lot 15 and the most northerly south line of Lot 16 to a 5/8 inch iron rod found in concrete at the northwest corner of said Lot 15 in the east ROW line of New York Avenue, said 5/8 inch iron rod having State Plane coordinates of N = 6,924,705.41 and E = 2,406,450.18;

THENCE N 00° 36' 17" W, 521.32 feet along the most westerly west line of said Lot 16 and the east ROW line of said New York Avenue to the POINT OF BEGINNING and containing 19.546 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS THAT St. Andrew's United Methodist Church of Arlington, acting by and through the undersigned, its duly authorized agent, do hereby adopt this plat designating the hereinabove described real property as:

**LOTS 16A, 16B & 16C
JOHN BALCH ADDITION**

in addition to the City of Arlington, Tarrant County, Texas and do hereby dedicate to the public's use the streets and easements shown thereon.

I hereby certify that no deed restrictions exist upon the property included within this plat which is in a platted subdivision at the present time wherein a lot thereof is limited by deed restrictions authorizing residential use but restricting same to not more than two residential units per lot. I further certify that this property does not alter or remove existing deed restrictions or covenants, if any, on this property.

WITNESS my hand on this _____ day of _____, 2003.

St. Andrew's United Methodist Church of Arlington

By: William M. Cahard, Chairman of Trustees

STATE OF TEXAS

Before me, the undersigned authority, on this day personally appeared William M. Cahard, Chairman of Trustees, St. Andrew's United Methodist Church of Arlington, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated, as the act and deed of said church.

Given under my hand and seal of office this _____ day of _____, 2003.

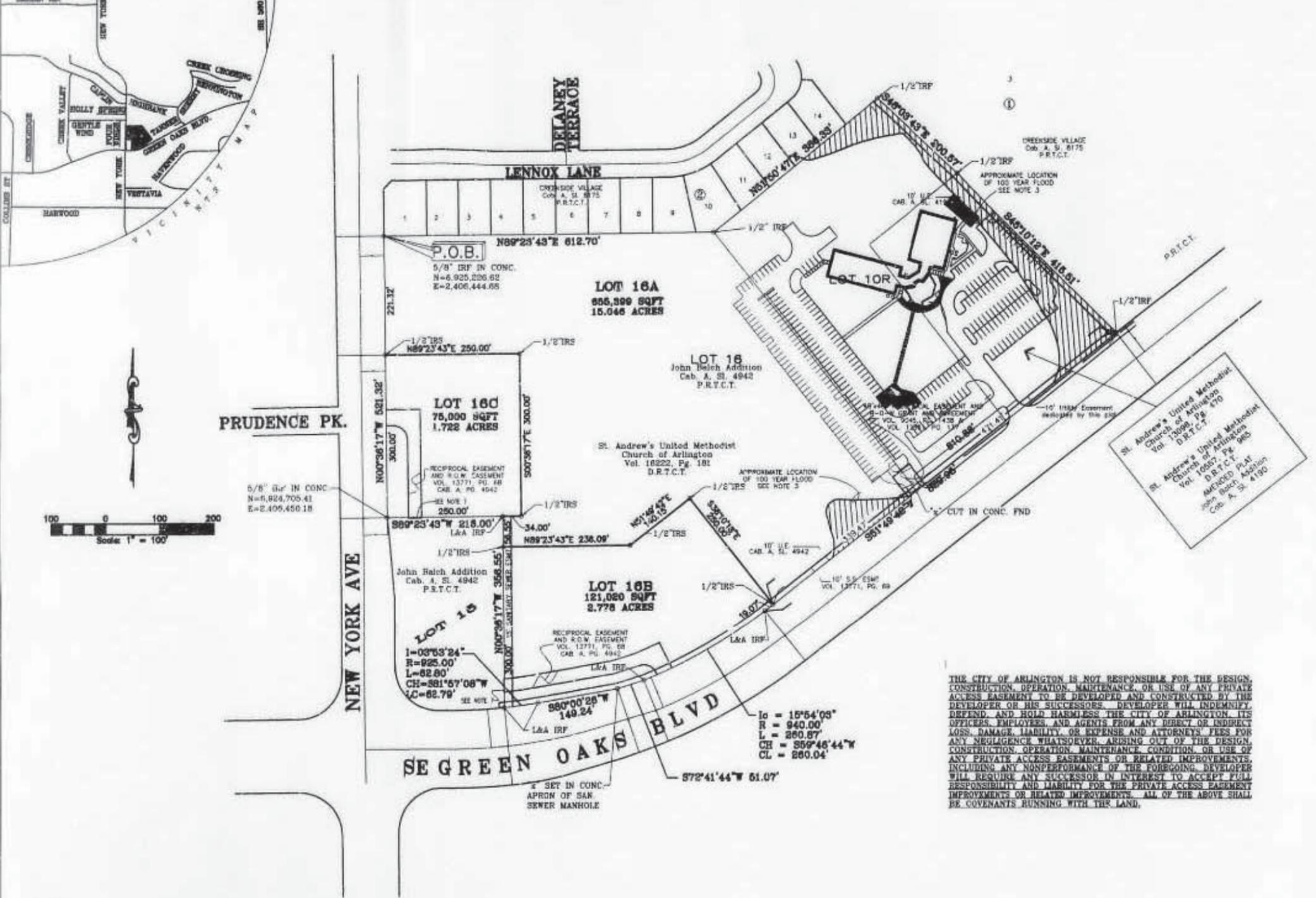
Notary Public in and for the State of Texas
My Commission Expires _____
CITY OF ARLINGTON APPROVED PLANS.
These plans must be kept on the job site and be available at the inspector's request. Changes to these plans must be approved in the same manner as these plans were approved.

PLAT REVISION
**LOTS 16A, 16B & 16C
JOHN BALCH ADDITION**

BEING A REVISION OF LOT 16, JOHN BALCH ADDITION AS RECORDED IN CABINET A, SLIDE 4942, P.R.T.C.T., AND LOT 10R, JOHN BALCH ADDITION AS RECORDED IN CABINET A, SLIDE 4190, P.R.T.C.T., ALL IN THE CITY OF ARLINGTON, TARRANT COUNTY, TEXAS.

May 5, 2003

#03013P



THE CITY OF ARLINGTON IS NOT RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, OR USE OF ANY PRIVATE ACCESS EASEMENT TO BE DEVELOPED AND CONSTRUCTED BY THE DEVELOPER OR HIS SUCCESSORS. DEVELOPER WILL INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CITY OF ARLINGTON, ITS OFFICERS, EMPLOYEES, AND AGENTS FROM ANY DIRECT OR INDIRECT LOSS, DAMAGE, LIABILITY, OR EXPENSE AND ATTORNEYS' FEES FOR ANY NEGLIGENCE WHATSOEVER ARISING OUT OF THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, CONDITION, OR USE OF ANY PRIVATE ACCESS EASEMENTS OR RELATED IMPROVEMENTS, INCLUDING ANY NONPERFORMANCE OF THE FOREGOING. DEVELOPER WILL REQUIRE ANY SUCCESSOR IN INTEREST TO ACCEPT FULL RESPONSIBILITY AND LIABILITY FOR THE PRIVATE ACCESS EASEMENT IMPROVEMENTS OR RELATED IMPROVEMENTS. ALL OF THE ABOVE SHALL BE COVENANTS RUNNING WITH THE LAND.

Io = 15°54'03"
R = 940.00'
L = 260.87'
CH = 59°46'44"W
CL = 260.04'

- NOTES:
- 1) ALL PROPERTY CORNERS SHOWN HEREON ARE 1/2 INCH IRON RODS SET OR FOUND WITH PLASTIC CAPS STAMPED "LANDES & ASSOC." UNLESS OTHERWISE NOTED.
 - 2) THE BEARINGS SHOWN HEREON ARE STATE PLANE COORDINATES, NORTH CENTRAL ZONE, NAD 83 DERIVED FROM CITY OF ARLINGTON GPS CONTROL POINTS ARL 83 AND ARL 84 AND AS PER THE PLAT FILED IN CABINET A, SLIDE 4942, P.R.T.C.T.
 - 3) A PORTION OF THE SUBJECT PROPERTY LIES WITHIN THE 100 YEAR FLOOD PLAIN AS DEPICTED ON THE F.E.M.A. MAP COMMUNITY PANEL NO. 485454 0462 H AND COMMUNITY PANEL NO. 485454 0464 H.
 - 4) PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, A MINIMUM FINISHED FLOOR ELEVATION SHALL BE ESTABLISHED. SUFFICIENT INFORMATION SHALL BE PROVIDED TO VERIFY THE ELEVATION.
 - 5) THIS PROPERTY MAY BE SUBJECT TO CHARGES RELATED TO IMPACT FEES AND THE APPLICANT SHOULD CONTACT THE CITY REGARDING ANY APPLICABLE FEES DUE.
 - 6) VISIBILITY TRIANGLES SHALL BE PROVIDED AT ALL PUBLIC OR PRIVATE STREET INTERSECTIONS IN ACCORDANCE WITH CURRENT CITY ORDINANCE. ALL LANDSCAPING (NOTHING OVER 2 FEET IN HEIGHT AS MEASURED FROM THE TOP OF THE CURB) WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY ORDINANCE.
 - 7) THE EXISTING 24 FEET WIDE ACCESS EASEMENT EXTENDS INTO LOT 15 1.0 FEET. THE ACCESS EASEMENT PARALLEL TO NEW YORK AVE. SERVES BOTH LOTS 15 AND 16C. THE ACCESS EASEMENT PARALLEL TO SE GREEN OAKS BLVD. SERVES BOTH LOTS 15 AND 16C.

Approved by the City of Arlington Planning and Zoning Commission on _____ 2003.
Chairman - Planning and Zoning Commission
Secretary - Planning and Zoning Commission

This is to certify that I, Coy D. Landes, a Registered Professional Land Surveyor of the State of Texas, have plotted the above subdivision from an actual survey on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

Coy D. Landes
Texas Registration No. 1886

LANDES & ASSOCIATES, INC.
REGISTERED PROFESSIONAL LAND SURVEYORS

St. Andrew's United Methodist Church of Arlington
2045 SE Green Oaks Blvd
Arlington, Texas 76018
(817) 465-3043

THIS PLAT WAS FILED IN CAB. A, SLIDE _____
DATE _____

INSPECTOR'S COPY